
AGENDA

The Planning and Zoning Commission and Board of Adjustment of the City of Sherman will hold a regular meeting Tuesday, September 16, 2025, at 5:00 PM in the City Council Chambers at 220 W. Mulberry to consider the following:

1. **CALL TO ORDER**
2. **APPROVE MINUTES OF THE REGULAR AUGUST 19, 2025 PLANNING AND ZONING COMMISSION AND BOARD OF ADJUSTMENT MEETING**

3. **ANNOUNCEMENTS**

4. **CITIZEN COMMENTS**

During this meeting, the Planning and Zoning Commission and Board of Adjustment welcomes public comment **only** on agenda items listed under the Open Meeting portion of the agenda, in accordance with Texas Government Code Section 551.007. For items not listed on the agenda, those matters may be discussed with City staff during regular business hours by contacting them at times other than at Planning and Zoning Commission meetings. There will also be an opportunity to speak regarding any of the public hearing items on the agenda when that item is presented.

Open Public Hearing

5. **CONSENT AGENDA (ITEMS 6, 7, 8 AND 9)**

Asterisked (*) items are considered to be routine and non-controversial items. These items will be enacted in one motion without discussion unless a Commission Member or a member of the audience requests a specific item be discussed and voted on separately prior to a motion and vote.

6. *** 3120 WEST WASHINGTON STREET (PROJECT NO. 000132-2025)**

The request of William Bradley Douglass & Lauren A. Virginia Douglass (Owner) and Helvey – Wagner Surveying, Inc. (Surveyor) concerning the property located at 3120 West Washington Street, consisting of 14.975 acres being part of the William Thompson Survey, Abstract No.1210, and currently zoned R-6 (Single-Family Residential) District, as follows:

Planning and Zoning Commission

Final Plat for Douglass Farm.

7. *** 4127 NORTH HIGHWAY 75 (PROJECT NO.000135 - 2025)**

The request of Sherman Commons Kobalt TRC LLC (Owner), Tyler White (Representative) and Underwood Drafting & Surveying, INC. (Surveyor) for the property located at 4127 North Highway 75, Block A, Lot 1 of Replat of Blocks A, B, and D of Sherman Commons Addition, consisting of 25.971 acres, being in the T.J. Shannon Survey, Abstract No. 1137, Hillard Jennings Survey, Abstract No. 639, currently zoned C-1 (Retail Business) District/75&82 Overlay District, as follows:

Planning and Zoning Commission

Site Plan for Burlington Retail.

8. *** 300 BLOCK WEST TRAVIS STREET (PROJECT NO. 000136-2025)**

The request of Jeff Harkinson, Sherman Junction, LTD. (Owner), Michael Carlisle (Applicant) and Kimley-Horn (Surveyor) concerning the property located in the 300 Block West Travis Street, Lot 4, Block A of Sherman Junction, consisting of 13.457 acres, and being part of Elizabeth Jones Survey, Abstract No. 625, currently zoned Blalock Industrial Park PD (Planned Development) District/Blalock Commercial Overlay

District, as follows:

Planning and Zoning Commission

Site Plan for Sherman AAA Cooper Truck Logistics.

9. *** 600 BLOCK PROGRESS DRIVE (PROJECT NO. 000141-2025)**

The request of Sherman Economic Development Corporation (Owner), Nick Hobbs (Applicant), Juan Pablo Viejo (Developer) and BGE, INC. (Surveyor) concerning the property located at 600 Block Progress Drive, consisting of 20.325 acres, and being situated in the William Martin Survey, Abstract No 765, currently zoned M-1(Light Manufacturing) District, as follows:

Planning and Zoning Commission

Site Plan for Easy Foods.

10. **408 SOUTH RUSK STREET (PROJECT NO. 000078-2025) TABLED FROM JULY 22,2025**

The request of Armando Chavez & Laura Cordova (Owner), Javier Gonzalez (Applicant) and Underwood Drafting & Surveying (Surveyor) concerning the property located at 408 South Rusk Street, consisting of 0.147 acres, being part of Lot 1, Block 1, Mcbrides's Addition, currently zoned MF-30 (Multi Family Residential) District, as follows:

Board of Adjustment

1. Public Hearing and Variance under Section 14.02.006 to allow a 87' lot depth in lieu of the required 100'.
2. Public Hearing and Variance to allow 11.6' front setback in lieu of the required 25'.

Planning and Zoning Commission

Public Hearing and Zone Change from an MF-30 (Multi Family Residential) District to an R-6 (Single-Family Residential) District.

11. **702 SOUTH THROCKMORTON STREET (PROJECT NO. 000127-2025)**

The request of Wright Construction & Development LLC (Owner) and Copley Land Surveying (Surveyor) concerning the property located in the 702 South Throckmorton Street, consisting of 0.1286 acres, being a part of W. Elliott's Addition, George B. Pilant Survey, Abstract No. 963, Lot 15 and the South 15 feet of Lot 14, Block 9, currently zoned R-6 (Single Family Residential), as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from an R-6 (Single Family Residential) District to R-4 (Patio Home Residential) District.

12. **3200 NORTH FM 1417 (HERITAGE PARKWAY) (PROJECT NO.000133-2025)**

The request of City of Sherman (Owner), Aaron Babcock (Applicant) and Underwood Drafting & Surveying (Surveyor) for the property located at 3200 North FM 1417 (Heritage Parkway), consisting of 1.605 acres, being in the J.B McAnair Survey, Abstract No. 753, currently zoned R-6 (Single-Family Residential) District/F.M. Highway 1417 Overlay District, as follows:

Board of Adjustment:

1. Public Hearing and Variance under Section 14.02.006 to allow 3.01 front set back in lieu of the required 40 feet.

Planning and Zoning Commission

2. Site Plan for Sherman Fire Station No.3 Addition.

13. **2000 BLOCK EAST IDA ROAD AND 3501-3701 BLOCK SOUTH DEWEY AVENUE (PROJECT NO. 000140-2025)**

The request of Austin College (Owner), Robert E. Tesch (Applicant), Pape Dawson (Engineer) and Copley Land Surveying (Surveyor) concerning the property located in the 2000 Block East Ida Road and 3501-3701 Block South Dewey Avenue, consisting of 212.1 acres, being a part of John Kitchen Survey, Abstract No.673

and a part of the Robert Thompson Survey, Abstract No. 1200, and currently located in the ETJ (Extraterritorial Jurisdiction), as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from an R-A (Residential Agricultural) District to PD (Planned Development) District.

14. 801, 805, 809 EAST LAMAR STREET (PROJECT NO. 000142-2025)

The request of Alicia Barron (Owner) concerning the property located in the 801, 805, 809 East Lamar Street, consisting of 0.4063 acres, being a part of Chaffins 1st Addition, Block 11, Lot 1 through 8, currently zoned R-6 (Single-Family Residential) District and C-2 (General Commercial) District, as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from an R-6 (Single-Family Residential) District and C-2 (General Commercial) District to C-1 (Retail Business) District.

15. 818 SOUTH TRAVIS STREET (PROJECT NO. 000134-2025)

The request of Jermei Parnell (Owner), Felicitas Smith (Applicant) and Kate A. Wagner (Surveyor) concerning the property located at 818 South Travis Street, consisting of 0.487 acres, Lot 10, Block 4, of Hare and Randolph's Addition, currently zoned MF-30 (Multi-Family Residential) District, as follows:

Planning and Zoning Commission

Public Hearing, Site Plan and Specific Use Permit approval under Section 14.06.009 allow Schools; elementary, high, college and universities, public, private, or denominational in a MF-30 (Multi-Family Residential) District.

16. 4800 TEXOMA PARKWAY (PROJECT NO. 000137-2025)

The request of Star Midway, LLC (Owner) and Byron Equizabal (Applicant) concerning the property located in the 4800 Texoma Parkway, consisting of 42.8134 acres, in the John Hendrix Survey, Abstract No. 503, the W.F. Patterson Survey, Abstract No. 969, the Daniel Shelp Survey, Abstract No. 1097 and the T.J. Shannon Survey, Abstract No. 1136, Lots 1 and 3, Block 1, Midway Mall, currently zoned C-2 (General Commercial) District, as follows:

Planning and Zoning Commission

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow a Church or other place of worship in a C-2 (General Commercial) District.

17. 606 EAST LAMBERTH ROAD (PROJECT NO. 000138-2025)

The request of Remington Sherman Automotive, LLC (Owner), Shane Donohue (Applicant) and Texas Heritage Surveying, LLC (Surveyor) concerning the property located in the 606 East Lamberth Road, consisting of 1.99 acres, Lots 2 & 3, Block 4 DR., J.H. Caraway's Addition, currently zoned C-1 (Retail Business) District/US Highway 75&82 Overlay District, as follows:

Board of Adjustment

A. Public Hearing and Variance under Section 14.03.001 to allow a metal building in lieu of the required masonry, or masonry veneer, or concrete siding for the existing structure.

B. Public Hearing and Variance under Section 14.03.001 to allow a metal building in lieu of the required masonry, or masonry veneer, or concrete siding for the proposed structure.

Planning and Zoning Commission

C. Public Hearing, Site Plan and Specific Use Permit under Section 14.08.001 to allow an Automobile Repair, Body Work, Painting in a C-2 (General Commercial) District

D. Public Hearing and Zone Change from a C-1(Retail Business) District to a C-2 (General Commercial) District.

18. 2206 EAST LAMAR STREET (PROJECT NO. 000139-2025)

The request of Keith Chapman (Owner), Griffin Potts (Applicant) and Texas Heritage Surveying, LLC (Surveyor) concerning the property located in the 2206 East Lamar Street, consisting of 12.67 acres, George B. Pilant Survey, Abstract No. 963, currently zoned C-1(Retail Business) District, as follows:

Board of Adjustment

1. Public Hearing and Variance under Section 14.02.017 to allow a 57' side set back in lieu of the required 60' for the existing structure.
2. Public Hearing and Variance under Section 14.02.017 to allow a 39' tall building in lieu of the allowed 35' for the existing structure.
3. Public Hearing and Variance under Section 14.02.017 to allow a 39' tall building in lieu of the allowed 35' for the proposed structure.

Planning and Zoning Commission

4. Public Hearing and Zone Change from a C-1(Retail Business) District to C-2 (General Commercial) District.
5. Public Hearing, Site Plan and Specific Use Permit under Section 14.08.001 to allow Warehousing in a C-2 (General Commercial) District.

19. 921 EAST HOUSTON STREET (PROJECT NO. 000148-2025)

The request of Hope on Houston Inc. (Owner), Kirk Allen (Applicant) and Underwood Drafting & Surveying (Surveyor) concerning the property located at 921 East Houston Street, consisting of 0.21 acres, J.B. McAnair Survey, Abstract No. 763, and currently zoned C-1 (Retail Business) District, as follows:

Board of Adjustment

Public Hearing and Variance under Section 14.02.016 to allow 9,129 square feet lot area in lieu of the required 10,000 square feet.

20. 360 EAST EVERGREEN (PROJECT NO. 000123-2025) - TABLED FROM AUGUST 19, 2025

The request of Cool Water Development, LLP (Owner), David Weaver (Applicant) and Underwood Drafting & Surveying (Surveyor) concerning the property at 360 East Evergreen, Block 1, Lot 2 Kerr's North Walnut Addition, consisting of 0.289 acres, and being in the J.B. McAnair Survey, Abstract No.763, and currently zoned C-1 (Retail Business) District, as follows:

Planning and Zoning Commission

Final Plat for Cool Water Addition.

21. OTHER BUSINESS

An Ordinance Of The City Council Of The City Of Sherman, Texas, Amending The Code Of Ordinances Of The City Of Sherman, Texas, Chapter 14 (Zoning Ordinance), Article 14.02 (Zoning Districts), Article 14.04 (Supplementary District Regulations), Article 14.06 (Development Procedures) And Article 14.08 (Definitions); Modifying Certain Existing Regulations And Prescribing New Regulations Related To Usable Open Space Requirements, Architectural And Building Requirements, Minimum Requirements For Lot Area, Width And Setbacks, Garage Requirements, Infill Development, Site Plan Requirements And Definition Of The Term "Dwelling, Townhome"; Providing A Penalty Clause With A Maximum Fine Of \$2,000, Savings/Repealing Clause, Severability Clause And An Effective Date; Providing For The Publication Of The Caption Hereof; Finding And Determining That The Meeting At Which This Ordinance Is Passed Was Noticed And Is Open To The Public As Required By Law

Close Public Hearing

22. ADJOURNMENT

Overall Location Map

By direction of the Planning and Zoning Commission and Board of Adjustment of the City of Sherman.

Clay Mahone, Chairman

ATTEST: Rob Rae, Secretary

Meetings of this advisory board are open to the public

Note: The above agenda schedule represents an estimate of the order for the indicated items and is subject to change at any time.

In accordance with the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the Planning and Zoning Commission and Board of Adjustment may hold an executive session if the discussion of any of the items identified in this agenda, or any of the items identified below, concern one or more of the following:

Tex. Gov't Code § 551.071

Seeking the advice of its attorney about pending or contemplated litigation, settlement offers or any matter in which the duty of the attorney to the Planning and Zoning Commission and Board of Adjustment under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act.

Certification

I, the undersigned authority, do hereby certify that the above Agenda of the Regular Meeting of the Board of Adjustment and Planning and Zoning Commission of the City of Sherman is a true and correct copy of said Notice and that I posted a true and correct copy of said Notice on the bulletin board, at City Hall, of said City of Sherman, Texas, a place convenient to the public and said notice was posted on September 11, 2025 at 4 p.m. and said time of posting was 72 hours before said meeting was convened or called to order.

Dated this 11th day of September 2025
City of Sherman, Texas
Naomi Lightfoot
Development Services



Planning & Zoning Commission Development Services

Agenda Item No. 2.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot, Development Services Planning Coordinator

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

APPROVE MINUTES OF THE REGULAR AUGUST 19, 2025 PLANNING AND ZONING COMMISSION AND BOARD OF ADJUSTMENT MEETING

Background:

APPROVE MINUTES OF THE REGULAR AUGUST 19, 2025 PLANNING AND ZONING COMMISSION AND BOARD OF ADJUSTMENT MEETING

Origination:

Development Services

Staff Recommendation:

Staff recommends that the P&Z Commission approve the minutes.

Attachments:

1. 2025-08-19 Action Minutes

AGENDA

The Planning and Zoning Commission and Board of Adjustment of the City of Sherman held a regular meeting Tuesday, August 19, 2025, at 5:00 P.M. in the City Hall at 220 West Mulberry Street to consider the following:

All requests are subject to the Zoning Ordinance/Code of Ordinance Chapter 14, unless otherwise stated.

The Planning and Zoning Commission and Board of Adjustment meetings are Video and Audio recorded and can be viewed at: <https://www.ci.sherman.tx.us/701/Agendas-and-Minutes>

1. **CALL TO ORDER**
Bookmarked at 00:00:02
2. **APPROVE ACTION MINUTES OF THE REGULAR JUNE 17, 2025 AND THE JULY 22, 2025 PLANNING AND ZONING COMMISSION AND BOARD OF ADJUSTMENT MEETING.**
Bookmarked at 00:00:22
MINUTES FROM THE JUNE 17, 2025 WERE NOT COMPLETED IN ADVANCE OF POSTING THE AGENDA PACKET. THESE MINUTES WILL BE AVAILABLE FOR REVIEW AT AUGUST 19, 2025 P&Z MEETING.
3. **ANNOUNCEMENTS**
Bookmarked at 00:00:54
4. **CITIZEN COMMENTS**
Bookmarked at 00:03:30

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Open Public Hearing

5. **CONSENT AGENDA (ITEMS 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16 AND 17)**
Bookmarked at 00:05:36
The Commission reviewed the Consent Agenda. Commission Member Blagg moved to approve Items 6, 7, 8, 9, 10, 12, 13, 14, 15, and 16 on the Consent Agenda as presented and Items 11 and 17 to be removed. Second by Commission Member Sims.
VOTING AYE: MAHONE, DOWNTAIN, RAMIREZ, WHITAKER, BERTHOLF, BLAGG AND SIMS
VOTING NAY: NONE.
MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.
6. * **1501 HERITAGE RANCH TRAIL (Project No. 000105-2025)**
The request of Sherman Independent School District (Owner) and Teague Nall & Perkins, Inc. (Surveyor) concerning the property located at 1501 Heritage Ranch Trail, consisting of 23.764 acres situated in and being a portion of the Uriah Burns Survey, Abstract No.121, being all of a tract of land described by deed to Sherman Independent School District and currently zoned PD (Planned Development) District/Heritage Ranch Planned Development, as follows:
Planning and Zoning Commission
Final Plat for Parker Elementary School.

7. * **1509 WEST HOUSTON STREET (Project No. 000117-2025)**
 The request of Garland Sunset, LLC (Owner) and Helvey-Wagner Surveying, Inc.(Surveyor) concerning the property at West Houston Addition, consisting of 1.042 acres situated in Lots 1R & 2R, Block 1 West Houston Addition and being a Replat of Part of Block 1, Replat of Westwood Village Subdivision, being in the J.B. McAnair Survey, Abstract No.763, and currently zoned C-1 (Retail Business) District, as follows:
Planning and Zoning Commission
 Final Plat for West Houston Addition.
8. * **2546 LUELLA ROAD (Project No. 000119-2025)**
 The request of Scott Benson (Owner) and Helvey – Wagner Surveying, Inc. (Surveyor) concerning the property at 2546 Luella Road, consisting of 1.361 acres situated in Lot 1, Block A Benson Estates at Burning Hill Phase one and being a part of the Winiford Bailey Survey, Abstract No.64, and currently located in ETJ (Extraterritorial Jurisdiction) as follows:
Planning and Zoning Commission
 Final Plat for Benson Estates at Burning Hill Phase One.
9. * **2600 BLOCK LUELLA ROAD (Project No. 000120-2025)**
 The request of Scott Benson (Owner) and Helvey – Wagner Surveying, Inc. (Surveyor) concerning the property at 2600 Block Luella Road, consisting of 2.674 acres situated in Lot 1 & 2, Block Benson Estates at Burning Hill Phase Two and being a part of the Winiford Bailey Survey, Abstract No.64, and currently located in ETJ (Extraterritorial Jurisdiction) as follows:
Planning and Zoning Commission
 Final Plat for Benson Estates at Burning Hill Phase Two.
10. * **300-1200 BLOCK US HIGHWAY 82 WEST (Project No. 000122-2025)**
 The request of AJH Enterprises, LTD (Owner), Bryan Weisgerber (Applicant) and Underwood Drafting & Surveying (Surveyor) concerning the property at 300-1200 Block US Highway 82 West, consisting of 133.14 acres, and being in the J.B. McAnair Survey, Abstract No.763, and currently zoned R-5 (Single-Family Residential) District/ R-6 Single-Family Residential) District, as follows:
Planning and Zoning Commission
 Final Plat for The Hills of Sherman.
11. * **360 EAST EVERGREEN (Project No. 000123-2025)**
 The request of Cool Water Development, LLP (Owner), David Weaver (Applicant) and Underwood Drafting & Surveying (Surveyor) concerning the property at 360 East Evergreen, Block 1, Lot 2 Kerr’s North Walnut Addition, consisting of 0.289 acres, and being in the J.B. McAnair Survey, Abstract No.763, and currently zoned C-1 (Retail Business) District, as follows:
Planning and Zoning Commission
 Final Plat for Cool Water Addition.
Bookmarked at 00:07:08
Planning and Zoning Commission
Motion by Commission Member Sims to table the Final Plat provided by the applicant during the public hearing located at 360 east Evergreen. Second by Commission Member Downtain.
VOTING AYE: MAHONE, DOWNTAIN, WHITAKER, BLAGG, RAMIREZ, BERTHOLF AND SIMS
VOTING NAY: NONE.
MOTION CARRIED.
- This item was tabled by the Commission.**
12. * **5300-5600 BLOCKS OF THERESA DRIVE (Project No. 000124-2025)**
 The request of 5 Guys Land Holding Company (Owner) and Underwood Drafting & Surveying (Surveyor) concerning the property at 5300-5600 Blocks of Theresa Drive, consisting of 27.020 acres, and being in the Daniel C. Shelp Survey, Abstract No.1097, and currently zoned M-2 (Heavy Manufacturing) District, as follows:
Planning and Zoning Commission
 Final Plat for 5 Guys Land Addition.
13. * **2611 NORTH HIGHWAY 75 (Project No.000112-2025)**
 request of SCM2 Development (Owner), Steve Meier (Applicant) and Underwood Drafting & Surveying, INC. (Surveyor) The for the property located at 2611 North Highway 75, Lot 4, Block 1, ESA Sherman Addition, consisting of 2.07 acres, being in the J.B McAnair Survey, Abstract No. 763, currently zoned C-1 (Retail Business) District/75&82 Overlay District, as follows:

Planning and Zoning Commission

Site Plan for Bubba's 33 Restaurant.

14. * **2601 BLOCK NORTH HIGHWAY 75 (Project No.000113-2025)**

The request of SCM2 Development (Owner), Steve Meier (Applicant) and Underwood Drafting & Surveying, INC. (Surveyor) for the property located in the 2601 Block North Highway 75, Lot 2, Block 1, ESA Sherman Addition, consisting of 1.58 acres, being in the J.B McAnair Survey, Abstract No. 763, currently zoned C-1 (Retail Business) District/75&82 Overlay District, as follows:

Planning and Zoning Commission

Site Plan for Longhorn Steakhouse Restaurant.

15. * **4160 TOWN CENTER STREET (Project No.000107-2025)**

The request of Target Corporation (Owner), GPD Group Professional Corporation (Representative) and Tesla, Inc. (Applicant) for the property located at 4160 Town Center Street, Lot 2, Block 4, consisting of 10.9786 acres, being in the James H. Clark Survey, Abstract No. 273, currently zoned C-1 (Retail Business) District/75&82 Overlay District, as follows:

Planning and Zoning Commission

Site Plan for Tesla Supercharging Station

16. * **301 BLOCK JAMESTOWN BOULEVARD (Project No. 000111-2025)**

The request of Cope Equities, LLC (Owner) and Kimley-Horn (Applicant) concerning the property located at 301 Block Jamestown Boulevard, Lot 4, Block A Jamestown Square, consisting of 6.109 acres, John Chronister Survey, Abstract No. 248, currently zoned MF-30 (Multifamily Residential) District/75&82 Overlay District, as follows:

Planning and Zoning Commission

Site Plan for Creekwood Villas at Jamestown Square Multifamily.

17. * **801 EAST FM 1417 (VIETNAM VETERANS PARKWAY) (Project No. 000086-2025)**

The request of Pradeep Singla SBD Investments, LLC (Owner), Ellitt Bogart (Applicant) and Traverse Land Surveying LLC (Surveyor) concerning the property located at 801 East FM 1417 (Vietnam Veterans Parkway), consisting of 1.102 acres, being Lot 2, Block 8, Constitution Village, Preston Kitchen Survey, Abstract No. 667, currently zoned C-1 (Retail Business) District/FM Highway 1417 Overlay District, as follows:

Planning and Zoning Commission

Site Plan for Retail/Restaurant.

Bookmarked at 00:09:07

Planning and Zoning Commission

Motion by Commission Member Blagg to approve the Site Plan provided by the applicant during the public hearing located at 801 East FM 1417. Second by Commission Member Ramirez.

VOTING AYE: MAHONE, DOWNTAIN, WHITAKER, BLAGG, RAMIREZ, BERTHOLF AND SIMS

VOTING NAY: NONE.

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

18. **400 WEST HOUSTON STREET (Project No.000089-2025)**

The request of Los Hermanos (Owner), House of Eli (Applicant) and Helvey & Associates Surveying, Inc. (Surveyor) concerning the property located at 400 West Houston Street, consisting of 1.0705 acres, being in the J.B. McAnair Survey, Abstract No. 763, and currently zoned C-1 (Retail Business) District/C-2 (General Commercial) District/Central Business District Overlay (Highway Subdistrict), as follows:

Board of Adjustment

A. Public Hearing and Variance under section 14.04.004 to allow a 6' tall chain link fence in the front yard in lieu of the allowed 4' decorative with openings in not less than fifty (50) percent and in lieu of chainlink being prohibited in the front yard.

Planning and Zoning Commission

B. Site Plan for What's Up Dawg indoor kennel

Bookmarked at 00:20:38

Board of Adjustment

Motion by Commission Member Sims to deny item A, located at 400 West Houston Street. Second, by Commission Member Blagg.

VOTING AYE: MAHONE, DOWNTAIN, SIMS, WHITAKER AND BLAGG

VOTING NAY: NONE.

MOTION CARRIED.

Planning and Zoning Commission

Motion by Commission Member Downtain to approve item B, located at 400 West Houston Street. Second, by Commission Member Blagg.

VOTING AYE: MAHONE, DOWNTAIN, WHITAKER, BLAGG, RAMIREZ, BERTHOLF AND SIMS

VOTING NAY: NONE

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE

19. 200 BLOCK WEST TRAVIS STREET (Project No.000114-2025)

The request of Jeff Harkinson, Sherman Crossroads, Ltd. (Owner), and Kimley Horn (Applicant) for the property located at 200 Block West Travis Street, consisting of 3.087 acres, being in the Preston Kitchen Survey, Abstract No. 667, currently zoned Blalock Industrial Park PD (Planned Development) District/Blalock Commercial Overlay District, as follows:

Board of Adjustment

A. Public Hearing and Variance under Section 14.03.007 to allow a 5' rear setback in lieu of the required 15' rear setback for a permanent stage structure.

Planning and Zoning Commission

B. Site Plan for The Backyard commercial, restaurant, and stage addition.

Bookmarked at 00:26:42

Board of Adjustment

Motion by Commission Member Downtain to approve item A, located at 200 Block West Travis Street. Second by Commission Member Whitaker.

VOTING AYE: MAHONE, DOWNTAIN, SIMS, WHITAKER AND BLAGG

VOTING NAY: NONE.

MOTION CARRIED.

Planning and Zoning Commission

Motion by Commission Member Downtain to approve item B, located at 200 Block West Travis Street. Second, by Commission Member Blagg.

VOTING AYE: MAHONE, DOWNTAIN, WHITAKER, BLAGG, RAMIREZ AND SIMS

VOTING NAY: NONE.

ABSTAINED: BERTHOLF

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE

20. 2001 SKYLINE DRIVE (Project No. 000109-2025)

The request of Dean Gilbert Jr, LLC (Owner), Pathway Fellowship Church (Applicant) and Kent Hughlett (Architect) concerning the property located in the 2001 Skyline Drive, consisting of 2.85 acres, being part of Lot 3, Block 1, Skyline Business Park Addition, Fielding Bacon Survey, Abstract No. 119, currently zoned C-1 (Retail Business) District/F.M. Highway 1417 Overlay District, as follows:

Board of Adjustment

A. Public Hearing and Variance under Section 14.02.016 to allow a 26' side setback in lieu of the required 40' for the existing structures.

Planning and Zoning

B. Public Hearing and Specific Use Permit under Section 14.06.009 to allow a Church or Other Place of Worship in a C-1 (Retail Business) District/F.M. 1417 Overlay District.

Bookmarked at 00:32:36

Board of Adjustment

Motion by Commission Member Downtain to approve Items A, located at 2001 Skyline Drive. Second, by Commission Member Blagg.

VOTING AYE: MAHONE, RAMIREZ, SIMS, WHITAKER AND BLAGG
VOTING NAY: NONE.
MOTION CARRIED.

Planning and Zoning Commission

Motion by Commission Member Downtain to approve Item B, located at 2001 Skyline Drive. Second by Vice Chairman Ramirez.

VOTING AYE: MAHONE, DOWNTAIN, WHITAKER, BLAGG, RAMIREZ, BERTHOLF AND SIMS
VOTING NAY: NONE.
MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

21. 2500 BLOCK FALLON DRIVE (Project No. 000116-2025)

The request of Ali Farmehr (Owner), Greg Joseph (Applicant) and Helvey-Wagner Surveying, Inc. (Surveyor) concerning the property located in the 2500 Block Fallon Drive, consisting of 2.482 acres, D.C. Shelp Survey, Abstract No. 1097, currently zoned C-2 (General Commercial) District, as follows:

Planning and Zoning

- A. Public Hearing and Specific Use Permit under Section 14.08.001 to allow an Automobile Repair, Body Work, or Painting in a C-2 (General Commercial) District.
- B. Site Plan for a Retail and Endurance Automotive addition.

Bookmarked at 00:36:19

Planning and Zoning Commission

Motion by Commission Member Ramirez to approve Item A and Item B subject to the Staff Review Letter located at 2500 Block Fallon Drive. Second, by Commission Member Blagg.

VOTING AYE: MAHONE, DOWNTAIN, WHITAKER, BLAGG, RAMIREZ, BERTHOLF AND SIMS
VOTING NAY: NONE.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

22. 3100 BLOCK REX CRUSE DRIVE (Project No. 000110-2025)

The request of Malissa Hidalgo, LLC (Owner), David Vilbig - Vilbig & Associates (Applicant) concerning the property located in the 3100 Block Rex Cruse Drive, being part of Block 1, Lot 1, Turtle Creek North Addition Section 5, consisting of 10.544 acres, and currently zoned R-6 (Single-Family Residential) District, as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from an R-6 (Single-Family Residential) District to R-2F (Duplex Residential) District.

Bookmarked at 00:40:01

Planning and Zoning Commission

Motion by Commission Member Sims to deny the Zone Change located at 3100 Block Rex Cruse Drive. Second by Commission Member Whitaker.

VOTING AYE: NONE

VOTING NAY: MAHONE, DOWNTAIN, WHITAKER, BLAGG, RAMIREZ, BERTHOLF AND SIMS
MOTION CARRIED.

This item was denied by the Commission.

23. ADJOURNMENT

Bookmarked at 01:04:24

Chairman Mahone adjourned the meeting at 6:03 p.m.



ACTING SECRETARY

CHAIRMAN

T-PAG LLC
82 Shawnee Cir
Denison, TX 75020
903-640-3379

Date: August 15, 2025

To: Sherman Planning and Zoning Commission
220 W. Mulberry Street
Sherman, TX 75090

**Re: Opposition to Site Plan Proposal for 801 E. FM 1417 by SBD Investments
PROJECT No. 000086-2025**

Dear Members of the Planning and Zoning Commission,

We are writing to formally express our opposition to the proposed site plan submitted by SBD Investments for the property located at 801 E. FM 1417 in Sherman, Texas.

As a party in the process of acquiring the residential lots directly north of this site through a land swap agreement with Lennar Home Builders, along with dedicating ROW for the new Bel-Air Blvd extension; we have serious concerns about the compatibility of this proposed commercial development with the surrounding residential neighborhood. My primary objections are as follows:

Inappropriate Drive-Through Configuration

The current layout of the drive-through will funnel commercial vehicle traffic and customer activity immediately adjacent to residential properties. This configuration poses a significant noise disturbance, particularly during early morning and late evening hours, which will directly impact quality of life for nearby residents.

Unsafe and Congested Access Point on FM 1417

The proposed commercial driveway entrance along FM 1417 is located **dangerously close** to South Carolina Street, an existing residential roadway—less than 200 feet away. Even more concerning, this entrance is **just 33 feet** from an existing driveway to the east that services the Grayson County Emergency Communications Tower. Additionally, there will be a new lighted intersection just to the east the communications tower already in the transportation plan.

This close clustering of driveways and intersections will create a highly congested and potentially dangerous traffic pattern and would not be an approved driveway using TXDOT standards.

Received
by
Ysamin
C
1:22
on 8/15/25

Additionally, T-PAG LLC holds a right of reservation in the deed for the emergency tower property, which may be developed in the future. Any future development would be significantly impacted by this commercial entrance, which is too close to all existing intersections (future lighted intersection of Bel Air and 1417) and compromises future traffic planning and site access.

Environmental and Public Health Concerns with Dumpster Location

The proposed location of the commercial dumpster—less than 50 feet from a residential backyard—is wholly unacceptable. Beyond the visual blight, the placement raises serious concerns regarding odor, rodent infestation, and unsanitary conditions, as well as disturbing noise from early-morning trash collection trucks. This plan presents clear conflicts with residential health, safety, and welfare.

Given these issues, I strongly urge the Planning and Zoning Commission to deny approval of the current site plan. At a minimum, I request the following be addressed:

- Reconfiguration of the drive-through to minimize noise exposure to adjacent homes
- Relocation of the dumpster to a more appropriate location
- A traffic impact study and redesign of the FM 1417 access point to ensure public safety
- Enhanced landscaping or a sound/privacy barrier between the commercial site and residential lots

Mr. Chairperson, we appreciate you and the board's commitment to managed growth with care and consideration of future land use. We are interested in working with the principals with SBD to achieve a more thoughtful, better-designed site plan to help springboard this trade area into the future. We only have one chance to get this right and we are willing to work out an acceptable agreement.

Sincerely,

Dustin Farris

T-PAG LLC



Planning in zoning August 19, 2025

#22

Agenda Turtle Creek edition

1. Does the product fit the cities comprehensive plan and projected demographics?
2. What are the benefits for our neighborhood?
3. Have any assessments been done regarding increase in traffic?
4. Are there any regulations in place concerning tree mitigation?
5. The garage dimensions on the plans do not fit the square footage noted on the elevations .
6. One garage shown is 19' in length, minimum is 20 foot.
7. This brings into question the integrity and professionalism of the plan submitted to the city.

Greg Krench
3121 Rivercrest Dr.
Sherman, Texas
214-254-8832



ZONING PETITION FORM

If surrounding property owners want to oppose a zoning change request that has not been acted upon by City Council, complete the following form and submit it to the Planning Department prior to the City Council meeting. (Staff recommends that you submit this form as early as possible and before the Planning and Zoning Commission's recommendation to City Council.) Original signatures and addresses/tax identification numbers must be submitted to the Planning Department in order to be valid. The petition will be subject to the following state law.

Per Section 211.006(d) of the Texas Local Government Code:

"If a proposed change to a regulation or boundary [zoning] is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either:

1. the area of the lots or land covered by the proposed change; or
2. the area of the lots or land immediately adjoining the area covered by the proposed change."

Zoning Case # and Description: 3100 BLOCK REX CRUSE DRIVE (Project No. 000110-2025)
The request of Malissa Hidalgo, LLC (Owner), David Vilbig - Vilbig & Associates (Applicant) concerning the property located in the 3100 Block Rex Cruse Drive, being part of Block 1, Lot 1, Turtle Creek North Addition Section 5, consisting of 10.544 acres, and currently zoned R-6 (Single-Family Residential) District, as follows:
Planning and Zoning Commission Public Hearing and Zone Change from an R-6 (Single-Family Residential) District to R-2F (Duplex Residential) District

I, Frank Edwards _____, do hereby verify that I collected the information contained on this document and that the persons whose names are listed hereon did sign this document in my presence and that I witnessed their signature for the purposes stated herein.



 Signature of Person Collecting Names

3120 Rivercrest Drive	903-815-3211	Frank@OurTPI.com
Address	Telephone Number	E-Mail Address

We, the undersigned owners of property within 200' of the property that is the subject of this zoning case, oppose the requested zoning change because (attach additional pages if necessary)

- Changing the zone from R-6 to R-2F can and will devalue the properties in North Haven.
- Secondly, opening access from Rex Cruse through this property to Monfort Street. This will allow traffic flow from Rex Cruse through North Haven which will increase traffic flow through North Haven. There are several residents in this area that walk in this area that feel safe with the current low traffic flow.
- Additionally, how will the topography affect the drainage issues that currently affect the residents on the East side of Rivercrest Drive.
- Our current HOA requires a minimum of 80% masonry materials.
- The minimum square feet requirement is 1600.
- Duplexes are generally rental units which will devalue our properties in North Haven.
- What damage will happen to the roads during the construction phase? Rivercrest Drive is currently cracked due to water transpiration from the proposed North Haven Phase II.

Property Owner Signature	Printed Name	Address or Tax ID #
1.	BILL SAUERBERGER	3109 RIVERCREST
2.	Wood	3117 Rivercrest
3.	Dennis Graham	3133 Rivercrest
4.	Darlene Graham	3133 Rivercrest Dr.
5.	Christopher M Casnedes	3125 Rivercrest Dr.
6.	DAVID WILLIAMS	3129 RIVERCREST
7.	Deborah Williams	3129 Rivercrest
8.	Jennifer Politi	3124 Rivercrest Dr.
9.	Kathy Sharp	3137 Rivercrest Dr.
10.	DC	3203 Lexington DR.
11.	Samantha Cirkles	3203 Lexington DR.
12.	Brandi Snodgrass	3207 Lexington Dr
13.	Danny Elliott	3215 Lexington Dr
14.	JOHN F HAGERMAN	1409 LEXINGTON DR
15.	Lue McGray	1421 Lexington Dr
16.	MARK WOOD	1425 LEXINGTON DR
17.	Aaron LeBlanc	1413 Lexington Dr.
18.	William Helvie	1406 Lexington Dr.
19.	William Helvie	1406 Lexington Dr.
20.	Hamilton, Stephen	1402 Lexington
21.	Matt Townsend	1407 Montfort Dr.
22.	John Williams	1415 MONTFORT DR.
23.	TOM JENKINS	1423 MONTFORT DR
24.	Patricia McAnson	1427 Montfort Dr.
25.	Mildred Foster	1420 Montfort Dr.
26.	SANDRA MILSTON-CASPER	1521 Idlewood Dr.
27.	3105 Rivercrest D	Charlotte Romanchuk
28.	Mark Bennett	1505 Idlewood Dr
29.	Virginia Pilant	1505 Idlewood Dr.
30.	Margaret Talyck	1405 Idlewood Dr.
31.	Frank Edwards	3120 Rivercrest Dr.
32.	Sharon Edwards	3120 Rivercrest Dr.
33.	Sharon Edwards	3120 Rivercrest Dr.
34.	Sharon Edwards	3120 Rivercrest Dr.
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Lightfoot, Naomi

From:
Sent: Saturday, August 16, 2025 1:29 PM
To: Planning
Subject: RE: 3100 BLOCK REX CRUSE DRIVE

EXTERNAL EMAIL: -- Avoid clicking on links or files -- Be safe!

To Whom it may concern:

This is Frederick and Karen Scott, 3211 Lexington Drive Sherman, Texas 75092. We would like to strongly express our objection of rezoning said property to R-2F Duplex Residential property for various reasons.

My wife, 66 years of age, and I, 69 years of age, have been living at our current address since 2015 and nothing has changed in 10 years since we bought our home and we want to keep it that way. We have great neighbors, it's very quiet, very little traffic and we have never experience any crime in our area. There's also concerns if rezoning will have any negative effects towards our home value.

We strongly support said property currently zoned R-6, single family residential district to remain as such.

Sincerely,

The Scotts

Lightfoot, Naomi

From:
Sent: Monday, August 18, 2025 7:17 AM
To: Planning
Subject: Rezoning of 3100 block of Rex Cruse

EXTERNAL EMAIL: -- Avoid clicking on links or files -- Be safe!

My name is David Cirkles. My wife Samantha and I live on Lexington drive. We have signed a petition along with our neighbors to voice our opinions to oppose the rezoning in this area. This email is just to reiterate how strongly we oppose going forward with the rezoning effort. Please take ours and our neighbor's concerns carefully into consideration when making the decision to vote on the rezoning. We asked that you vote against the rezoning. Thank you.
Sent from my Verizon, Samsung Galaxy smartphone
Get [Outlook for Android](#)

Lightfoot, Naomi

From:
Sent: Monday, August 18, 2025 1:35 PM
To: Planning
Subject: Fw: Failure Notice

EXTERNAL EMAIL: -- Avoid clicking on links or files -- Be safe!

Dear Sir,

My name is Virginia Pilant. I am responding to the letter I received from the city about the change in zoning from an R-6 (Single-Family Residential) District to R-2F (Duplex Residential) District at 3100 Block Rex Cruse Drive.

I ~~have lived at 1505 Idlewood Drive~~ for 36 years, which backs up to the above address. I am very concerned that with the zone change to duplexes it would cause the value of my home to go down. Also, with duplexes there will be twice the number of families living in that small area which will bring twice the vehicles along with an increase in traffic and noise. With the duplexes being two story, they will be looking down into my backyard. I will lose the privacy that I have now. I strongly object to the rezoning. Please consider my point of view.

Sincerely,

Virginia Pilant

Lightfoot, Naomi

From:
Sent: Monday, August 18, 2025 2:37 PM
To: Planning
Subject: Rezoning 3100 Block Rex Cruse Drive
Attachments: Planning and Zoning Commission Letter.docx

EXTERNAL EMAIL: -- Avoid clicking on links or files -- Be safe!

Dear Commission,

I am unable to attend the commission meeting on Tuesday, August 19, 2025, but I wanted my voice to be heard. I am attaching my response to the proposed rezoning and would gladly be there in person to voice my concerns if it was not for work obligations. Please feel free to contact me with any questions.

John Hines

August 18, 2025

Planning & Zoning Commission
City of Sherman
317 S. Travis St.
Sherman, TX 75090

RE: Proposed Rezoning of 3100 Rex Cruse Drive

To the Members of the Planning & Zoning Commission:

Although this letter is a template, the points are valid and the opinion is sincere. The residents of the Turtle Creek North subdivision vehemently oppose this proposed rezoning.

I am unable to attend this meeting but I wanted to express my opinion and concern.

I write today to strongly oppose the proposed rezoning of 3100 Rex Cruse Drive (“the parcel”) from an R-6 single family residential district to an R-2F duplex residential district. At stake in this matter is the profound negative impact such a change could have on some of Sherman’s most desirable and well-established neighborhoods. There are several reasons for my opposition to this proposed change.

- A. Changing this area from a single-family residential district to a duplex residential district would disturb the overall integrity of the Turtle Creek North and North Haven neighborhoods by causing unfettered real estate speculation, disinvestment, and property value decline.**

The Turtle Creek North subdivision is a well-established, older neighborhood comprised of ranch homes built in the late 1970s and early 1980s. It is a highly desirable area in the Sherman real estate market. The adjacent neighborhood, North Haven, was constructed in the mid-2000s and is also a highly sought after area in the Sherman real estate market. Young families and retirees comprise most of the property owners in these neighborhoods. The properties in these neighborhoods show pride-of-ownership and are well-maintained.

The introduction of duplexes on the parcel would encourage investor and real estate speculation. Such individuals would buy the duplexes and then rent them out. This in turn would cause absentee homeownership, and at that point, the

investor or real estate speculator would disinvest in the properties. Resultantly, these properties would deteriorate and negatively impact the property values of the surrounding, established neighborhoods.

Additionally, such a development could foster increased transience and turnover of residents in the area. The long-term residents within Turtle Creek North and North Haven would be more protective of the integrity of the neighborhood, whereas short-term tenants would not be. This, too, would negatively impact the property values of the area since short-term tenants would not be as invested in the maintenance and upkeep of the area, and potential buyers would be concerned about proximity to rentals.

B. Development of 3100 Rex Cruse will have grave environmental impacts such as erosion, habitat loss, light pollution and noise pollution.

1. Water Runoff/Erosion

Many homes with the Turtle Creek North and North Haven neighborhoods presently experience severe issues with water runoff coming from 3100 Rex Cruse. Property owners have used a variety of techniques including French drains, swales, and landscaping to address the water runoff issue, and these methods have had mixed success. The last several years of heavy spring rains have only exacerbated the water runoff issue.

Several homes along Idlewood Drive in the Turtle Creek North subdivision immediately border the parcel. These properties have negatively sloped backyards, and the property owners have had to take further measures to contain water runoff such as constructing new retaining walls or adding more French drains. Additionally, some property owners have voiced concerns that water runoff from the parcel may lead them to re-landscaping/re-grading their yards or reworking their driveways. Too, many homes within the neighborhood have experienced settlement or severe foundation problems due to the shifting clay soils of our area.

If development of the parcel were to proceed, whether with duplexes or single-family residences, it is highly probable that the above-mentioned issues would only worsen, and in turn, have a profound, deleterious impact on the finances of affected property owners as they attempt to mitigate these issues.

2. Habitat Loss

The parcel provides an excellent habitat for a wide variety of urban wildlife including hawks and other predatory birds, egrets and several species of turtles who rely on a nearby pond in Turtle Creek North, songbirds, hummingbirds, bees, and rabbits. Observing this wildlife, whether from one's backyard or during a walk through the area, has added to the enjoyment and desirability of the neighborhoods. Development of the parcel would destroy this lush ecosystem.

3. Light and Noise Pollution

Currently, the Turtle Creek North and North Haven neighborhoods are well-positioned away from large sources of light pollution and are relatively insulated from noise originating from U.S. Highway 82. The parcel is a further buffer against light and noise pollution from development occurring at the Heritage Ranch and Hills of Sherman subdivisions.

The introduction of duplexes onto the parcel would upend these protections since duplexes would require high wattage security lights on the complexes themselves and within parking areas. These high wattage lights would shine into the backyards of property owners adjacent to the parcel. As a result, these property owners would experience loss of enjoyment of their backyards and their property as a whole and would potentially drive down property values. Furthermore, development of the parcel would offer no natural buffer to noise from the highway. Noise would also increase in the area due to the influx of duplex tenants.

C. Building duplexes on the parcel will lead to severe traffic congestion and put intense strain on already inadequate infrastructure.

Access to the Turtle Creek North and North Haven neighborhoods is relatively limited.

For many residents of Turtle Creek North, the primary road to and from the neighborhood is Rex Cruse Drive. Rex Cruse Drive is accessible either from West Lamberth Road or from the U.S. Highway 82 frontage road. Rex Cruse is a narrow street and bounded by garden homes, older apartment complexes, a church, and two smaller city parks. A new subdivision is already underway along Rex Cruse.

Two-way traffic can become difficult if residents have parked their cars along the street or if there are service or delivery vehicles in the area. With the Hills of Sherman development in progress, traffic will become more problematic with

construction trucks and ultimately when new property owners move into the subdivision.

Similarly, many residents of the North Haven neighborhood have access via Rex Cruse and from Cypress Grove Drive which runs parallel to the U.S. Highway 82 access road.

As currently configured, the infrastructure for residents highly inadequate. If the parcel were to be developed into duplexes, traffic would exponentially increase in the area, and many parts of the subdivision would be negatively affected. For example, there are no sidewalks in Turtle Creek North, and many young families and elderly residents who walk in the area would have to contend with increased traffic from new residents. This influx would be compounded by the Hills of Sherman subdivision further down Rex Cruse.

Additionally, it appears that the only access point for duplexes on the parcel would be at the intersection of Monfort and Rivercrest Drives in the North Haven neighborhood. If development were to proceed, property owners in the area would have to contend with construction crews and equipment entering and exiting the parcel near their properties. Such activity would have a detrimental effect on these property owners and the enjoyment of their homes. Once development were completed, then property owners in both neighborhoods would have to contend with the influx of new residents and vehicular traffic.

D. Conclusion

It is my sincere hope that the Planning and Zoning Commission will seriously consider the reasons I have outlined in this letter opposing the proposed zoning change. I hope that the Commission will also listen to and weigh the concerns brought up by my neighbors in this matter. Thank you for your time and attention.

Sincerely,

John Hines
1425 Idlewood Dr.
Sherman, TX 75092

Lightfoot, Naomi

From:
Sent: Sunday, August 17, 2025 7:27 PM
To: Planning
Subject: 3100 Rex Cruse

Follow Up Flag: Follow up
Flag Status: Flagged

EXTERNAL EMAIL: -- Avoid clicking on links or files -- Be safe!

To the members of the Planning and Zoning Commission:

My name is Margaret Tatyrek, and I live at 1405 Idlewood Drive in Sherman. I am writing to oppose the rezoning of the property in the 3100 block of Rex Cruse. The letter we received in the mail and the notice posted on the gate outside the parcel of land in question contained a QR code; but the QR code leads to a page that returns an error, so I cannot view the map or any additional information that may have been provided. A call requesting that this be fixed was not returned; so please forgive any inaccuracies in my understanding of what this parcel is to be used for.

As someone whose property is directly downhill from the land in question, I have concerns about what construction would do for drainage, erosion, and household pests. I also have concerns about how many more vehicles duplexes may bring to the area and how this increase might negatively impact our street and neighborhood community. Finally, I am concerned about the possibility of duplexes being rental properties rather than properties purchased by owners, considering my past negative experiences as a renter and general concerns about rental companies in the North Texas area.

First, regardless of what the area is zoned for, I want to note that construction of any kind on this property would be not only a nuisance to the whole neighborhood but has the potential to impact drainage (much of our street is downhill from the land parcel) and erosion. Because our homes are not a part of the developer's land, we worry about whether the proper attention will be paid to making sure that runoff water is not routed directly into our backyards, causing even more foundation problems than we all already have in this area. As it is, my next-door neighbor has already observed how the soil beneath his driveway is being eroded by runoff from the field, and he says the driveway is beginning to collapse. The concern is that not only could this be exacerbated for a great number of neighbors, but also that any construction in the area will cause an influx of disease-carrying pests such as mice. Last year, just after the field was mowed, both we and our neighbors saw an influx of mice in our homes; and the pest control company said it was even worse for the properties near the other construction area off of Rex Cruse and 82. We do not want to experience this again.

My second concern is regarding traffic and runoff from vehicles. Unless another access point to this field will be created connecting to Cypress Grove and/or 82, traffic on roads like Idlewood/Shoreline, Rivercrest, and Rex Cruse is likely to increase. Rex Cruse is a very narrow road that will already experience difficulties when the other large neighborhood is finished. While Rivercrest north of Idlewood has sidewalks, there are no sidewalks on Idlewood/Shoreline; and this is a neighborhood where families, people with dogs, and children on bikes and scooters walk and jog. A large part of my choice to live in this

Lightfoot, Naomi

From:
Sent: Sunday, August 17, 2025 7:59 PM
To: Planning
Subject: Proposed Rezoning of 3100 Rex Cruse Drive

Follow Up Flag: Follow up
Flag Status: Completed

EXTERNAL EMAIL: -- Avoid clicking on links or files -- Be safe!

August 17, 2025

Planning & Zoning Commission
City of Sherman
317 S. Travis St.
Sherman, TX 75090

RE: Proposed Rezoning of 3100 Rex Cruse Drive

To the Members of the Planning & Zoning Commission:

I write today to strongly oppose the proposed rezoning of 3100 Rex Cruse Drive (“the parcel”) from an R-6 single family residential district to an R-2F duplex residential district. At stake in this matter is the profound negative impact such a change could have on some of Sherman’s most desirable and well-established neighborhoods. There are several reasons for my opposition to this proposed change.

A. Changing this area from a single-family residential district to a duplex residential district would disturb the overall integrity of the Turtle Creek North and North Haven neighborhoods by causing unfettered real estate speculation, disinvestment, and property value decline.

The Turtle Creek North subdivision is a well-established, older neighborhood comprised of ranch homes built in the late 1970s and early 1980s. It is a highly desirable area in the Sherman real estate market. The adjacent neighborhood, North Haven, was constructed in the mid-2000s and is also a highly sought after area in the Sherman real estate market. Young families and retirees comprise most of the property owners in these neighborhoods. The properties in these neighborhoods show pride-of-ownership and are well-maintained.

The introduction of duplexes on the parcel would encourage investor and real estate speculation. Such individuals would buy the duplexes and then rent them out. This in turn would cause absentee homeownership, and at that point, the investor or real estate speculator would disinvest in the

properties. Resultantly, these properties would deteriorate and negatively impact the property values of the surrounding, established neighborhoods.

Additionally, such a development could foster increased transience and turnover of residents in the area. The long-term residents within Turtle Creek North and North Haven would be more protective of the integrity of the neighborhood, whereas short-term tenants would not be. This, too, would negatively impact the property values of the area since short-term tenants would not be as invested in the maintenance and upkeep of the area, and potential buyers would be concerned about proximity to rentals.

B. Development of 3100 Rex Cruse will have grave environmental impacts such as erosion, habitat loss, light pollution and noise pollution.

1. Water Runoff/Erosion

Many homes with the Turtle Creek North and North Haven neighborhoods presently experience severe issues with water runoff coming from 3100 Rex Cruse. Property owners have used a variety of techniques including French drains, swales, and landscaping to address the water runoff issue, and these methods have had mixed success. The last several years of heavy spring rains have only exacerbated the water runoff issue.

Several homes along Idlewood Drive in the Turtle Creek North subdivision immediately border the parcel. These properties have negatively sloped backyards, and the property owners have had to take further measures to contain water runoff such as constructing new retaining walls or adding more French drains. Additionally, some property owners have voiced concerns that water runoff from the parcel may lead them to re-landscaping/re-grading their yards or reworking their driveways. Too, many homes within the neighborhood have experienced settlement or severe foundation problems due to the shifting clay soils of our area.

If development of the parcel were to proceed, whether with duplexes or single-family residences, it is highly probable that the above-mentioned issues would only worsen, and in turn, have a profound, deleterious impact on the finances of affected property owners as they attempt to mitigate these issues.

2. Habitat Loss

The parcel provides an excellent habitat for a wide variety of urban wildlife including hawks and other predatory birds, egrets and several species of turtles who rely on a nearby pond in Turtle Creek North, songbirds, hummingbirds, bees, and rabbits. Observing this wildlife, whether from one's backyard or during a walk through the area, has added to the enjoyment and desirability of the neighborhoods. Development of the parcel would destroy this lush ecosystem.

3. Light and Noise Pollution

Currently, the Turtle Creek North and North Haven neighborhoods are well-positioned away from large sources of light pollution and are relatively insulated from noise originating from U.S. Highway 82. The parcel is a further buffer against light and noise pollution from development occurring at the Heritage Ranch and Hills of Sherman subdivisions.

The introduction of duplexes onto the parcel would upend these protections since duplexes would require high wattage security lights on the complexes themselves and within parking areas. These high wattage lights would shine into the backyards of property owners adjacent to the parcel. As a result, these property owners would experience loss of enjoyment of their backyards and their property as a whole and would potentially drive down property values. Furthermore, development of the parcel would offer no natural buffer to noise from the highway. Noise would also increase in the area due to the influx of duplex tenants.

C. Building duplexes on the parcel will lead to severe traffic congestion and put intense strain on already inadequate infrastructure.

Access to the Turtle Creek North and North Haven neighborhoods is relatively limited.

For many residents of Turtle Creek North, the primary road to and from the neighborhood is Rex Cruse Drive. Rex Cruse Drive is accessible either from West Lamberth Road or from the U.S. Highway 82 frontage road. Rex Cruse is a narrow street and bounded by garden homes, older apartment complexes, a church, and two smaller city parks. A new subdivision is already underway along Rex Cruse.

Two-way traffic can become difficult if residents have parked their cars along the street or if there are service or delivery vehicles in the area. With the Hills of Sherman development in progress, traffic will become more problematic with construction trucks and ultimately when new property owners move into the subdivision.

Similarly, many residents of the North Haven neighborhood have access via Rex Cruse and from Cypress Grove Drive which runs parallel to the U.S. Highway 82 access road. As currently configured, the infrastructure for residents is highly inadequate. If the parcel were to be developed into duplexes, traffic would exponentially increase in the area, and many parts of the subdivision would be negatively affected. For example, there are no sidewalks in Turtle Creek North, and many young families and elderly residents who walk in the area would have to contend with increased traffic from new residents. This influx would be compounded by the Hills of Sherman subdivision further down Rex Cruse.

Additionally, it appears that the only access point for duplexes on the parcel would be at the intersection of Monfort and Rivercrest Drives in the North Haven neighborhood. If development were to proceed, property owners in the area would have to contend with construction crews and equipment entering and exiting the parcel near their properties. Such activity would have a detrimental effect on these property owners and the enjoyment of their homes. Once development were completed, then property owners in both neighborhoods would have to contend with the influx of new residents and vehicular traffic.

D. Conclusion

It is my sincere hope that the Planning and Zoning Commission will seriously consider the reasons I have outlined in this letter opposing the proposed zoning change. I hope that the Commission will also listen to and weigh the concerns brought up by my neighbors in this matter. Thank you for your time and attention.

Sincerely,

/s/

Aaron Tatyrek
1405 Idlewood Dr.
Sherman, TX 75092

Sent from [Outlook](#)

neighborhood was not just the width of the roads but the relatively light traffic. Were the parcel in question to remain zoned for single-family homes, we would probably see some increase in traffic; but duplexes suggest even more people and even more vehicles. Twice the vehicles would mean the possibility of even more vehicle runoff into the soil; and living downhill from this parcel of land, I will be worried about the health and safety of my dog and future children playing in our backyard. Further, more vehicles concentrated in one place might mean the eyesore of a parking lot and will mean even more opportunities for increased crime; when I was still living in apartments in Sherman, every year we would have multiple incidents of widespread theft and damage to property due to the fact that there were so many vehicles parked in one place, making it more convenient for criminals to break into many cars at once.

Finally and most importantly is the concern that arises from not knowing whether these duplexes will be for sale or for rent and therefore what kind of community the developers want to build and who will ultimately be responsible for the upkeep of the properties. My previous experiences attempting to rent homes or duplexes in Sherman revealed that a great number of properties are managed by unresponsive, out-of-town companies that (according to many current and past residents) do not follow rental laws and frequently take advantage of renters, fabricating charges and failing to make essential repairs. I do not know who would ultimately own these properties; but having observed how easy it is for landlords to profit from putting their renters at a disadvantage, I worry that building more duplexes means building more rental properties and perpetuating this problem.

Overall, I am not generally opposed to duplexes or rental properties, but it seems it is less often you find someone who has done them well, creating truly well-maintained, affordable housing; and I am very worried that developers could make construction choices with little or no regard for the surrounding residents. Therefore, I oppose this rezoning.

Sincerely,

Margaret Tatyrek



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 5.

Meeting Date: 9/16/2025

Prepared By:

Approved By:

Requested Action/Proposed Use:

CONSENT AGENDA (ITEMS 6, 7, 8 AND 9)

Background:

Origination:

Staff Recommendation:

Attachments:

None



Planning & Zoning Commission Development Services

Agenda Item No. 6.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

*** 3120 WEST WASHINGTON STREET (Project No. 000132-2025)**

The request of William Bradley Douglass & Lauren A. Virginia Douglass (Owner) and Helvey – Wagner Surveying, Inc. (Surveyor) concerning the property located at 3120 West Washington Street, consisting of 14.975 acres being part of the William Thompson Survey, Abstract No.1210, and currently zoned R-6 (Single-Family Residential) District, as follows:

Planning and Zoning Commission

Final Plat for Douglass Farm.

Background:

The property is located at 3120 West Washington Street in Sherman, Texas. The owner would like to plat the property into one lot for residential development.

The following has been approved for this location:

- 4/25/2025 - Preliminary Plat of Lot 1 Douglass Farm. (CONDITIONALLY APPROVED)

Origination:

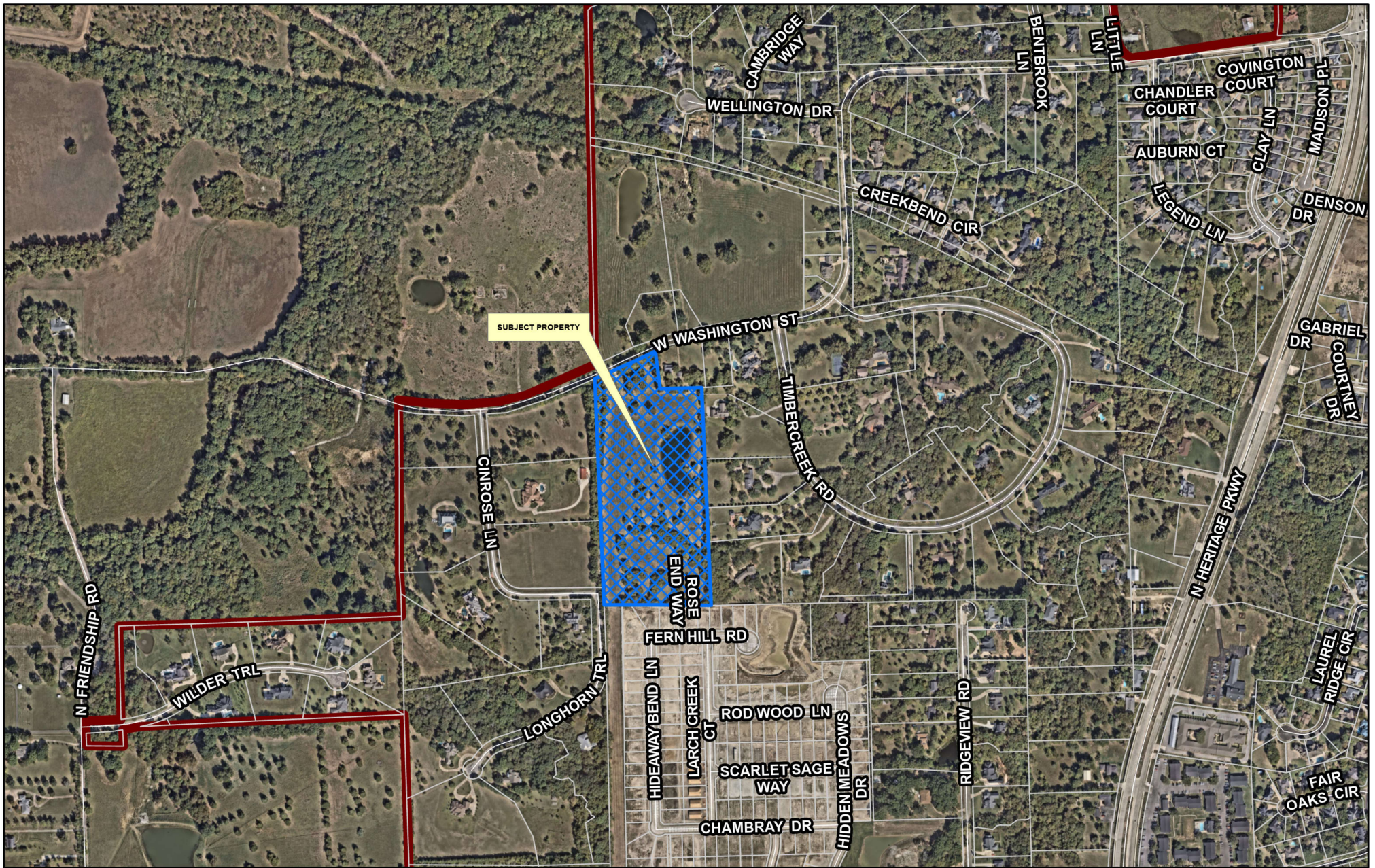
William Bradley Douglass & Lauren A. Virginia Douglass (Owner) and Helvey – Wagner Surveying, Inc. (Surveyor)

Staff Recommendation:

Staff recommends that the Planning and Zoning Commission approve this Final Plat

Attachments:

1. Location Map
2. Zoning Map
3. Final Plat
4. Conditional Approval Letter

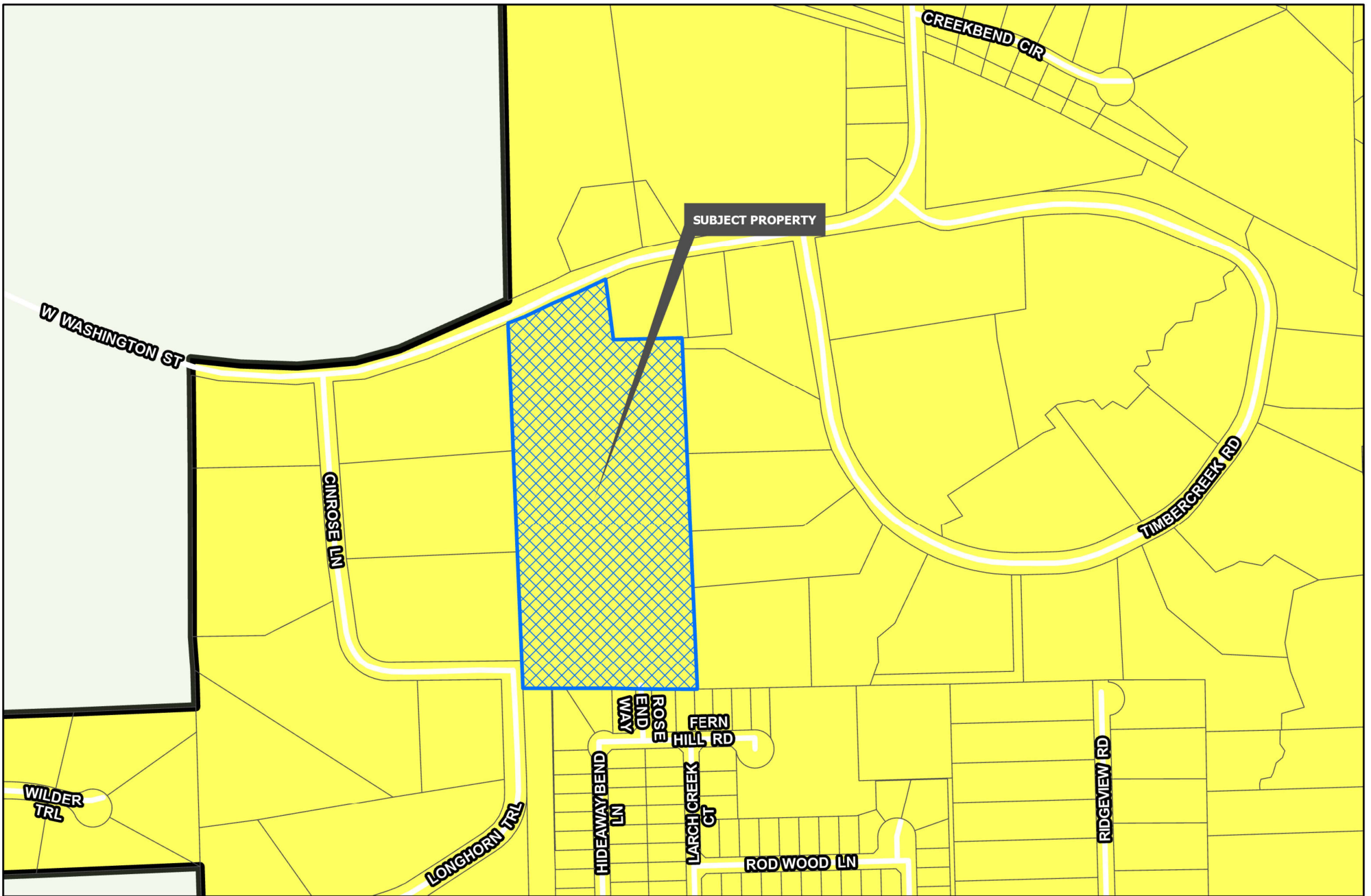


City of Sherman, Texas
Development Services Department

CITY OF SHERMAN
LOCATION MAP
3120 W WASHINGTON ST





















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SUBJECT PROPERTY



Development Services
Department

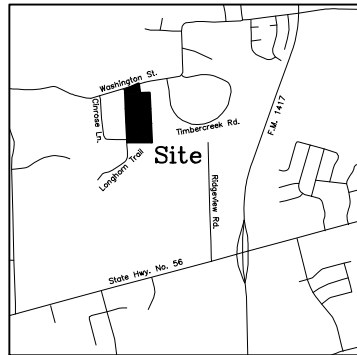
 Planning & Zoning	 R-4 Patio Home Residential	 C-O Office
 R-A Residential Agricultural	 R-2F Duplex Residential	 C-1 Retail Business
 R-E Estate Residential	 R-TH Townhome Residential	 C-2 General Commercial
 R-12 Single Family Residential	 MF-15 Multi-Family Residential	 M-1 Light Manufacturing
 R-6 Single Family Residential	 MF-30 Multi-Family Residential	 M-1.5 Medium Manufacturing
 R-5 Single Family Residential	 MH Manufactured Housing	 M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

CITY OF SHERMAN
ZONING MAP
3120 W WASHINGTON ST



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Vicinity Map
(not to scale)

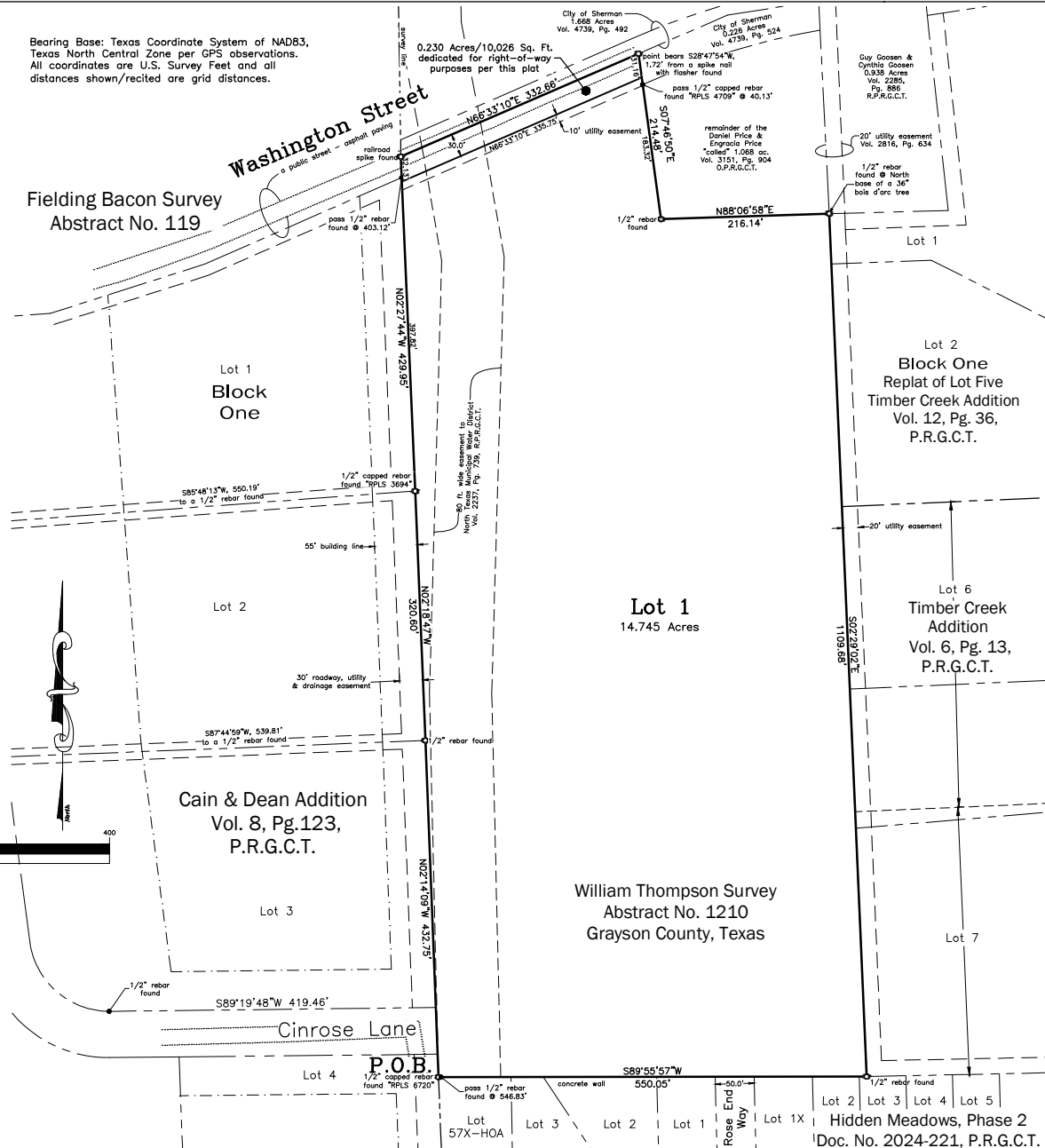
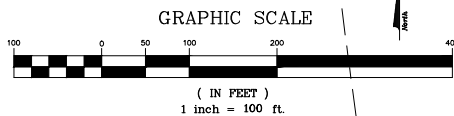


Bearing Base: Texas Coordinate System of NAD83, Texas North Central Zone per GPS observations. All coordinates are U.S. Survey Feet and all distances shown/recited are grid distances.

Fielding Bacon Survey
Abstract No. 119

General Notes:

1. Water Supply to be provided by City of Sherman.
2. Sewer service to be provided by on-site sewage facility approved by Grayson County, Texas.
3. Electrical service is provided by Oncor Electric Delivery Co.
4. Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the floodway is prohibited.
5. Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
6. The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion.
7. The property shown on the plat hereon lies within a Zone "X" (areas determined to be outside 500-year floodplain) Designation, as shown on the Flood Insurance Rate Map for Grayson County, Texas and Incorporated Areas, Map No. 48181C0270 G, Revised Date: September 1, 2022.
8. Neither the City of Sherman nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
9. The owners and builders must comply with all other state and federal regulations regarding developments of this type.



LEGAL DESCRIPTION

SITUATED in the City of Sherman, County of Grayson, State of Texas, and being a part of the William Thompson Survey, Abstract 1210, being all of the 14.975 acre conveyed by Warranty Deed from Thomas M. McGovern and Cythina M. McGovern to William Bradley Douglass and Lauren A. Virginia Douglass on August 21, 2024, as recorded in Inst. No. 2024-22640, Real Property Records, Grayson County, Texas, and being more particularly described by metes and bounds as follows, to-wit:

BEGINNING at a 1/2 inch capped rebar found, stamped (RPLS 6720) in the East line of the Fielding Bacon Survey, Abstract No. 119, in the East line of Lot 4, Block 2 of Cain and Dean Addition to Grayson County, Texas, as per plat of record in Vol. 8, Pg. 123, Plot Records, Grayson County, Texas, and the West line of said William Thompson Survey, at the Northwest corner of Lot 57X-HOA, Block F of Hidden Meadows, Phase 2 as per plat of record in Doc. No. 2024-221, said Plot Records, and being the Southwest corner of said Douglass 14.975 ac.;

THENCE North 02 deg. 14 min. 09 sec. West, with the East line of both said Fielding Bacon Survey and said Cain and Dean Addition and the West line of said William Thompson Survey, a distance of 432.75 ft. to a 1/2 inch rebar found at the Northeast corner of Lot 3, Block 1, said Cain and Dean Addition and the Southeast corner of Lot 2, said Block 1, SAID point bears North 87 deg. 44 min. 59 sec. East, 539.81 ft. from a 1/2 inch rebar found at the Northwest corner of said Lot 3 and the Southwest corner of said Lot 2;

THENCE North 02 deg. 18 min. 47 sec. West, continuing with the East line of said Fielding Bacon Survey and said Lot 2, and the West line of said William Thompson Survey, a distance of 320.60 ft. to a 1/2 inch capped rebar found, stamped (RPLS 3694) at the Northeast corner of said Lot 2 and the Southeast corner of Lot 1 of said Block 1, SAID point bears North 85 deg. 48 min. 13 sec. East, 550.19 ft. from a 1/2 inch rebar found at the Northwest corner of said Lot 2 and the Southwest corner of said Lot 1;

THENCE North 02 deg. 27 min. 44 sec. West, continuing with the East line of both said Fielding Bacon Survey and Lot 1 and the West line of said William Thompson Survey, PASSING a 1/2 inch rebar found at 403.12 ft. for the Northeast corner of said Lot 1 and continuing on said course for a TOTAL distance of 429.95 ft. to a railroad spike found within the pavement of Washington Street, a public road, at the Northwest corner of said Douglass 14.975 ac.;

THENCE North 66 deg. 33 min. 10 sec. East, along and near the center of said Washington Street, with a North line of said Douglass 14.975 ac., a distance of 332.66 ft. to a point in said street, at the Northwest corner of the 0.226 acre tract of land conveyed to the City of Sherman, recorded in Volume 4739, Page 524, Official Public Records, Grayson County, Texas and the most Northerly Northeast corner of said Douglass 14.975 ac.;

THENCE South 07 deg. 46 min. 50 sec. East, with the West line of said City of Sherman 0.226 ac. and an East line of said Douglass 14.975 ac., PASSING a 1/2 inch capped rebar found, stamped (RPLS 4709) at 40.13 ft. for the Southwest corner of said City of Sherman 0.226 ac. and the Northwest corner of the remainder of the "called" 1.068 acre tract of land conveyed to Daniel Price & Engracia Price in Volume 3151, Page 904, said Official Public Records and continuing on said course for a TOTAL distance of 214.48 ft. to a 1/2 inch rebar found at the Southwest corner of the Price 1.068 ac. and an Ell corner of said Douglass 14.975 ac.;

THENCE North 88 deg. 06 min. 58 sec. East, continuing along and near the general course of said iron fence, with the South line of said Price 1.068 ac. and a North line of said Douglass 14.975 ac., a distance of 216.14 ft. to a 1/2 inch rebar found at the North base of a 36 inch bole d'arc tree, at the Southwest corner of the 0.938 acre tract of land conveyed to Guy Goosen and Cynthia Goosen, recorded in Volume 2285, Page 886, said Real Property Records, the most Westerly Northwest corner of Lot 1, Block 1, of the Replat of Lot Five, Timber Creek Addition to the City of Sherman, Texas, recorded in Volume 12, Page 36, said Plot Records, the Southeast corner of said Price 1.068 ac. and the most Easterly Northeast corner of said Douglass 14.975 ac.;

THENCE South 02 deg. 29 min. 02 sec. East, with the West line of said Replat of Lot Five, Timber Creek Addition and Timber Creek Addition to the City of Sherman, Texas as per plat of record in Volume 6, Page 13, said Plot Records and the East line of said Douglass 14.975 ac., a distance of 1,109.68 ft. to a 1/2 inch rebar found in the Lot 3, Block K of said Hidden Meadows, Phase 2, at the Southwest corner of said Timber Creek Addition and the Southeast corner of said Douglass 14.975 ac.;

THENCE South 89 deg. 55 min. 57 sec. West, with the North line of said Hidden Meadows, Phase 2 and the South line of said Douglass 14.975 ac., PASSING a 1/2 inch rebar found in the North line of said Lot 57X-HOA at 546.83 ft. and continuing on said course for a TOTAL distance of 550.05 ft. to the PLACE OF BEGINNING and containing 14.975 ACRES of land.

Owners:
William Bradley Douglass &
Lauren A. Virginia Douglass
2400 Meadows Lane
Sherman, Texas 75092

SURVEYOR

Helvey-Wagner Surveying, Inc.
222 W. Main St., Denison, Texas 75020
Phone (903) 463-8191
Email: kate@helvewagnersurveying.net
TBPELS Firm Registration No. 10088100

KNOW ALL MEN BY THESE PRESENTS:

THAT I, Kate A. Wagner, Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.



Kate A. Wagner, R. P. L. S. No. 6578 Date: _____

STATE OF TEXAS
COUNTY OF GRAYSON

We, William Bradley Douglass and Larena Virginia Douglass, sole owners of Douglass Farm to the City of Sherman, Texas, do hereby dedicate the streets, easements, alleys, rights-of-way, parks, school sites and other public places shown hereon to the public use forever.

William Bradley Douglass _____ Larena Virginia Douglass _____

Before me the undersigned, a notary public in and for said County and State, on this day personally appeared William Bradley Douglass, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this _____ day of _____, 2025.

Notary Public, Grayson County, Texas

Before me the undersigned, a notary public in and for said County and State, on this day personally appeared Larena Virginia Douglass, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this _____ day of _____, 2025.

Notary Public, Grayson County, Texas

CITY ACCEPTANCE



Approved this _____ day of _____, 2025, by the City Planning and Zoning Commission of the City of Sherman, Texas.

Chairman _____ Secretary _____

Final Plat
Lot 1
Douglass Farm
to the
City of Sherman
Grayson County, Texas
14.975 Acres
in the
William Thompson Survey
Abstract No. 1210

DATE OF PREPARATION: JULY 21, 2025
JOB NO. CGS4.30725

PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER

April 15, 2025

William Bradley Douglass
Lauren A. Virginia Douglass
2400 Meadows Lane
Sherman, TX 75092

Helvey-Wagner Surveying
222 W. Main St.
Denison, TX 75020

Dear Applicants,

The request for approval of the Preliminary Plat of Douglass Farm has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

Engineering Comments

1. To access water main in Cinrose Lane, Engineering Department shall be provided written documentation from North Texas Municipal Water District permitting the private water service to cross the 80' Easement.
 - a. If a Private Water Well is to be used for this development, Notice to Proceed from Red River Groundwater Conservation District approving well on this site is required to be submitted with Final Plat. Application for Notice to Proceed may be found <http://www.redrivergcd.org/home-page.html>
 - b. If a Private Water Well is to be used for this development, General Note #1 on plat shall be updated to read "Water Supply to be provided to City of Sherman upon removal of Private Water Well"
2. Subject property does not have direct access to public wastewater main. Extension of wastewater main by developer is required prior to filing Final Plat. *Code of Ordinances Chapter 13, Sec. 13.07.282; Chapter 10.03.005*
 - a. If on-site sewage facility (OSSF) is to be used for this development, documentation from Grayson County approving OSSFs on this site is required to be submitted with Final Plat. *Grayson County Subdivision Regulations 3.5.21; 3.5.26.1; 4.4.1; 4.4.2*

- b. If on-site sewage facility (OSSF) is to be utilized for this development, the General Notes statement on plat shall read that this property is to be served by Private On-Site Sewage Facility (OSSF)
3. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
4. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

If additional information or clarification is needed, do not hesitate to email engineering@cityofsherman.com prior to the meeting.

Respectfully,



Wayne E. Lee, P.E., CFM
Director of Engineering

cc: Dr. Zachary Flores, City Manager
Tom Pruitt, Utility Engineer
Clint Philpott, Assistant City Manager
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney
Rob Rae, Director of Development Services
Dillon Stewart, Fire Marshal



Planning & Zoning Commission Development Services

Agenda Item No. 7.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

*** 4127 NORTH HIGHWAY 75 (Project No.000135 - 2025)**

The request of Sherman Commons Kobalt TRC LLC (Owner), Tyler White (Representative) and Underwood Drafting & Surveying, INC. (Surveyor) for the property located at 4127 North Highway 75, Block A, Lot 1 of Replat of Blocks A, B, and D of Sherman Commons Addition, consisting of 25.971 acres, being in the T.J. Shannon Survey, Abstract No. 1137, Hillard Jennings Survey, Abstract No. 639, currently zoned C-1 (Retail Business) District/75&82 Overlay District, as follows:

Planning and Zoning Commission

Site Plan for Burlington Retail.

Background:

The property is located at 4127 North Highway 75. Burlington is proposing exterior facade modifications to the existing Joann storefront located at the Sherman Commons Shopping Center. The purpose of this renovation is to update the building's appearance to reflect Burlington's current branding and design standards, while enhancing the overall aesthetics and consistency of the shopping center.

Origination:

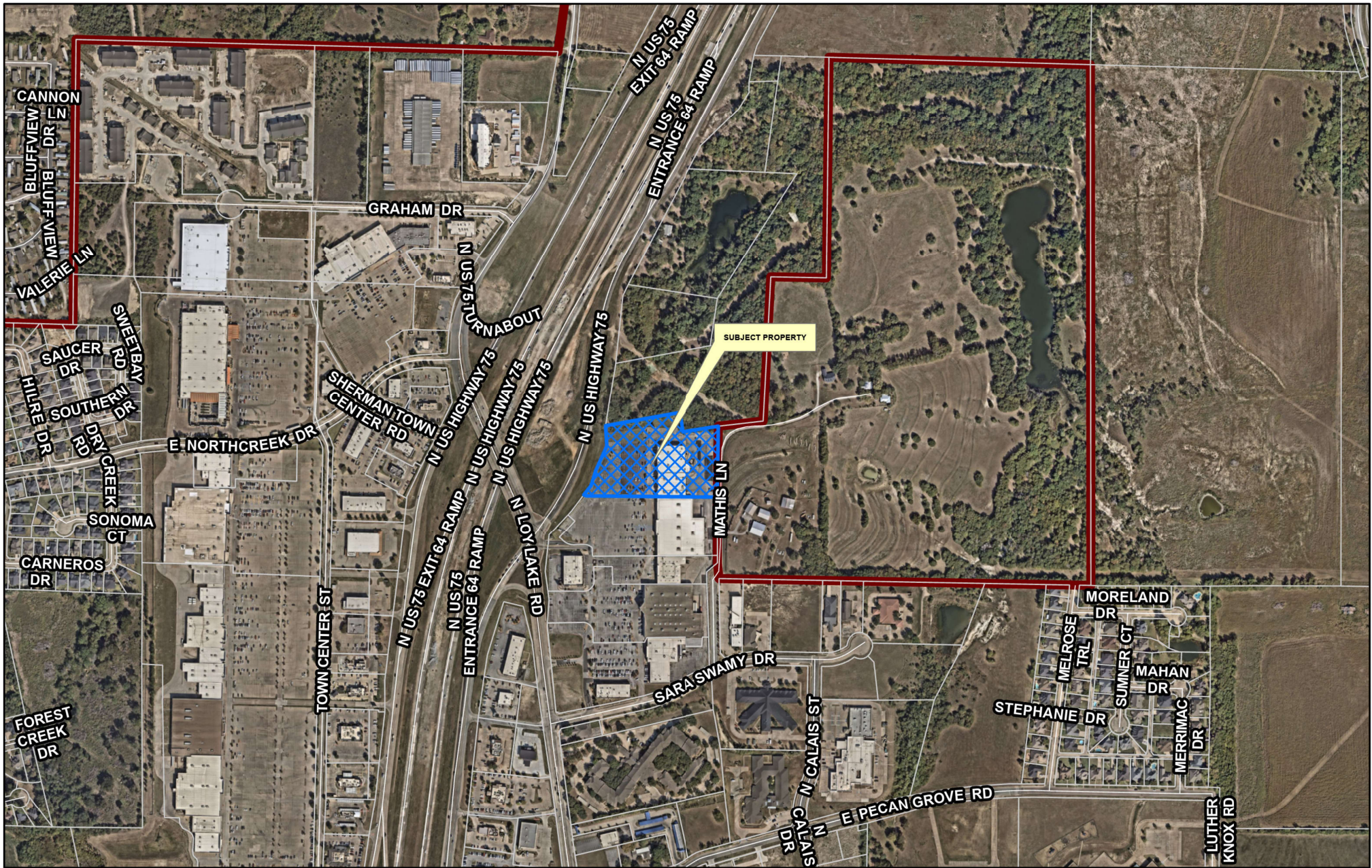
Sherman Commons Kobalt TRC LLC (Owner), Tyler White (Representative) and Underwood Drafting & Surveying, INC. (Surveyor)

Staff Recommendation:

Staff recommends approval.

Attachments:

1. Location Map
2. Zoning Map
3. Survey
4. Narrative
5. Site Plan
6. Landscape Plan
7. Elevations



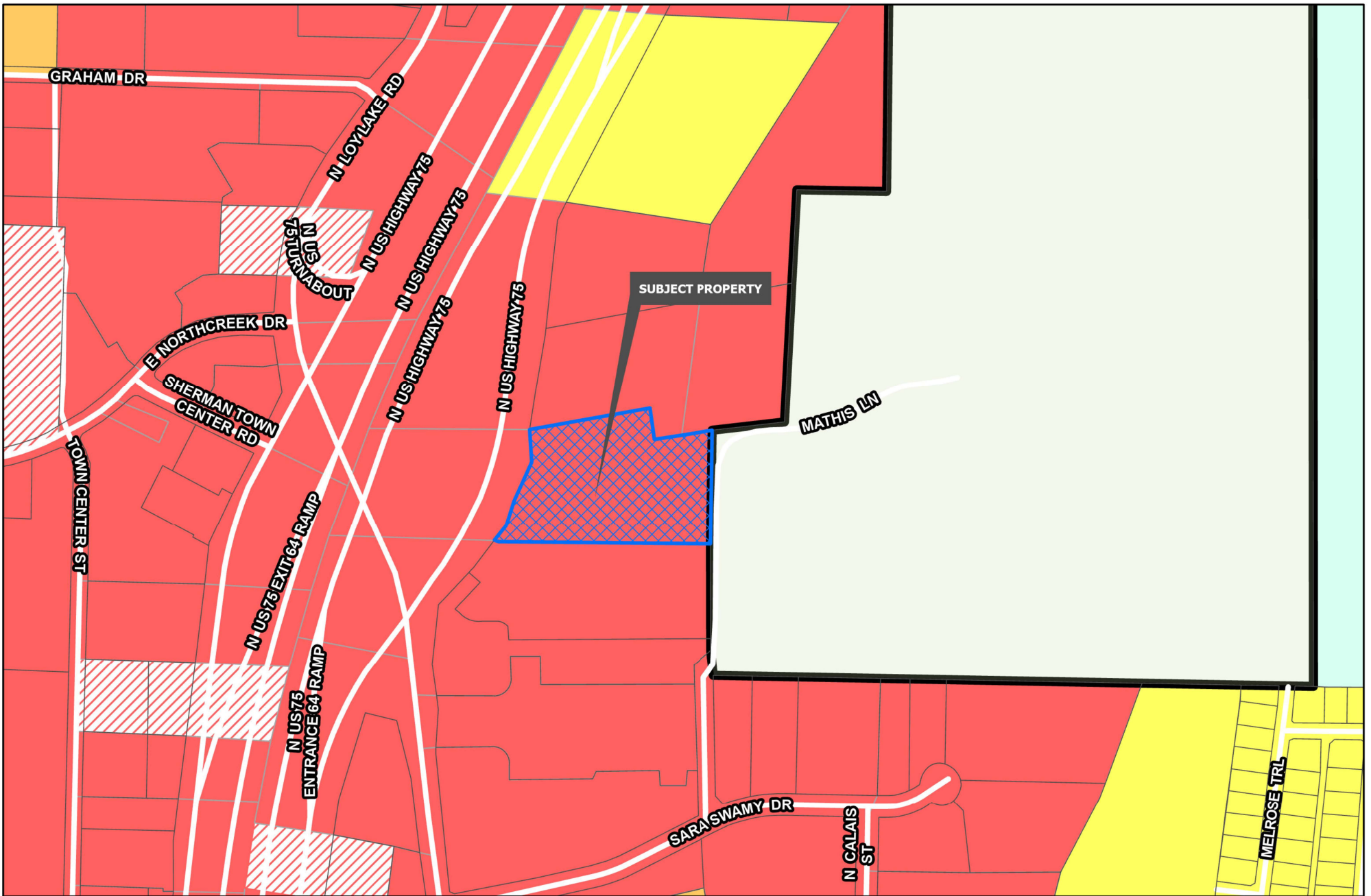
SUBJECT PROPERTY



City of Sherman, Texas
Development Services Department

CITY OF SHERMAN
LOCATION MAP
4127 N HWY 75





Development Services
Department

- | | | |
|--------------------------------|--------------------------------|----------------------------|
| Planning & Zoning | R-4 Patio Home Residential | C-O Office |
| R-A Residential Agricultural | R-2F Duplex Residential | C-1 Retail Business |
| R-E Estate Residential | R-TH Townhome Residential | C-2 General Commercial |
| R-12 Single Family Residential | MF-15 Multi-Family Residential | M-1 Light Manufacturing |
| R-6 Single Family Residential | MF-30 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-5 Single Family Residential | MH Manufactured Housing | M-2 Heavy Manufacturing |
| | C-N Neighborhood Commercial | PD Planned Development |

CITY OF SHERMAN
ZONING MAP
4127 N HWY 75



August 5, 2025

City of Sherman
Development Services Department
220 W. Mulberry St.
Sherman, TX 75090
903 / 892 7229

Project: Burlington Façade Modifications
Address: 4127 N. US Highway 75
Sherman, TX 75090

Burlington is proposing exterior facade modifications to the existing Joann storefront located at the Sherman Commons Shopping Center. The purpose of this renovation is to update the building's appearance to reflect Burlington's current branding and design standards, while enhancing the overall aesthetics and consistency of the shopping center.

The proposed scope of work includes:

- Removal of existing facade treatments and architectural elements associated with the previous Joann tenant.
- Installation of new exterior finishes and materials, including EIFS, Nichiha fiber cement panels, and updated signage consistent with Burlington's national prototype.
- Enhancement of the entryway with new automatic sliding doors to match the existing storefront system.
- Repainting and refinishing in neutral tones that align with Burlington's current corporate palette, complementing the center's existing architecture.

These improvements are cosmetic in nature and do not involve structural changes to the building footprint or alterations to utility services. All work will comply with applicable City of Sherman codes and guidelines.

Sincerely,



Brett M. Delmez, AIA, NCARB
Architect of Record

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS AS TWO UNDER THE GUIDANCE OF A LICENSED ARCHITECT, TO ALTER ANY DRAWING IN ANY MANNER.



SHEWAN COMMONS 4327 N US HIGHWAY 75 SHERMAN, TX 75095
SITE STORE # 4-062B

Burlington

REVISIONS	
DATE	TYPE

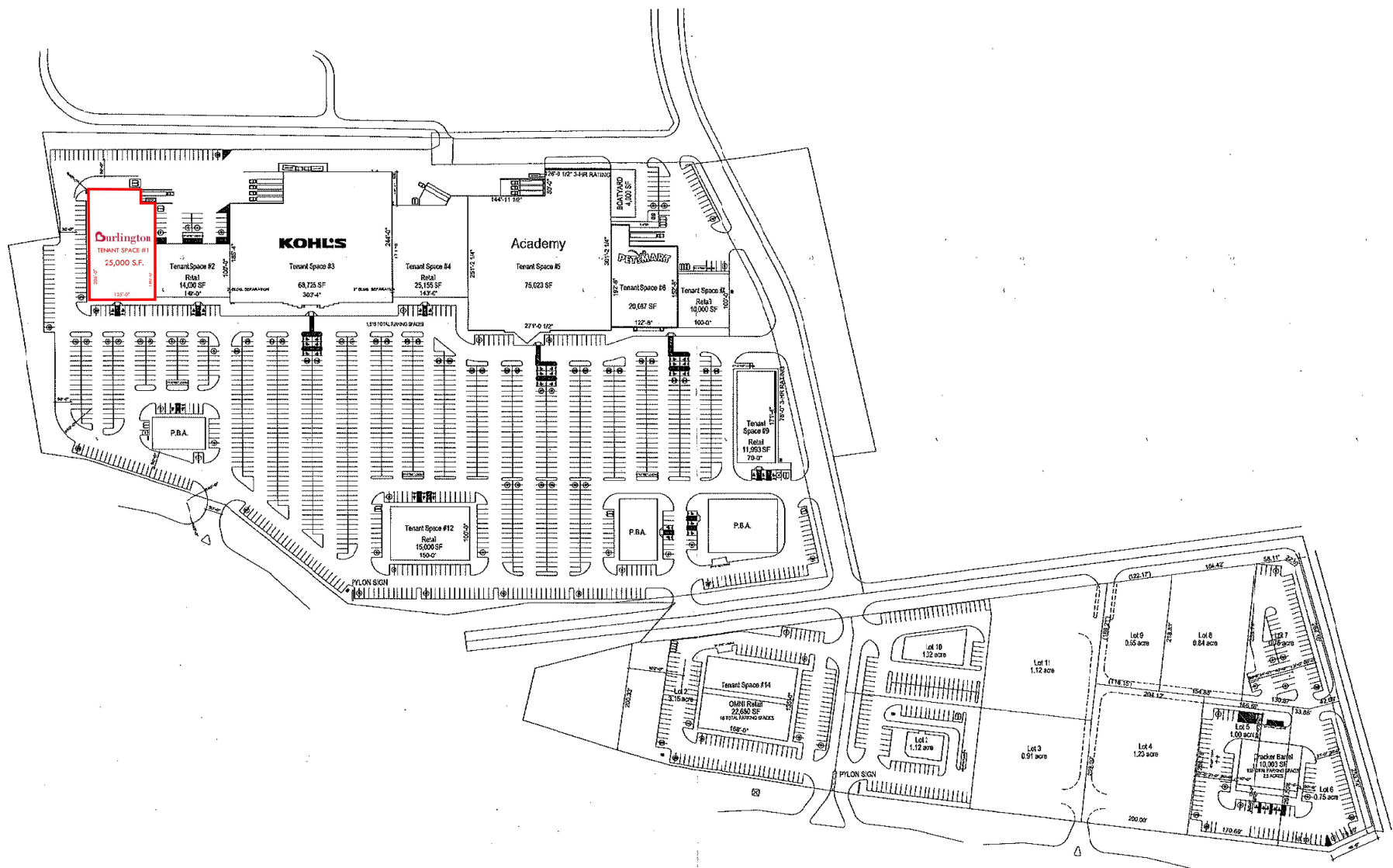
DRAWN BY CLICB
REVIEWED BY BMD
DATE 08/06/2025
JOB NO. 25144

SITE PLAN

C2.0
SHEET NO.

SITE PLAN

SCALE
N.T.S. A





EXTERIOR PAINT & FINISH SCHEDULE

CODE	MATERIAL	MANUFACTURER	PRODUCT	COLOR	LOCATION	REMARKS
EP-1	ELASTOMERIC PAINT COLOR	TBD	ELASTOMERIC PAINT COLOR	MATCH ADJACENT WALL	YEAR DOOR & GLAZING	
EWL-1	EXTERIOR	TBD	TBD	MATCH SW #706 EXTRA WHITE	EXIST COPING AND CORNICE	
EWL-2	EXTERIOR	TBD	TBD	MATCH SW #706 GRAY MATTERS	EPFS ACCENT BAND AND EXIST LIGHT FIXTURE HOUSINGS	
EWL-3	EXTERIOR	TBD	TBD	MATCH SW #706 PEARLY WHITE	FIELD	
EWL-4	EXTERIOR	TBD	TBD	MATCH SW #256 BERRICO GRAY	FIELD	
EWL-5	EXTERIOR	TBD	TBD	MATCH EXIST	FIELD	
OM-1	ARCHITECTURAL SPURT FACE CMU	TBD	TBD	LIGHT GRAY	FAÇADE BASE	MATCH COLOR TO MATCH
CMF	ANODIZED ALUMINUM	MAFRO	CANTILEVERED CANOPY SYSTEM		ENTRY	
CP-1	EXIST COPING		CONTINUOUS GLEAT COPING	PEARLY WHITE SMP706	ENTRY FAÇADE & PARAPET WALL	
CP-2	PRE-FABRICATED METAL COPING	PAC-CLADOR ATAS	CONTINUOUS GLEAT COPING	CARDINAL RED OR #17 BRICE RED	ENTRY FAÇADE	
EPF-1	EXTERIOR WALL	TBD	TBD	PEARLY WHITE SMP706	FAÇADE	
NCH-1	ENTRY FEATURE	NICHRA	ILLUMINATION AMP-184 FIBER CEMENT PANELS HORIZONTAL - 18" x 48"	BURLINGTON CUSTOM RED	ENTRY FEATURE	
WF-1	OPAQUE WINDOW FILM	3M		MILKY MILKY BLUE GRAY	SHIMAMIR	
WF-2	TRANSLUCENT WINDOW FILM	3M	PRIVACY & PRIVACY TONED GLASS	OF 7846	SEMI TRANSPARENT CLEAR TONED WINDOW LIGHT CLEAR SOLVENT PERMANENT ADHESIVE (INSTALL ON INSIDE SURFACE)	

KEYED NOTES

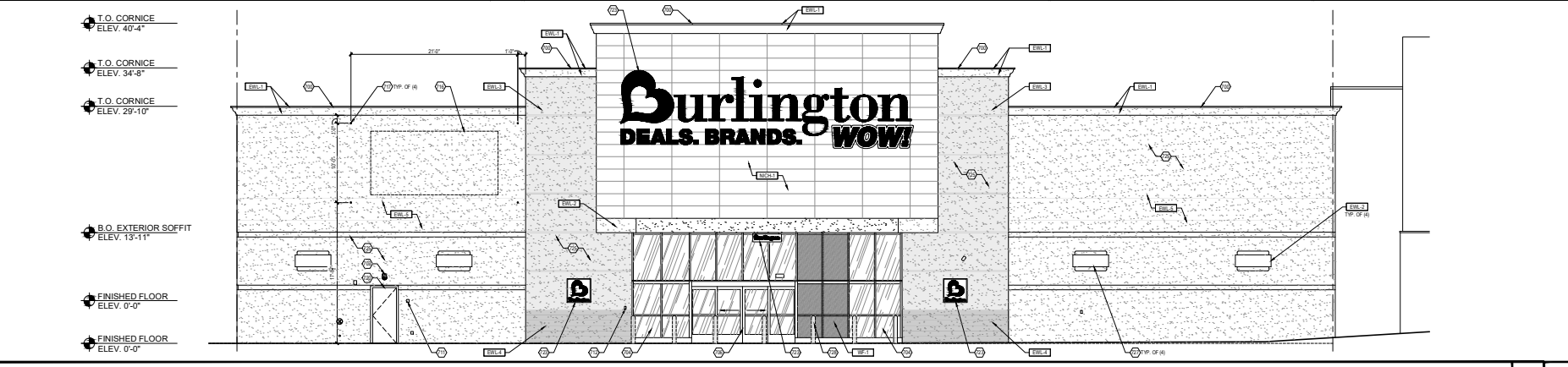
- EXISTING PARAPET COPING
- NOT USED
- EXISTING STOREFRONT WINDOWS TO BE CLEANED, CLEAR AND BUFF OUT SCRATCHES AS REQUIRED
- BLINDING DOOR SYSTEM COLOR TO BE CLEAR ANODIZED
- NOT USED
- CORNERLINE INDICATES SORT/TYPE
- NOT USED
- EXISTING CONCRETE SIDEWALK WORK
- EXISTING EMERGENCY KEY BOX
- SLUICER LOCATION FOR AFTER HOURS EMPLOYEE ENTRY REFER TO ELECTRICAL DOCS FOR ADDITIONAL INFORMATION. CONFIRM FINAL LOCATION WITH BURLINGTON FM
- NOT USED
- NOT USED
- CORNERLINE INDICATES BANNER LOCATION
- BANNER BLOCKING LIGHTING SEE ENLARGED ELEVATION FOR PLACEMENT IN CONC OR CMU WALL PROVIDE ANCHOR BOLTS TO BE SECURELY PLACED IN BLOCK WITH 1/2" 316 STAINLESS STEEL PIPE NOT SECURED AT THE END. PAINT TOUCH UP SHALL BE FIELD WALL CONSTRUCTION. PROVIDE FLUSH MOUNTED BY ANCHOR TO ACCEPT HARDWARE BY SIGNAGE VENDOR. SEE BURLINGTON IN-STORE WALL TO BE SECURED TO ANCHOR
- SECURITY CAMERA MOUNTED TO UNDERSIDE OF CANOPY REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. VERIFY EXACT CAMERA LOCATION WITH BURLINGTON
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- NOT USED
- EXISTING SHOPPING CENTER STANDARD DECORATIVE LIGHTING TO REMAIN
- HIGH DECORATIVE SIGNAGE

GENERAL NOTES

- REFER TO GENERAL NOTES ON THE COVER SHEET
- DIMENSIONS ARE FROM FACE OF FINISHED WALL TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE (S.A.D.)
- ALL CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE STATE, CITY AND LOCAL CODES AND ORDINANCES IN THE LOCATION OF THE PROJECT. USE TO PRODUCE AND CONFIRM WITH FIRE DEPARTMENT ANY ADDRESS LABEL REQUIREMENTS FOR STOREFRONT
- WHERE EXISTING CONDITIONS ARE CUT OR DISTURBED TO PERMIT INSTALLATION OF NEW WORK, MATCH AND PATCH EXISTING UNDISTURBED CONSTRUCTION TO ORIGINAL CONDITION UNLESS OTHERWISE NOTED
- ALL MATERIALS NOT LABELED ARE TYPICAL FOR ALL SIMILAR LOCATIONS. QUESTIONS SHALL BE REFERRED TO THE ARCHITECT
- EPFS SHALL BE DRYVIT COMMERCIAL GRADE AS FOLLOWS: GENERAL BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1/2" EPS INSULATION BOARD. MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER 1/2" PL WOOD SHEATHING OVER MTL STUDS
- ALL EPFS SHALL BE INSTALLED AS PER MPFS RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING AND JOINTS AT DISSIMILAR MATERIALS. PROVIDE PANDAER 32 REINFORCING MESH TO #2 A.F.F. (TYP)
- PROVIDE BLOCKING IN FAÇADE TO SUPPORT ALL BUILDING SIGNAGE
- ALL EXTERIOR MATERIALS TO BE REPAIRED, CLEANED, AND PAINTED AS REQUIRED
- GO TO PROVIDE AND CONFIRM WITH THE DEPARTMENT ANY ADDRESS LABEL REQUIREMENTS FOR STOREFRONT
- EPFS SHALL BE DRYVIT COMMERCIAL GRADE AS FOLLOWS: GENERAL BASE COAT, REINFORCING MESH BASE & FINISH COATS SHALL BE PROVIDED OVER MINIMUM 1/2" EPS INSULATION BOARD, MECHANICALLY FASTENED OVER DRAINAGE MAT & WEATHER RESISTIVE BARRIER OVER 1/2" PL WOOD SHEATHING OVER MTL STUDS
- ALL EPFS SHALL BE INSTALLED AS PER MPFS RECOMMENDATIONS, INCLUDING ALL SEALANT, FLASHING, AND JOINTS AT DISSIMILAR MATERIALS. PROVIDE PANDAER 32 REINFORCING MESH TO #2 A.F.F. (TYP)
- PROVIDE BLOCKING IN FAÇADE TO SUPPORT ALL BUILDING SIGNAGE
- ALL EXTERIOR MATERIALS TO BE REPAIRED, CLEANED, AND PAINTED AS REQUIRED

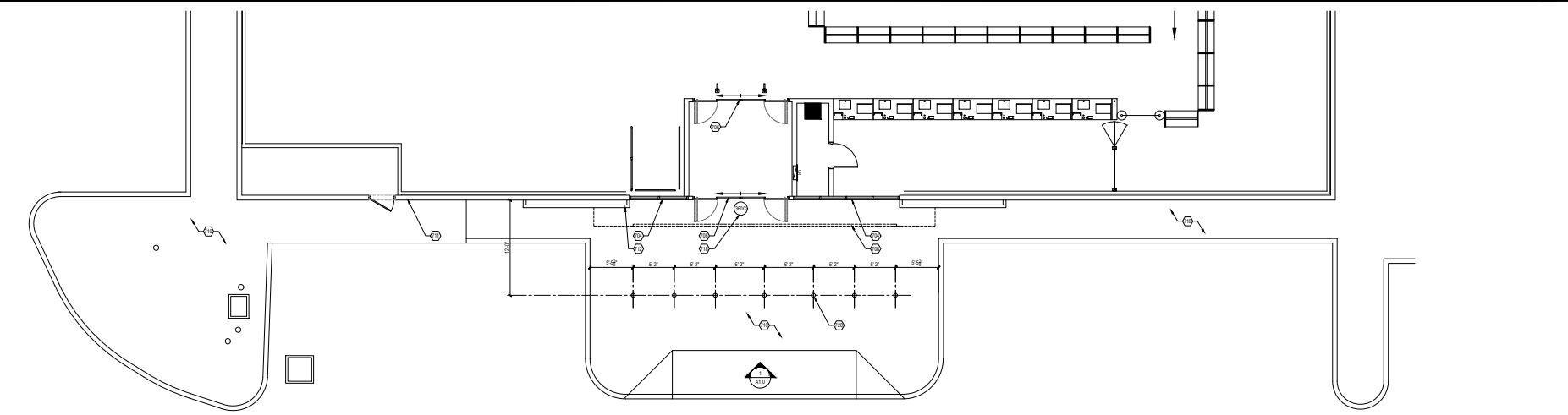
EXTERIOR ELEVATION RENDERING

EXPOSED GAS PIPE TO BE PAINTED AS FOLLOWS: ON ROOF TO BE PAINTED SAFETY YELLOW (OR COLOR APPROVED BY AHJ), ON EXTERIOR WALLS TO BE PAINTED TO MATCH WALLS. SHADED ITEMS NOT USED IN THIS PROJECT.



ENLARGED ENTRY ELEVATION

SCALE: 3/8" = 1'



ENLARGED ENTRY PLAN

SCALE: 3/8" = 1'

Burlington

SHEWAN COMMONS 4127 N US HIGHWAY 75 SHERMAN, TX 75095

SITE STORE # 9-0658

DATE: 08/06/2025

REVIEWED BY: BMD

DRAWN BY: CLICB

JOB NO.: 25144

ENLARGED ENTRY PLAN & ELEVATION

A1.0

SHEET NO.

REVISIONS

DATE: TYPE

CO NOT SCALE PLANS

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**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 8.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

*** 300 BLOCK WEST TRAVIS STREET (Project No. 000136-2025)**

The request of Jeff Harkinson, Sherman Junction, LTD. (Owner), Michael Carlisle (Applicant) and Kimley-Horn (Surveyor) concerning the property located in the 300 Block West Travis Street, Lot 4, Block A of Sherman Junction, consisting of 13.457 acres, and being part of Elizabeth Jones Survey, Abstract No. 625, currently zoned Blalock Industrial Park PD (Planned Development) District/Blalock Commercial Overlay District, as follows:

Planning and Zoning Commission

Site Plan for Sherman AAA Cooper Truck Logistics.

Background:

The property is located at 300 Block West Travis Street. The owner is requesting Site Plan approval of a Sherman AAA Cooper Truck Logistics. The project is located 950 feet from the eastern corner of Northgate Drive and south of West Travis Street. The project site is currently undeveloped and zoned Blalock Planned Development in the Blalock Commercial Overlay District. The applicant wishes to develop a building with office use and trailer parking.

Origination:

Jeff Harkinson, Sherman Junction, LTD. (Owner), Michael Carlisle (Applicant) and Kimley-Horn (Surveyor)

Staff Recommendation:

Staff recommends approval.

Attachments:

1. Location Map
2. Zoning Map
3. Survey
4. Narrative
5. Staff Review
6. Site Plan
7. Landscape Plan
8. Elevations



SUBJECT PROPERTY

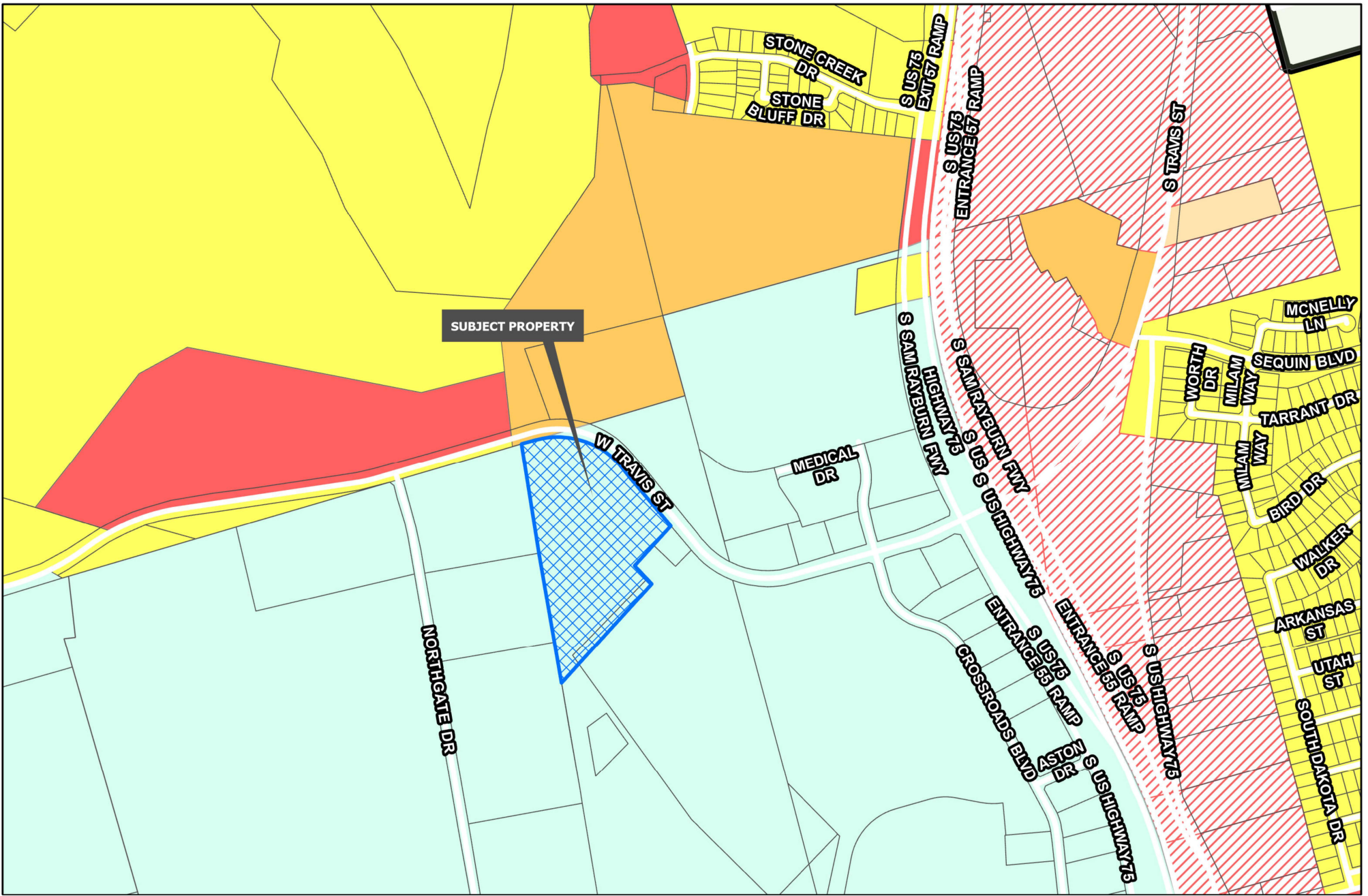


City of Sherman, Texas
Development Services Department

CITY OF SHERMAN
LOCATION MAP
300 BLK W TRAVIS ST



Date: 8/26/2025 10:49 AM



SUBJECT PROPERTY



Development Services
Department

Planning & Zoning

- R-A Residential Agricultural
- R-E Estate Residential
- R-12 Single Family Residential
- R-6 Single Family Residential
- R-5 Single Family Residential

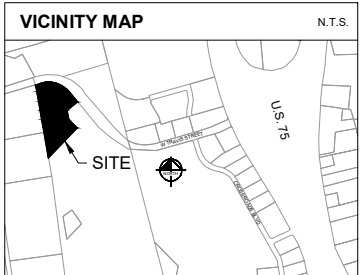
- R-4 Patio Home Residential
- R-2F Duplex Residential
- R-TH Townhome Residential
- MF-15 Multi-Family Residential
- MF-30 Multi-Family Residential
- MH Manufactured Housing
- C-N Neighborhood Commercial

- C-O Office
- C-1 Retail Business
- C-2 General Commercial
- M-1 Light Manufacturing
- M-1.5 Medium Manufacturing
- M-2 Heavy Manufacturing
- PD Planned Development

CITY OF SHERMAN
ZONING MAP
300 BLK W TRAVIS ST

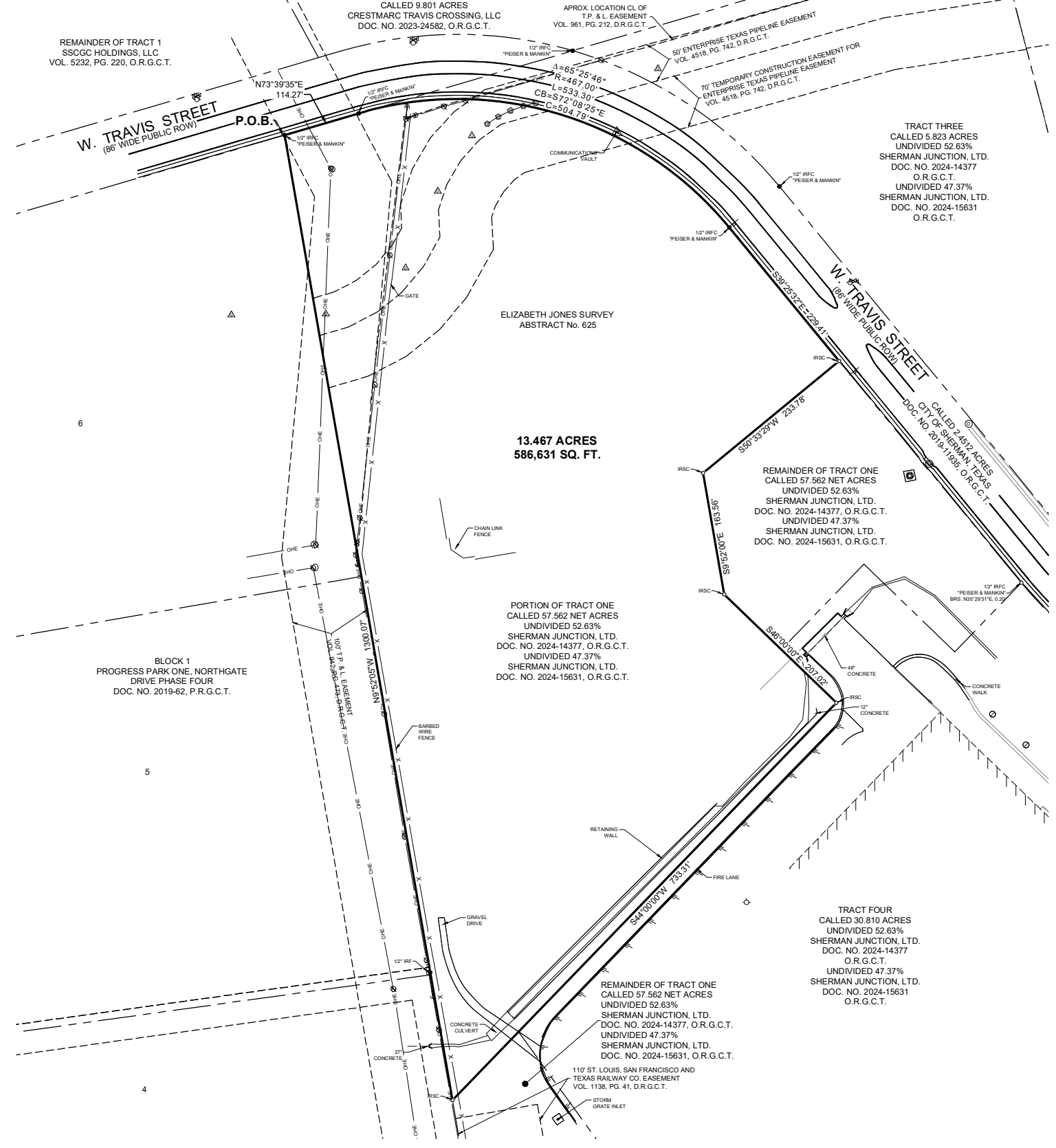
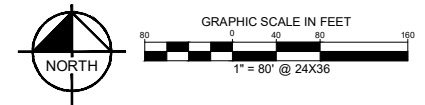


Date: 8/26/2025 10:49 AM



LEGEND	
C	COMMUNICATIONS
E	ELECTRIC OR POWER
F	FIBER OPTIC
G	NATURAL GAS
P	PETROLEUM OR PIPELINE
R	RAILROAD
S	SAN SEWER OR WASTEWATER
D	STORM SEWER
T	TELEPHONE
TR	TRAFFIC
U	UNIDENTIFIED
W	WATER
BOX OR PEDESTAL	
HANDHOLE	
MANHOLE	
MARKER SIGN	
METER	
MARKER PIN/FLAG	
POLE	
STORAGE TANK	
VALVE (EXCEPT WATER)	
WELL	
CABLE TV	
ROOF DRAIN	
ELEVATION BENCHMARK	
FLOW DIRECTION	
MONITORING WELL	
FUEL TANK	
FLOOD LIGHT	
GUY ANCHOR	
GUY ANCHOR POLE	
UTILITY POLE	
ELECTRIC SWITCH	
ELECTRIC TRANSFORMER	
HANDICAPPED PARKING	
PARKING METER	
RAILROAD SIGNAL	
STORAGE TANK	
RAILROAD SIGN	
SIGN	
MARQUEE/BILLBOARD	
A/C UNIT	
BASKET BALL GOAL	
SCRE LOCATION	
FLAG POLE	
GOAL POST	
GRASS TRAP	
IRRIGATION VALVE	
LIGHT STANDARD	
MAIL BOX	
NEWS STAND	
PHONE BOOTH	
SECURITY CAMERA	
SANITARY SEWER BOX	
SANITARY SEWER CLEAN OUT	
SANITARY SEWER LIFT STATION	
STORM SEWER DRAIN	
TRAFFIC BARRIER	
TRAFFIC CAMERA	
TRAFFIC SENSOR	
TRAFFIC SIGNAL	
TRASH BIN	
TREE	
WATER BOX	
FIRE SPRINKLER CONNECTION	
FIRE HYDRANT	
WATER VALVE	
AIR RELEASE VALVE	
WATER WELL	

LINE TYPE LEGEND	
---	BOUNDARY LINE
---	ADJACENT PROPERTY LINE
---	EASEMENT LINE
---	BUILDING LINE
---	WATER LINE
---	SANITARY SEWER LINE
---	STORM SEWER LINE
---	UNDERGROUND GAS LINE
---	OVERHEAD UTILITY LINE
---	UNDERGROUND ELECTRIC LINE
---	UNDERGROUND TELEPHONE LINE
---	FENCE
---	CONCRETE PAVEMENT
---	ASPHALT PAVEMENT



PROPERTY DESCRIPTION
BEING a tract of land situated in the Elizabeth Jones Survey, Abstract No. 625, City of Sherman, Grayson County, Texas, and being a portion of a called 57.562-acre tract of land described as Tract One in a deed to Sherman Junction, Ltd., recorded in Document No. 2024-14377 (undivided 52.63%) and Document No. 2024-15631 (undivided 47.37%), Official Records, Grayson County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2-inch iron rod with plastic cap stamped "PEISER & MANKIN" found for the northwest corner of said 57.562-acre tract, common to the northeast corner of Block 1 of Progress Park One, Northgate Drive Phase Four, an addition to the City of Sherman, Texas, according to the plat thereof recorded in Document No. 2019-62, Plat Records, Grayson County, Texas, same being on the southerly right-of-way line of W. Travis Street (86' wide public right-of-way)(Document No. 2019-11935, said Official Records);

THENCE along the common line of said 57.562-acre tract and said W. Travis Street the following courses and distances:
 North 73°39'35" East, a distance of 114.27 feet to a 1/2-inch iron rod with plastic cap stamped "PEISER & MANKIN" found at the beginning of a non-tangent curve to the right with a radius of 467.00 feet, a central angle of 65°25'46", and a chord bearing and distance of South 72°08'25" East, 504.79 feet;

In an easterly direction, with said non-tangent curve to the right, an arc distance of 533.30 feet to a 1/2-inch iron rod with plastic cap stamped "PEISER & MANKIN" found for corner;
 South 39°25'32" East, a distance of 229.41 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

THENCE departing said common line and crossing said 57.562-acre tract the following courses and distances:
 South 50°33'29" West, a distance of 233.78 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;
 South 09°52'00" East, a distance of 163.56 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

South 46°00'00" East, passing at a distance of 105.40 feet a northwest corner of a called 30.810-acre tract of land described as Tract Four in a deed to Sherman Junction, Ltd., recorded in Document No. 2024-14377 (undivided 52.63%) and Document No. 2024-15631 (undivided 47.37%), said Official Records, and continuing along the same course and along the common line of said 30.810-acre tract and said 57.562-acre tract, for a total distance of 207.02 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner;

THENCE South 44°00'00" West, continuing along said common line, passing at a distance of 607.28 feet the westernmost corner of said 30.810-acre tract, common to an angle point in the easterly line of said 57.562-acre tract, and continuing along the same course, departing said common line and crossing said 57.562-acre tract, for a total distance of 733.31 feet to a 5/8-inch iron rod with red plastic cap stamped "KHA" set for corner on the westerly line of said 57.562-acre tract, same being on the easterly line of the aforementioned Progress Park One;

THENCE North 09°52'05" West, along the common line of said 57.562-acre tract and said Progress Park One, a distance of 1,300.07 feet to the **POINT OF BEGINNING** and containing 586,631 square feet or 13.467 acres of land, more or less.

SURVEYORS CERTIFICATION:
 I hereby certify that this survey substantially complies with the current Texas Society of Professional Land Surveyors Standards and Specifications for a Category 1B Condition II Survey.

The field work was completed on February 12, 2025.

August 6, 2025
 John Hoefner
 Registered Professional Land Surveyor No. 7096
 Kimley-Horn and Associates, Inc.
 6160 Warren Pkwy., Suite 210
 Frisco, Texas 75034
 Ph. 972-335-3580
 john.hoefner@kimley-horn.com



- NOTES:**
- All corners are a 5/8-inch iron rod with plastic cap stamped "KHA" set, unless otherwise noted.
 - Bearing system based on the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. Distances shown are Surface values.
 - No visible evidence of current earth moving work, building construction or building additions were observed at the time of survey.
 - The surveyor did not abstract the surveyed property. This survey was performed without the benefit of a current title abstract.
 - FLOOD STATEMENT:** According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48181C0405G, for Grayson County, Texas and incorporated areas, dated September 1, 2022, this property is located within:
 Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain"
 If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

STANDARD LAND SURVEY
 13.467 ACRES
 ELIZABETH JONES SURVEY, ABSTRACT No. 625
 CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

1		Kimley»Horn		6160 Warren Parkway, Suite 210 Frisco, Texas 75034		Tel. No. (972) 335-3580 Fax No. (972) 335-3779	
No.	DATE	REVISION DESCRIPTION	Scale	Drawn by	Checked by	Date	Project No.
			1" = 80'	JMH	KHA	Aug. 2025	063493020
							Sheet No.
							1 OF 1

DRAWN BY: KPH/PL SURVEYOR: JKH/PLS/SSS-SHERMAN TEXAS CROSSROADS-SHERMAN TEXAS CROSSROADS-118.241 Copyright © 2025 Kimley-Horn and Associates, Inc. All rights reserved.



August 6th , 2025

Rob Rae
Director of Development Services
City of Sherman

RE: *Project Narrative – AAA Cooper Truck Park*

To whom it may concern:

Please accept this correspondence as the formal Project Narrative describing the development of AAA Cooper Truck Park being 13.425 acres. This lot is in the Elizabeth Jones Survey Abstract No. 625, located 950 feet from the eastern corner of Northgate Dr. and south of W. Travis Street. The project site is currently undeveloped and zoned PD. Our client wishes to develop a building with office use and trailer parking.

Thank you for your consideration of this development request. Please contact me at (469) 353-6061 or michael.carlisle@kimley-horn.com should you have any questions.

Sincerely,

Michael Carlisle, P.E. (TX)
Kimley-Horn and Associates, Inc.
TBPE Firm No. F-928



9/02/2025

Rob Rae
Director of Development Services
City of Sherman

**RE: 300 Block West Travis Street – Project No. 000136-2025
Response to Staff Review – Dated 08/25/2025**

Dear Rob Rae:

Attached to this response letter is the revised Site Plan. The City comments are listed first followed by the responses in **black bold italics**. We hope these responses address your review comments. If you have any questions, or need any additional information, please let me know.

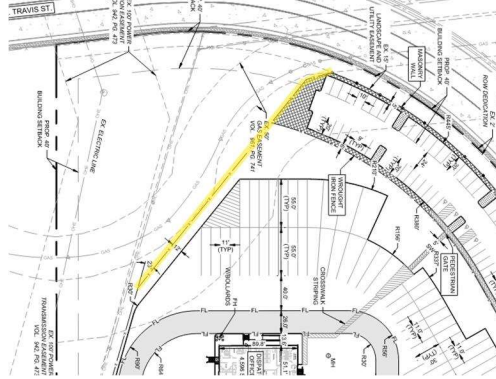
ZONING

1. Provide a tabulation on the Elevation showing the required Building Design of the Blalock commercial Overly District *Section 14.03.007*.
 - a. All buildings shall be constructed with a minimum of 60% masonry, exclusive of doors and windows. Masonry shall consist of brick, stone, stucco, simulated stone, or architecturally detailed and painted concrete tilt walls. Unpainted, integral color concrete masonry units are allowed as masonry, but are limited to a maximum 50% of a street facing façade.
 - b. Secondary materials (maximum 40%) may be EIFS, stucco, cementitious fiberboard, wood, metal, or other materials approved by the director of development services. Wood or vertical metal shall be limited to a maximum 15% of any building facade per material.
 - c. The use of an exterior insulated finishing system (EIFS) is not allowed below eight (8) feet above finished grade.
 - d. A minimum of 70 percent of all building elevations shall be finished with complimentary neutral, cream, or deep, rich, non-reflective earth tone colors.

Acknowledged, See Elevations.

2. Any off-street loading areas required under section [14.04.003\(d\)\(5\)\(A\)](#) shall be required to provide a screening fence. This screening fence may be constructed out of masonry, or wood with a masonry base or masonry columns. Such fences may be located on the rear and side property lines that are adjacent to public streets. (*Sec. 14.03.007(f)(#)*).
 - a. The wrought iron fencing adjacent to the EX. ELECRIE LINE may not provide adequate screening from the right-of-way.

- i. The Site Plan must show masonry screening or Landscape screening along the fence line indicated in image below. If the screening is to be landscaped, please also show this on the landscape plan.



Code Landscape Plan has been updated to show landscape screening for the highlighted wrought iron fence noted.

(Informational)

- 3. Signs shall be permitted separately and shall adhere to Ordinance 14.03.007(g).
 - a. The calculation of the sign area consists of the entire monument sign structure. (Sec. 14.08.001)

Noted.

ENGINEERING

Revisions Required by Engineering Dept.:

- 4. Proposed Water Easement south of entrance off West Travis extends past the property line. All easements shall be on subject property. If said easement is for adjacent proposed development, remove from site plan.

Easement has been removed from the Site Plan. Only proposed easements within the property boundaries are shown.

Informational Engineering Comments:

- 5. Proposed Easements shall be dedicated by separate instrument prior to Certificate of Occupancy being issued. Code of Ordinances Chapter 10.02.002(e)(11); 10.03.003(f)(12); Engineering Design Standards Manual Sec. 6.2.

Noted.

- 6. Privately owned and maintained detention in accordance with City criteria may be required. Engineering documentation shall be provided to the City of Sherman Engineering Department for review and approval. If detention is required, Ownership and Maintenance information to

be shown on plat. *Code of Ordinances Chapter 10.03.006; Engineering Design Standards Manual Sec. 4.18.*

Noted.

7. Internal water and wastewater lines will be privately owned and maintained.

Noted.

8. Civil Engineering plans shall be provided to the Engineering Department for review and approval. Plat to reflect changes upon Engineering review. Civil Plan submittal requirements can be found in the Development Guide on the City of Sherman website. *Code of Ordinances Chapter 10.04; Engineering Design Standards Manual Sec. 1.9.*

Noted.

FIRE SERVICES

The following are informational items only that may be applicable during construction but should not hold up approval of a site plan for zoning by the Fire Marshal's Office

9. D103.5 Amended - Electric gates shall be equipped with a Knox key switch that operates with the Authority Having Jurisdiction's Knox key. Emergency opening devices shall be approved by the official fire code. (Located In City Ordinances Amendments).

Noted.

10. 506.1 Amended - Any new and existing buildings that have a fire sprinkler riser, standpipe system and/or a fire alarm control panel shall have a Knox key box that contains keys or a keycard to gain access to every door leading from the exterior of the building to the fire sprinkler riser, standpipe system and/or the fire alarm control panel. (Located In City Ordinances Amendments).

Noted.

SOLID WASTE SERVICES

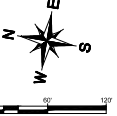
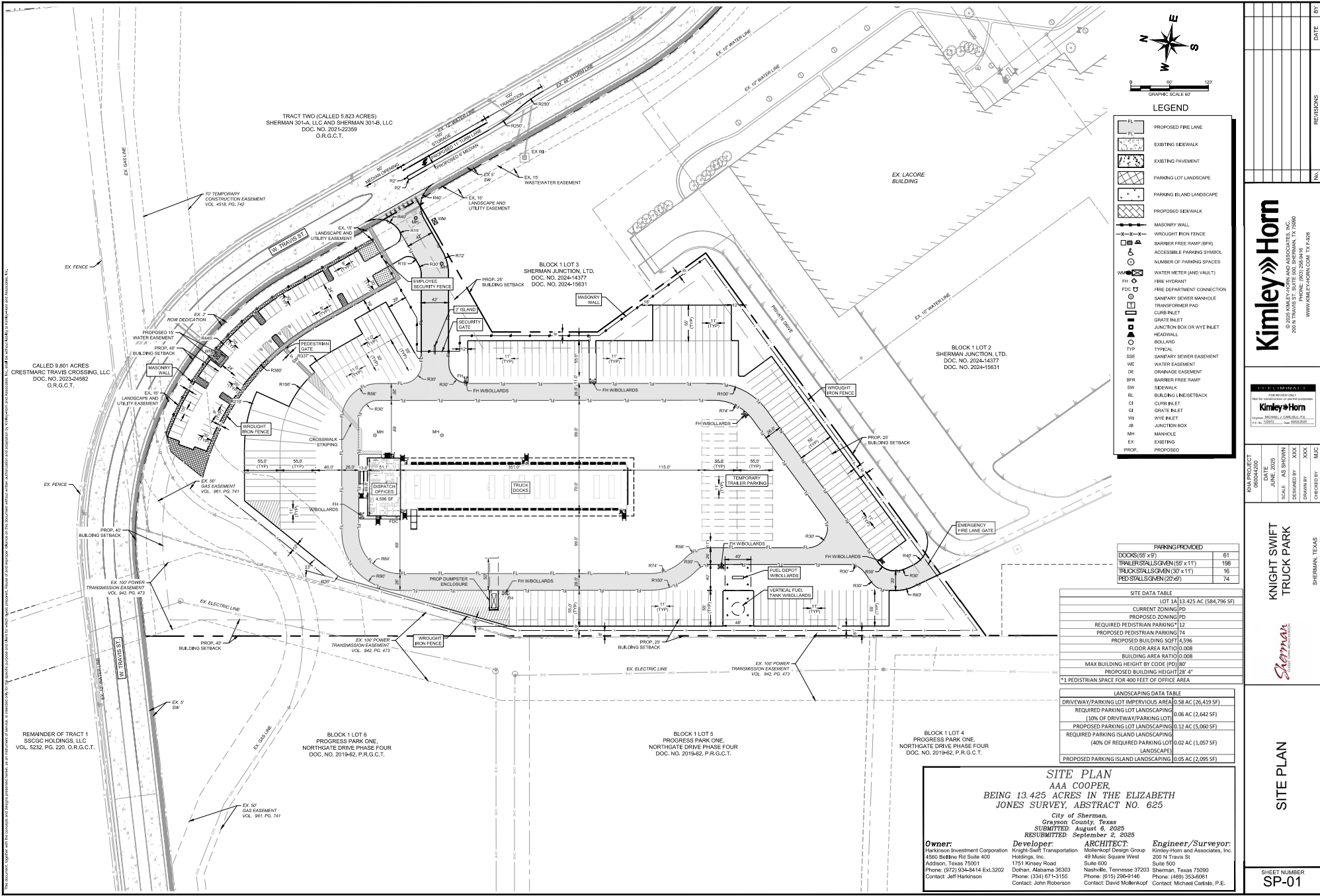
11. No dumpster enclosure shown.

- a. All refuse areas and dumpsters shall be screened on three sides and shall be located on private property. The enclosure shall be constructed of material that is consistent with the main building construction. (Sec. 14.03.007(f)(1)).
 - i. All buildings shall be constructed with a minimum of 60% masonry (Sec. 14.03.007).

Dumpster enclosure is now shown on the west side of the property.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.
Sergio Hernandez, P.E.
Project Manager



LEGEND

[Symbol]	PROPOSED FIRE LANE
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING PAVEMENT
[Symbol]	PARKING LOT LANDSCAPE
[Symbol]	PARKING ISLAND LANDSCAPE
[Symbol]	PROPOSED SIDEWALK
[Symbol]	MASONRY WALL
[Symbol]	WROUGHT IRON FENCE
[Symbol]	BARBER FREE RAMP (BFR)
[Symbol]	ACCESSIBLE PARKING SYMBOL
[Symbol]	NUMBER OF PARKING SPACES
[Symbol]	WATER METER (AND VAULT)
[Symbol]	FIRE HYDRANT
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	TRANSFORMER PAD
[Symbol]	CURB INLET
[Symbol]	GRATE INLET
[Symbol]	JUNCTION BOX OR WYE INLET
[Symbol]	HEADWALL
[Symbol]	ROLLING
[Symbol]	TYPICAL
[Symbol]	SSE SANITARY SEWER EASEMENT
[Symbol]	WE WATER EASEMENT
[Symbol]	DE DRAINAGE EASEMENT
[Symbol]	BFR BARBER FREE RAMP
[Symbol]	SW SIDEWALK
[Symbol]	BL BUILDING LINE/SETBACK
[Symbol]	CI CURB INLET
[Symbol]	GI GRATE INLET
[Symbol]	WI WYE INLET
[Symbol]	JB JUNCTION BOX
[Symbol]	MH MANHOLE
[Symbol]	EX EXISTING
[Symbol]	PROP. PROPOSED

PARKING PROVIDED

DOCKS (55' x 7')	61
TRAILER STALLS (GVEN) (55' x 11')	196
TRUCK STALLS (GVEN) (30' x 11')	16
PED STALLS (GVEN) (20' x 9')	74

SITE DATA TABLE

LOT 1A	13.425 AC (584,796 SF)
CURRENT ZONING	PD
PROPOSED ZONING	PD
REQUIRED PEDESTRIAN PARKING	12
PROPOSED PEDESTRIAN PARKING	74
PROPOSED BUILDING SCPT	4,596
FLOOR AREA RATIO	0.008
BUILDING AREA RATIO	0.008
MAX BUILDING HEIGHT BY CODE (PD)	20'
PROPOSED BUILDING HEIGHT	28' 4"
* PEDESTRIAN SPACE FOR 400 FEET OF OFFICE AREA	

LANDSCAPING DATA TABLE

DRIVEWAY/PARKING LOT IMPERVIOUS AREA	15,534 SF (26,419 SF)
REQUIRED PARKING LOT LANDSCAPING	0.06 AC (2,642 SF)
PROPOSED PARKING LOT LANDSCAPING (10% OF DRIVEWAY/PARKING LOT)	1,553 SF
REQUIRED PARKING ISLAND LANDSCAPING	0.12 AC (5,060 SF)
PROPOSED PARKING ISLAND LANDSCAPING (40% OF REQUIRED PARKING LOT)	0.02 AC (1,057 SF)
LANDSCAPE	
PROPOSED PARKING ISLAND LANDSCAPING	0.05 AC (2,095 SF)

SITE PLAN
AAA COOPER,
BEING 13.425 ACRES IN THE ELIZABETH
JONES SURVEY, ABSTRACT NO. 625
 City of Sherman,
 Grayson County, Texas
 SUBMITTED August 6, 2025
 RESUBMITTED September 2, 2025

Owner: Parkerson Investment Corporation
 4560 Bellhine Rd Suite 400
 Addison, Texas 75001
 Phone: (972) 504-3414 Ext.3202
 Contact: Jeff Parkerson

Developer: Knight-Swift Transportation Holdings, Inc.
 1751 Kinney Road
 Dallas, Alabama 38303
 Phone: (334) 673-3155
 Contact: John Roberson

ARCHITECT: Miller/Kopf Design Group
 49 Music Square West
 Suite 500
 Nashville, Tennessee 37203
 Phone: (615) 286-2146
 Contact: David Molenkopf

Engineer/Surveyor: Kimley-Horn and Associates, Inc.
 200 N Travis St
 Suite 500
 Sherman, Texas 75090
 Phone: (469) 353-0061
 Contact: Michael Canible, P.E.

Kimley-Horn
 © 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 200 N TRAVIS ST. SUITE 500, SHERMAN, TX 75090
 WWW.KIMLEY-HORN.COM TEL: 469-353-0061

KNIGHT SWIFT TRUCK PARK
 SHERMAN, TEXAS

SITE PLAN

NO. PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	DATE
	JUNE, 2025	AS SHOWN	XXXX	XXXX	XXXX	

REVISIONS

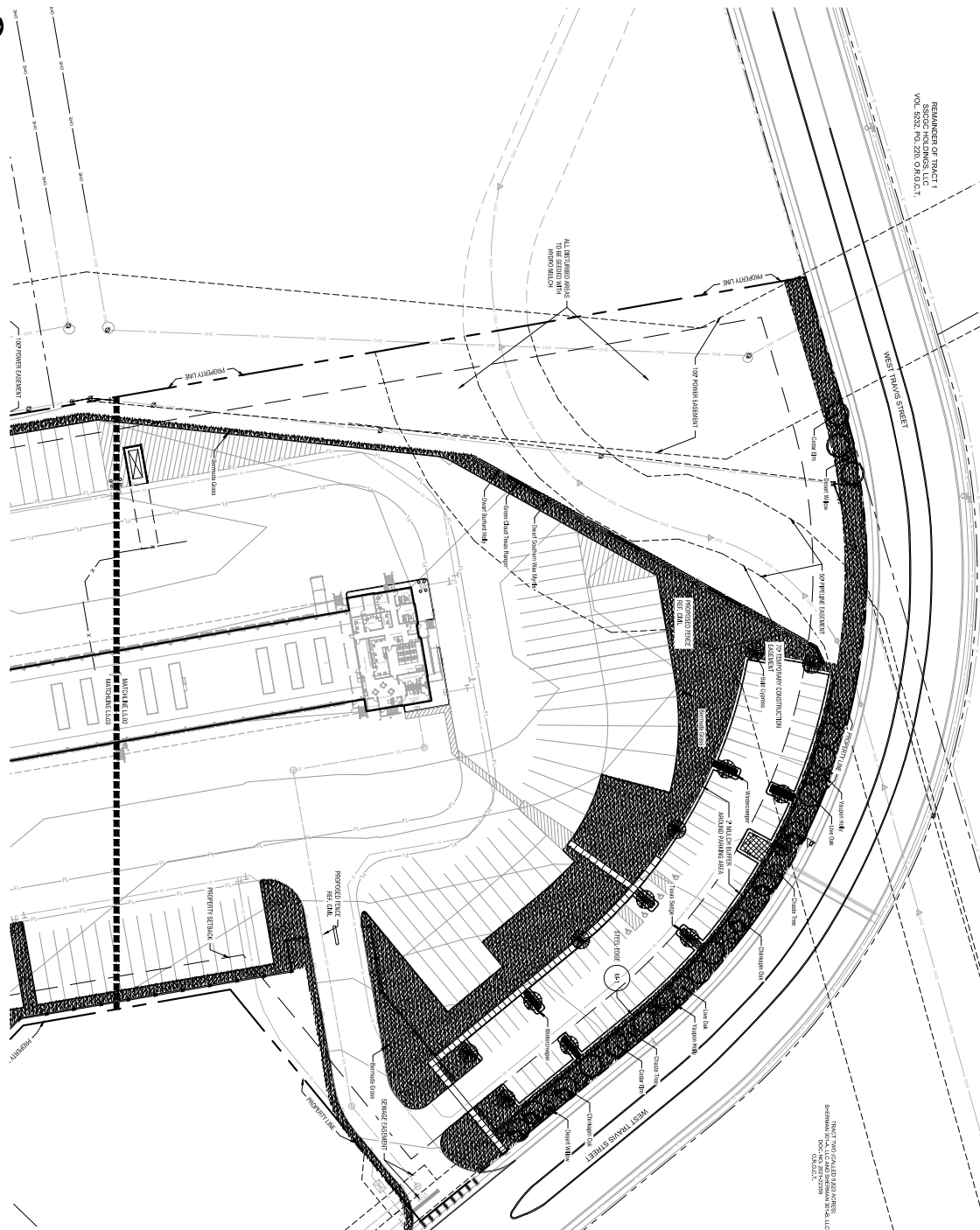
NO.	DATE	BY	DESCRIPTION

SHEET NUMBER
SP-01

This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, as prepared and issued for the specific purpose and intent for which it was prepared, issued and intended to be used, and shall be without liability to Kimley-Horn and Associates, Inc.

PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
	REMANUR OF TRACT 1 SPOCK HOLDINGS LLC V.C. 52.01, 52.03, 52.05, 52.07
	CALLIED 9041 ACRES CHRISTIANE TRAVIS CROSSING, LLC V.C. 52.01, 52.03, 52.05, 52.07
	TRUCKS
	Hill Country / Sandstone
	Claret Oak / Ulmus crataegus
	Chickadee Oak / Quercus michauxii
	Lawn Oak / Quercus nigra
ORNAMENTAL TREES	
	Claret Tree / Vitis rotundifolia
	Claret Vine / Clematis florida
	Vaccinium / Blueberry
SHRUBS	
	Claret Shrub / Hibiscus
	Claret Shrub / Hibiscus
	Claret Shrub / Hibiscus
	Claret Shrub / Hibiscus
	Claret Shrub / Hibiscus
SYMBOL COMMON / BOTANICAL NAME	
	Common / Botanical Name
	Common / Botanical Name
	Common / Botanical Name
	Common / Botanical Name
GROUND COVERS	
	Bermuda Grass / Cynodon dactylon
	Texas Sage / Artemisia tridentata
	Wintergreen / Chlorophytum boscianum
MISCELLANEOUS	
	Street Edge



Landscape Plan
 Scale: 1" = 40'-0"
A

CALLIED 9041 ACRES
 CHRISTIANE TRAVIS CROSSING, LLC
 V.C. 52.01, 52.03, 52.05, 52.07
 O.R.C.D.T.

TRACT TWO (CALLIED 9041 ACRES)
 CHRISTIANE TRAVIS CROSSING, LLC
 V.C. 52.01, 52.03, 52.05, 52.07
 O.R.C.D.T.

TRACT THREE
 CALLIED 9041 ACRES
 CHRISTIANE TRAVIS CROSSING, LLC
 V.C. 52.01, 52.03, 52.05, 52.07
 O.R.C.D.T.

LANDSCAPE PLAN

SHEET NUMBER
15.02

AAA COOPER TRUCK PARK

SHERMAN, TEXAS

KHA PROJECT
 060344003

DATE
 SEPTEMBER, 2025

SCALE
 AS SHOWN

DESIGNED BY
 MOB

DRAWN BY
 MOB

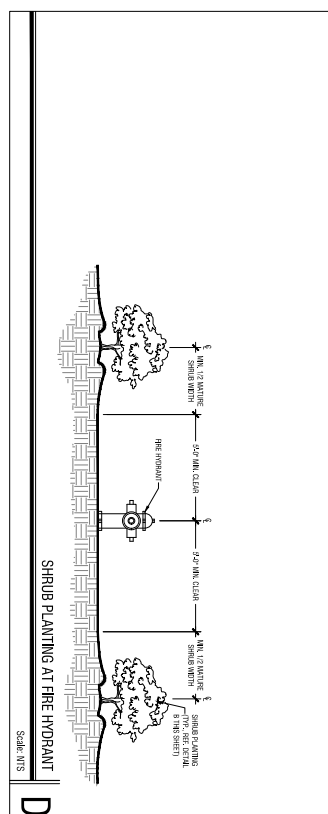
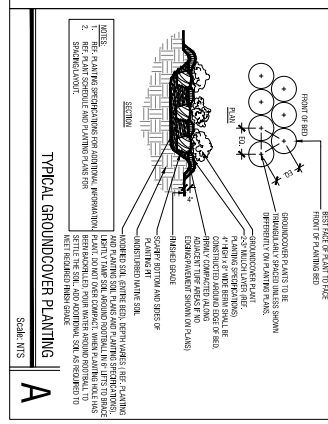
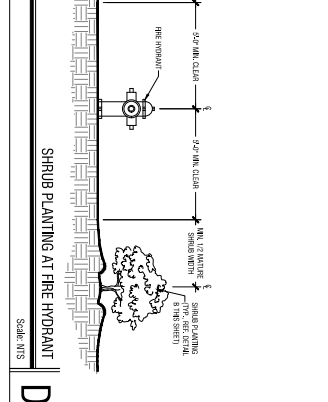
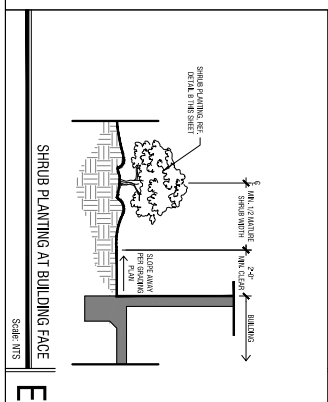
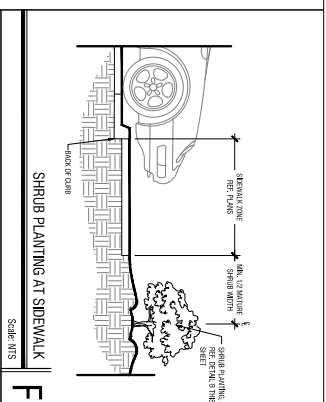
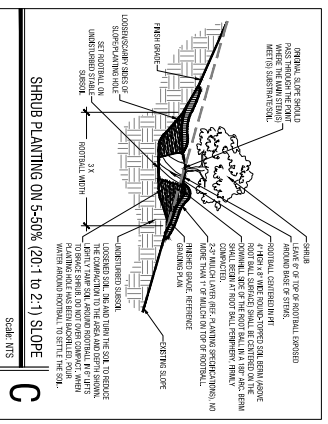
CHECKED BY
 AJB

Kimley-Horn

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 200 N TRAVIS ST, SUITE 500, SHERMAN, TX 75090
 PHONE: (903) 258-9416
 WWW.KIMLEY-HORN.COM TX F-028

No.	REVISIONS	DATE	BY

This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and shall be void for which I was prepared, revised or amended in whole or in part without the written authorization and approval of Kimley-Horn and Associates, Inc. and shall be without liability to Kimley-Horn and Associates, Inc.



TYPICAL GROUNDCOVER PLANTING

SCALE: NTS

NOTES:

1. PLANTING SPECIFICATIONS FOR GROUNDCOVER, REFER TO THE PROJECT MANUAL AND/OR SCHEDULES.
2. THE PLANT SPECIES AND PLANTING PLANS TO BE USED SHALL BE APPROVED BY THE ARCHITECT.

AAA COOPER TRUCK PARK

SHERMAN, TEXAS

Kimley-Horn

© 2025 KIMLEY-HORN AND ASSOCIATES, INC.
 200 N TRAVIS ST. SUITE 500, SHERMAN, TX 75001
 PHONE: (903) 256-8416
 WWW.KIMLEY-HORN.COM TX-F-028

No.	REVISIONS	DATE	BY

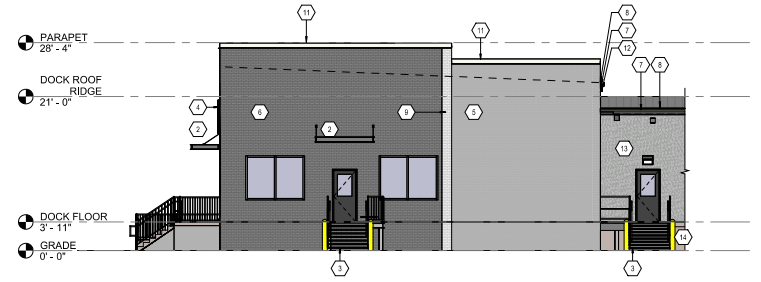
LANDSCAPE DETAILS

5.04

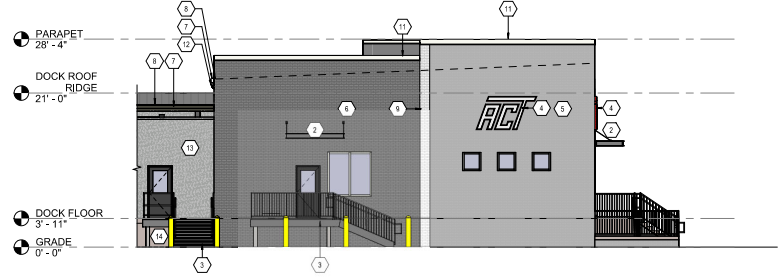
EXTERIOR KEYNOTES

- 1 POLE-MOUNTED LIGHT FIXTURE, TYP. SEE ELECTRICAL DRAWINGS.
- 2 PRE ENGINEERED METAL CANOPY
- 3 GALVANIZED STEEL STAIR
- 4 SIGNAGE BY OWNER
- 5 LIGHT GREY BRICK
- 6 DARK GREY BRICK
- 7 CONTINUOUS PREFINISHED MTL GUTTER.
- 8 CONTINUOUS PREFINISHED MTL ROOF EDGE.
- 9 WHITE BRICK
- 10 BUILDING ADDRESS SIGNAGE.
- 11 PREFINISHED METAL CORING.
- 12 PRE-FINISHED METAL DOWNSPOUT
- 13 EXTERIOR METAL PANEL - 1: STRUKTUROC PROFILE "STK2000" 22 GAUGE - COLOR: STEEL
- 14 CONCRETE WALL WITH FORM LINER PANEL TEXTURE

MATERIALS	SOFT	PERCENTAGE
DARK GREY BRICK	1,966.69	14.78%
LIGHT GREY BRICK	2,953.35	21.9%
WHITE BRICK	246.06	1.82%
CONCRETE	3,028.15	22.41%
STRUKTUROC	5210.74	38.78%
TOTAL	13,434.99	100%



1 OFFICE EAST ELEVATION
1/8" = 1'-0"



2 OFFICE WEST ELEVATION
1/8" = 1'-0"



4 TERMINAL SOUTH ELEVATION
1/8" = 1'-0"



3 TERMINAL NORTH ELEVATION
1/8" = 1'-0"



PROPOSED FACILITY FOR :
 ACT - SHERMAN TX
 AAA Cooper Transportation
 OFFICE ELEVATIONS

24 x 36 = As indicated
 11 x 17 = NO SCALE
 09/02/2025



McGraw Hill Construction
 415 296 5346
 www.mhfi.com



Planning & Zoning Commission Development Services

Agenda Item No. 9.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

*** 600 BLOCK PROGRESS DRIVE (Project No. 000141-2025)**

The request of Sherman Economic Development Corporation (Owner), Nick Hobbs (Applicant), Juan Pablo Viejo (Developer) and BGE, INC. (Surveyor) concerning the property located at 600 Block Progress Drive, consisting of 20.325 acres, and being situated in the William Martin Survey, Abstract No 765, currently zoned M-1(Light Manufacturing) District, as follows:

Planning and Zoning Commission

Site Plan for Easy Foods.

Background:

The property is located at 600 Block Progress Drive. The owner is requesting Site Plan approval as part of the Easy Foods project located at the southwest corner of the terminus of Progress Drive. The proposed use will be a tortilla and tortilla chip manufacturing facility on ~20 acres. As part of this project, we will be relocating an existing 15" sewer line that runs through the center of the site. Access will be provide via Tortilla Way, the future public roadway at the northwest corner of the project.

Origination:

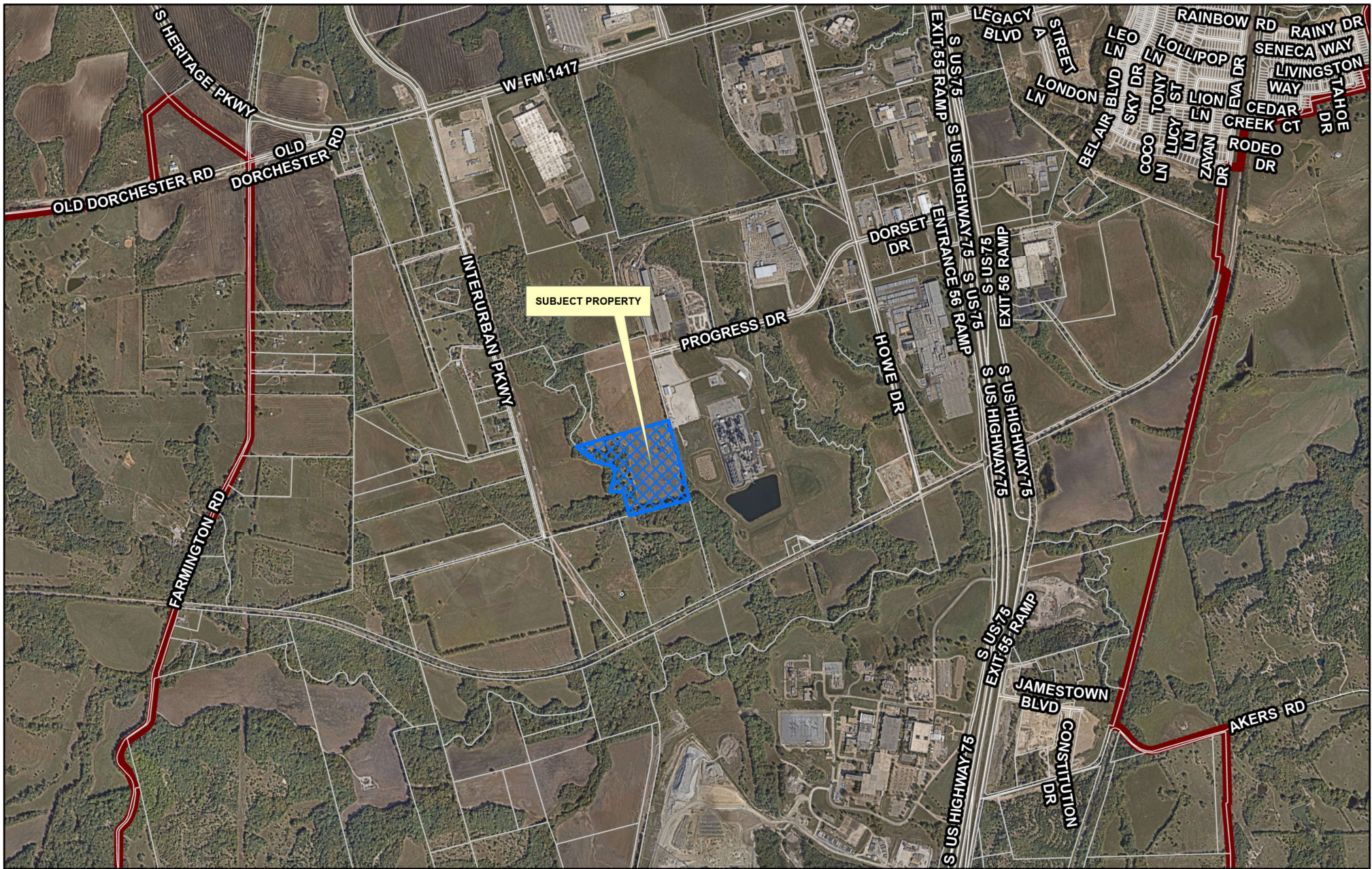
Sherman Economic Development Corporation (Owner), Nick Hobbs (Applicant), Juan Pablo Viejo (Developer) and BGE, INC. (Surveyor)

Staff Recommendation:

Staff recommends approval.

Attachments:

1. Location Map
2. Zoning Map
3. Survey
4. Narrative
5. Comment Response Letter
6. Site Plan
7. Landscape Plan
8. Elevations

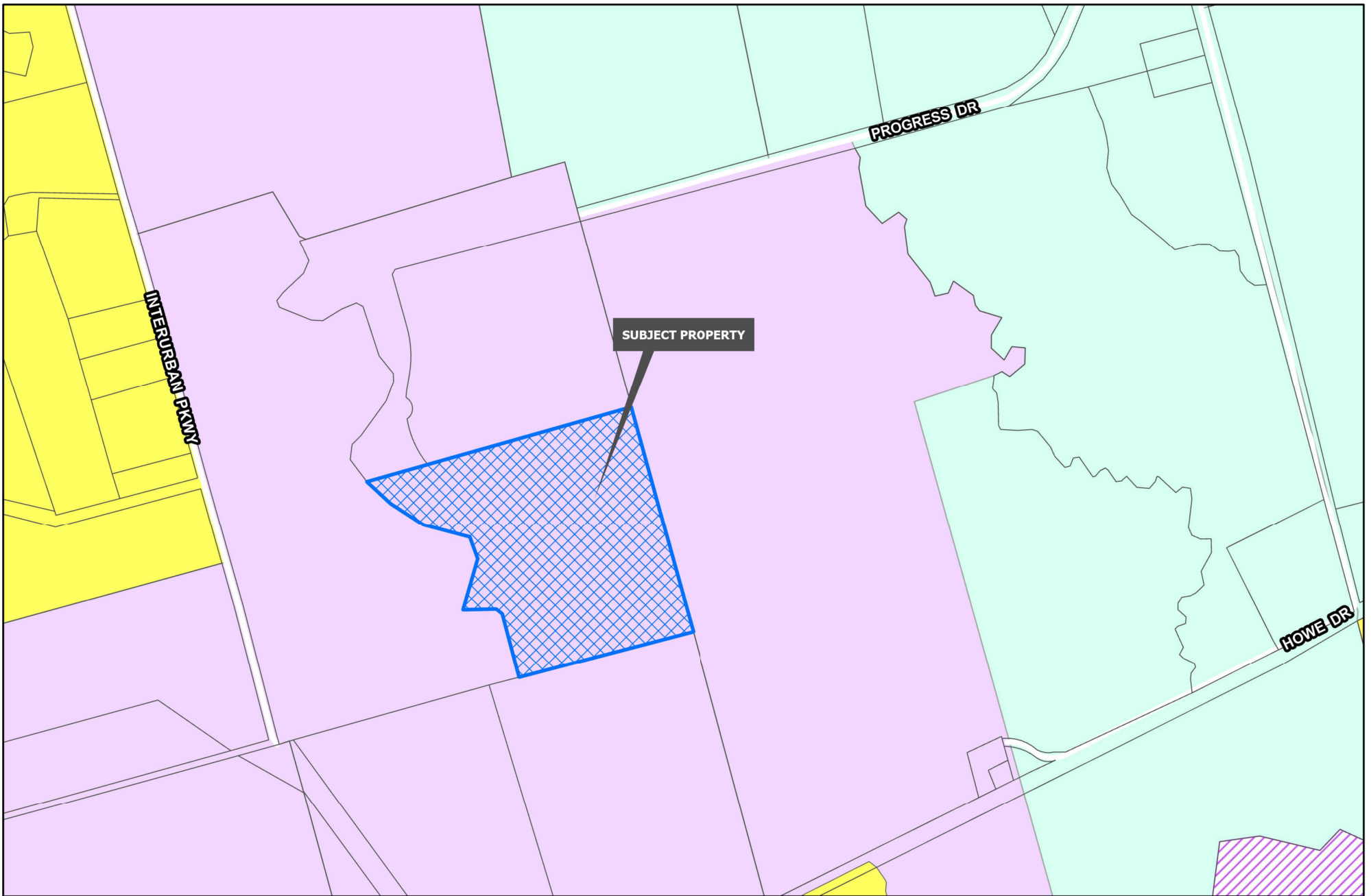


City of Sherman, Texas
Development Services Department

CITY OF SHERMAN
LOCATION MAP
600 BLK PROGRESS DR



Date: 8/26/2025 11:08 AM

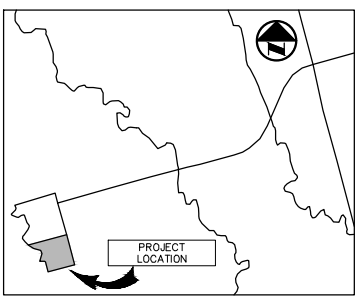
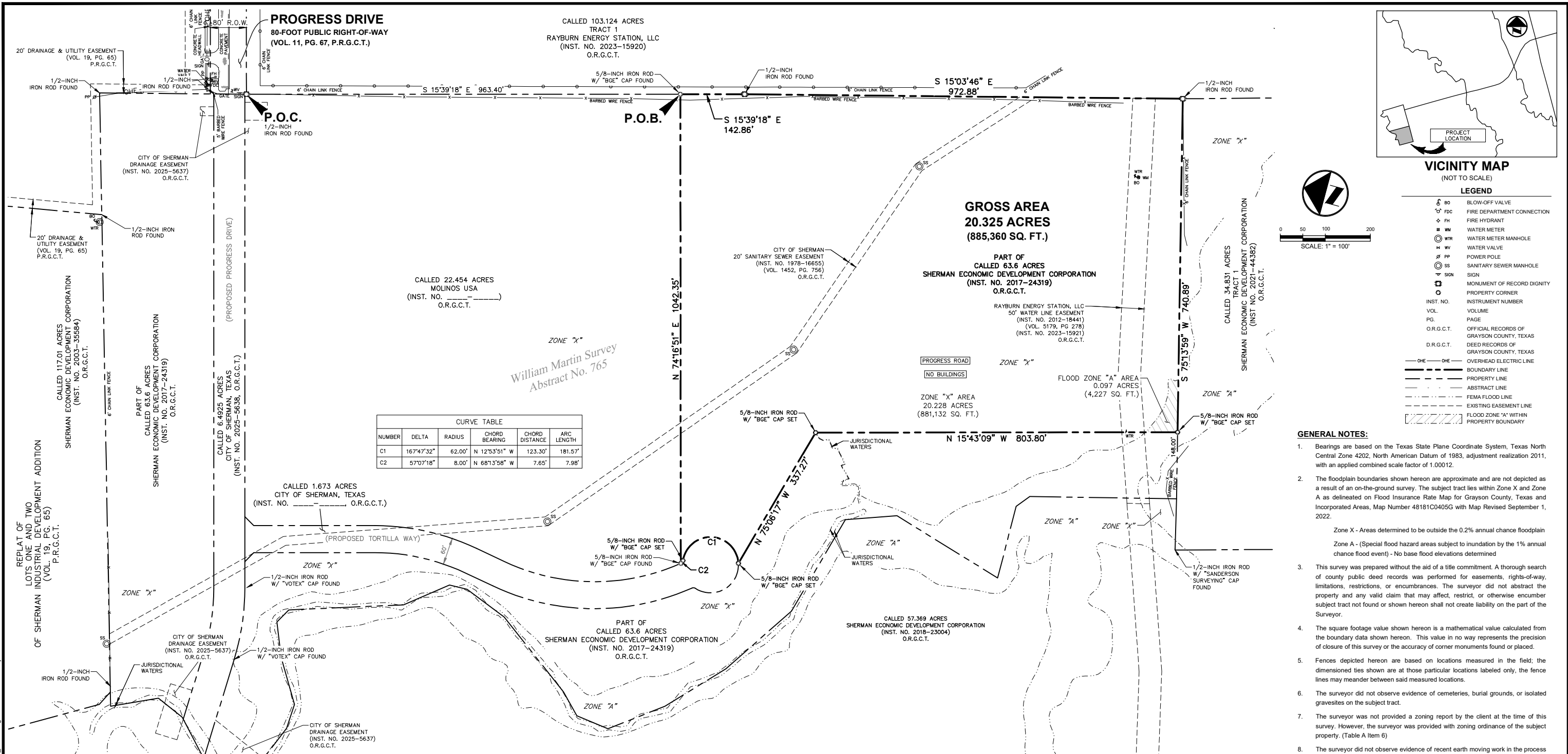


Development Services
Department

Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

CITY OF SHERMAN
ZONING MAP
600 BLK PROGRESS DR

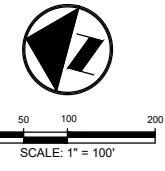




VICINITY MAP
(NOT TO SCALE)

LEGEND

BO	BLOW-OFF VALVE
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
WM	WATER METER
WTR	WATER METER MANHOLE
WV	WATER VALVE
PP	POWER POLE
SS	SANITARY SEWER MANHOLE
SIGN	SIGN
MONUMENT	MONUMENT OF RECORD DIGNITY
PC	PROPERTY CORNER
INST. NO.	INSTRUMENT NUMBER
VOL.	VOLUME NUMBER
PG.	PAGE
O.R.G.C.T.	OFFICIAL RECORDS OF GRAYSON COUNTY, TEXAS
D.R.G.C.T.	DEED RECORDS OF GRAYSON COUNTY, TEXAS
— OHE — OHE —	OVERHEAD ELECTRIC LINE
— BOUNDARY LINE —	BOUNDARY LINE
— PROPERTY LINE —	PROPERTY LINE
— ABSTRACT LINE —	ABSTRACT LINE
— FEMA FLOOD LINE —	FEMA FLOOD LINE
— EXISTING EASEMENT LINE —	EXISTING EASEMENT LINE
— FLOOD ZONE "A" WITHIN PROPERTY BOUNDARY —	FLOOD ZONE "A" WITHIN PROPERTY BOUNDARY



CURVE TABLE

NUMBER	DELTA	RADIUS	CHORD BEARING	CHORD DISTANCE	ARC LENGTH
C1	167°47'32"	62.00'	N 12°53'51" W	123.30'	181.57'
C2	57°07'18"	8.00'	N 68°13'58" W	7.65'	7.98'

GENERAL NOTES:

- Bearings are based on the Texas State Plane Coordinate System, Texas North Central Zone 4202, North American Datum of 1983, adjustment realization 2011, with an applied combined scale factor of 1.00012.
- The floodplain boundaries shown hereon are approximate and are not depicted as a result of an on-the-ground survey. The subject tract lies within Zone X and Zone A as delineated on Flood Insurance Rate Map for Grayson County, Texas and Incorporated Areas, Map Number 48181C0405G with Map Revised September 1, 2022.

Zone X - Areas determined to be outside the 0.2% annual chance floodplain
Zone A - (Special flood hazard areas subject to inundation by the 1% annual chance flood event) - No base flood elevations determined
- This survey was prepared without the aid of a title commitment. A thorough search of county public deed records was performed for easements, rights-of-way, limitations, restrictions, or encumbrances. The surveyor did not abstract the property and any valid claim that may affect, restrict, or otherwise encumber subject tract not found or shown hereon shall not create liability on the part of the Surveyor.
- The square footage value shown hereon is a mathematical value calculated from the boundary data shown hereon. This value in no way represents the precision of closure of this survey or the accuracy of corner monuments found or placed.
- Fences depicted hereon are based on locations measured in the field; the dimensioned ties shown are at those particular locations labeled only, the fence lines may meander between said measured locations.
- The surveyor did not observe evidence of cemeteries, burial grounds, or isolated gravesites on the subject tract.
- The surveyor was not provided a zoning report by the client at the time of this survey. However, the surveyor was provided with zoning ordinance of the subject property. (Table A Item 6)
- The surveyor did not observe evidence of recent earth moving work in the process of conducting the fieldwork. (Table A Item 16)
- The surveyor is not aware of any proposed changes in street right-of-way lines, and did not observe evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork. (Table A Item 17)
- The surveyor is not aware of any encroachments, setback violations and/or zoning violations. Fences into the property are labeled and shown hereon.
- The subject property has access to proposed Tortilla Way, a public street and right-of-way (currently unimproved).
- The surveyor is not aware of any encroachments, setback violations and/or zoning violations. Fences into the property are labeled and shown hereon.

LEGAL DESCRIPTION

DESCRIPTION, of a 20.325-acre (885,360-square-foot) tract of land situated in the William Martin Survey, Abstract No. 765, City of Sherman, Grayson County, Texas; said tract being part of that called 63.6-acre tract of land described in General Warranty Deed to Sherman Economic Development Corporation (hereafter called Sherman EDC) recorded in Instrument No. 2017-24319 of the Official Records of Grayson County, Texas; said 20.325-acre tract being more particularly described by metes and bounds as follows:

COMMENCING, at a 1/2-inch iron rod found at the southwest corner of Progress Drive (an 80-foot-wide public right-of-way according to the plat recorded in Volume 11, Page 67 of the Plat Records of Grayson County, Texas); said point being in the east line of that called 22.454-acre tract of land described in Warranty Deed to Molinos USA recorded in Instrument No. _____ and the northwest corner of that called 103.124-acre tract of land described as Tract 1 in Special Warranty Deed to Rayburn Energy Station, LLC recorded in Instrument No. 2023-15920, both of said Official Records;

THENCE, South 15 degrees 39 minutes 18 seconds East, with the said east line of Molinos USA tract and the west line of said Rayburn Energy Station tract, a distance of 963.40 feet to a 5/8-inch iron rod with "BGE" cap found for corner at the POINT OF BEGINNING; said point being the southeast corner of said Molinos USA tract;

THENCE, South 15 degrees 39 minutes 18 seconds East, continuing with the said west line of Rayburn Energy Station tract and with the east line of said 63.6-acre Sherman EDC tract, a distance of 142.86 feet to a 1/2-inch iron rod found at an angle point;

LEGAL DESCRIPTION (continued)

THENCE, South 15 degrees 03 minutes 46 seconds East, continuing with the said west line of Rayburn Energy Station tract and with the east line of said 63.6-acre Sherman EDC tract, a distance of 972.88 feet to a 1/2-inch iron rod found for corner; said point being the southeast corner of said 63.6-acre Sherman EDC tract and the northeast corner of that called 34.831-acre tract of land described as Tract 1 in Special Warranty Deed to Sherman Economic Development Corporation recorded in Instrument No. 2021-44382 of said Official Records;

THENCE, South 75 degrees 13 minutes 59 seconds West, departing the said west line of Rayburn Energy Station tract and with the south line of said 63.6-acre Sherman EDC tract and the north line of said 34.831-acre Sherman EDC tract, a distance of 740.89 feet to a 5/8-inch iron rod with "BGE" cap set for corner;

THENCE, North 15 degrees 43 minutes 09 seconds West, departing the said north line of said 34.831-acre Sherman EDC tract and the said south line of 63.6-acre Sherman EDC tract and into and across said 63.6-acre Sherman EDC tract, a distance of 803.80 feet to a 5/8-inch iron rod with "BGE" cap set for an angle point;

THENCE, North 75 degrees 06 minutes 17 seconds West, continuing across said 63.6-acre Sherman EDC tract, a distance of 337.27 feet to a 5/8-inch iron rod with "BGE" cap set for corner in the south line of that called 1.673-acre tract of land described in Warranty Deed to City of Sherman recorded in Instrument No. _____ of said Official Records and the beginning of a non-tangent curve to the left;

LEGAL DESCRIPTION (continued)

THENCE, with the said south line of City of Sherman tract and said curve to the left, having a central angle of 167 degrees 47 minutes 32 seconds, a radius of 62.00 feet, a chord bearing and distance of North 12 degrees 53 minutes 51 seconds West, 123.30 feet, and an arc length of 181.57 feet to a 5/8-inch iron rod with "BGE" cap set at the end of said curve and the beginning of a reverse curve to the right;

THENCE, continuing with the east line of said City of Sherman tract and said reverse curve to the right, having a central angle of 57 degrees 07 minutes 18 seconds, a radius of 8.00 feet, a chord bearing and distance of North 68 degrees 13 minutes 58 seconds West, 7.65 feet, and an arc length of 7.98 feet to a 5/8-inch iron rod with "BGE" cap found for corner at the end of said curve; said point being the southwest corner of said Molinos USA tract;

THENCE, North 74 degrees 16 minutes 51 seconds East, departing the said east line of City of Sherman tract and with the southeast line of said Molinos USA tract, a distance of 1,042.35 feet to the POINT OF BEGINNING and containing 20.325 acres or 885,360 square feet of land, more or less.

SURVEYOR'S CERTIFICATE

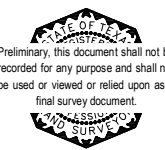
To: Easy Foods, Inc.:

This is to certify that this Survey was made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(a), 8, 9, 13, 14, 16, 17, and 18 of Table A thereof. The fieldwork was completed on October 29, 2024.

Date of Plat or Map: May 29, 2025

Released for title review purposes only on May 29, 2025.

Gregory Mark Peace, RPLS No. 6608



SCHEDULE B NOTES:

- The subject property is part of the property described in Oil, Gas and Mineral Lease between Dennis D. Topletz, Trustee and Tacoma Energy Corporation recorded in Instrument No. 2014-4811 (also recorded as Volume 5436, Page 35) of the Official Records of Grayson County, Texas.
- The easement described in Water Pipeline Right-of-Way Easement Agreement between Dennis Topletz and Panda Sherman Power, LLC recorded in Instrument No. 2012-18441 (also recorded as Volume 5179, Page 278) of the Official Records of Grayson County, Texas affects the subject property as shown hereon. Said easement is affected by memorandum of Assignment and Assumption of Easements Agreement between Panda Sherman Power, LLC and Rayburn Energy Station LLC recorded in Instrument No. 2023-15921 of said Official Records.
- The easement described in Easement Deed to the City of Sherman, Texas recorded in Instrument No. 1978-16655 of the Official Records of Grayson County, Texas (also recorded as Volume 1452, Page 756 of the Deed Records of Grayson County, Texas) affects the subject property as shown hereon.
- The easement described in Easement and Right of Way to Texas Power & Light Company recorded in Instrument No. 1966-5362 of the Official Records of Grayson County, Texas (also recorded as Volume 1055, Page 2 of the Deed Records of Grayson County, Texas), does not affect the subject property.
- The easements described in Drainage Easement to the City of Sherman, Texas recorded in Instrument No. 2025-5637 of the Official Records of Grayson County, Texas do not affect the subject property.

ALTA/NSPS LAND TITLE SURVEY
20.325 ACRES
BEING SITUATED IN THE
WILLIAM MARTIN SURVEY, ABSTRACT NO. 765
CITY OF SHERMAN, GRAYSON COUNTY, TEXAS
MAY 29, 2025

OWNER
SHERMAN ECONOMIC
DEVELOPMENT
CORPORATION
307 W Washington, Suite 102
Sherman, TX 75099

SURVEYOR
BGE, Inc.
2595 Dallas Parkway, Suite 1011, Frisco, TX 75034
Tel: 972-464-4800 • www.bgeinc.com
TBPELS Firm No. 10106500
Copyright 2025
Contact: Mark Peace, R.P.L.S.
Telephone: 972-464-4884 • Email: mpeace@bgeinc.com

\\bge\data\X\Projects\Easy_Foods_Inc\2025-05-29-16:03 [London]



Project Narrative

Date: August 6, 2025

To: Development Services
City of Sherman
317 S. Travis Street
Sherman, TX 75090

From: Nick Hobbs, PE

Project Reference: Easy Foods Site Plan

Development Services Staff-

We request to submit a site plan and other required documents as part of the Easy Foods project located at the SW corner of the terminus of Progress Drive for City review and approval. The proposed use will be a tortilla and tortilla chip manufacturing facility on ~20 acres. As part of this project, we will be relocating an existing 15" sewer line that runs through the center of the site. Access will be provided via Tortilla Way, the future public roadway at the northwest corner of the project.

Please let me know if you have any questions or if there is anything else you need.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Nick Hobbs', written in a cursive style.

Nick Hobbs, PE

BGE, Inc

469-644-1664

600 BLOCK PROGRESS DRIVE (Project No. 000141-2025)

Required updates must be uploaded into the Self Service Portal no later than September 2, 2025.
A copy of the Staff Comments has been included in the attachments on the Self Service Portal.
Include a Staff Comment Response Sheet in the attachments of the Self Service Portal and select 'Other' as the Attachment Type.

Zoning

1. Site Plan must only show what is being proposed.
 - a. There are two EXPANSION AREAS shown on the Site Plan that are shown as landscaping on the Landscape Plan. This appears to be for future development of the site.
 - i. Remove the EXPANSION AREA from the Site Plan
RESPONSE: THE EXPANSION AREAS HAVE BEEN REMOVED FROM THE SITE PLAN.
2. The minimum setbacks in M-1 (Light Manufacturing) District (*Sec. 14.02.018(1)*) are as follows:
 - a. 40' front
 - b. 25' rear
 - c. 25' side
 - i. Place a setback line around the entire property to demonstrate the minimum setbacks
RESPONSE: SETBACK LINES HAVE BEEN ADDED TO THE SITE PLAN.
3. The Landscape Plan needs to be on one sheet to present to Planning and Zoning and not contain multiple pages with Match Lines.
RESPONSE: Overall Landscape Plan has been updated accordingly.
4. Update the landscaping ordinance reference on L0.01 to reference Non-residential tree and landscaping requirements Section 14.04.006(d)
 - a. Remove the MIN. 40% OF REQUIRED LANDSCAPE MUST BE LOCATED IN PARKING ISLANDS
 - i. This is not part of the current landscape ordinance.
RESPONSE: Text removed from table.
 - b. Add the following to be consistent with the current Landscape Ordinance:
 - i. In order to maximize the distribution of shade, shade trees shall be planted throughout the interior of the parking lot so that no parking stall shall be more than 50 feet from the center point of any city-approved parking lot tree, other than trees required for street perimeter buffer plantings. Clustering of trees shall be permitted as long as all required trees are situated within the parking lot.
RESPONSE: Requirements added to table, trees confirmed to be within 50' of each parking stall.
 - ii. To protect the root health of trees located within landscape islands, all landscaped areas shall be protected with a two (2) foot wide non-vegetative pervious surface area adjacent to the back of the curb adjacent to all parking spaces. This area may include mulch, crushed granite, river rock, or similar material.
 1. Identify the 2' non-vegetative buffer on the Landscape Plan where people will be stepping out of their cars.
RESPONSE: Requirements added to table, 2' buffers added to parking lot.
 - iii. Landscaped islands located interior to the parking lot must include six (6) inch curbs and gutters to provide protection of landscape areas and mitigate soil erosion into paved parking areas. Low impact development (LID) stormwater components may also be considered.
RESPONSE: Requirements added to table.

(Informational)

5. Signs shall be permitted separately and shall adhere to Ordinance 14.07.009
 - a. The calculation of the sign area consists of the entire monument sign structure. (*Sec. 14.08.001*)
RESPONSE: NOTED.

Engineering

Revisions Required by Engineering Department:

6. Drawing is not to scale. Correct appropriately.
RESPONSE: SCALE HAS BEEN CORRECT TO 1" = 50"
7. Floodplain shall be called out on site plan.
RESPONSE: FEMA AND BGE FLOODPLAINS ARE NOW CALLED OUT.
8. FLAUE shall be revised to read Fire Lane on site plan. Internal utilities shall be private.
RESPONSE: FLAUE CALLOUT HAS BEEN REMOVED AND A FIRELANE HATCH IS PROVIDED IN LIEU.

Informational Engineering Comments:

9. Property boundaries differ from Conditionally Approved Preliminary Plat. Property boundaries for plat shall match site plan upon civil plan submittal.
RESPONSE: UPDATED PROPERTY LINE WILL BE ESTABLISHED IN THE FINAL PLAT FOR THIS SITE. PROPOSED PROPERTY LINE ADDED TO THE SITE PLAN.
10. Internal water line shall be privately owned and maintained.
RESPONSE: NOTE ADDED.
11. Internal Stormwater lines shall be privately owned and maintained.
RESPONSE: NOTE ADDED.
12. Wastewater Easement for public wastewater reroute shall be incorporated into plat prior to Final Plat submittal.
RESPONSE: NOTED.
13. Water and Wastewater shall meet 9' or greater OD to OD separation TCEQ requirements. Coordinate with Engineering Department.
RESPONSE: UTILITY ALIGNMENTS UPDATED WITH CORRECT SEPARATION.
14. Storm sewer to have 10'-15' OD to OD separation from wastewater line. Coordinate with Engineering Department.
RESPONSE: UTILITY ALIGNMENTS UPDATED WITH CORRECT SEPARATION.

Fire Services

The following shall be corrected prior to approval of a site plan by the Fire Marshal's Office.

15. [] D105.2 - Aerial fire apparatus access roads shall have a minimum unobstructed width of 26', exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
RESPONSE: FIRE LANES UPDATED TO BE MINIMUM 26 FEET IN THE IMMEDIATE VICINITY OF BUILDINGS.
16. [] D104.2 - Buildings or facilities having a gross building area of more than 62,000 square feet shall be provided with two separate and approved fire apparatus access roads.
Exception: Projects having a gross building area of up to 124,000 square feet that have a single approved fire apparatus access road where all buildings are equipped throughout with approved automatic sprinkler systems.
 - **Recommend an emergency access gate to connect on the NE corner to the property North of Easy Foods.**
RESPONSE: ALL BUILDINGS TO BE SPRINKLED THUS NORTH-EAST DRIVE CONNECTION NOT PROVIDED.

The following are informational items only that may be applicable during construction but should not hold up approval of a site plan for zoning by the Fire Marshal's Office.

17. [] D103.5 Amended - Electric gates shall be equipped with a Knox key switch that operates with the Authority Having Jurisdiction's Knox key. Emergency opening devices shall be approved by the fire code official. (Located In City Ordinances Amendments)

RESPONSE: NOTED.

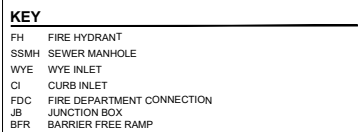
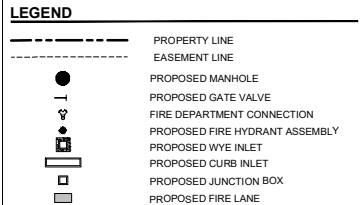
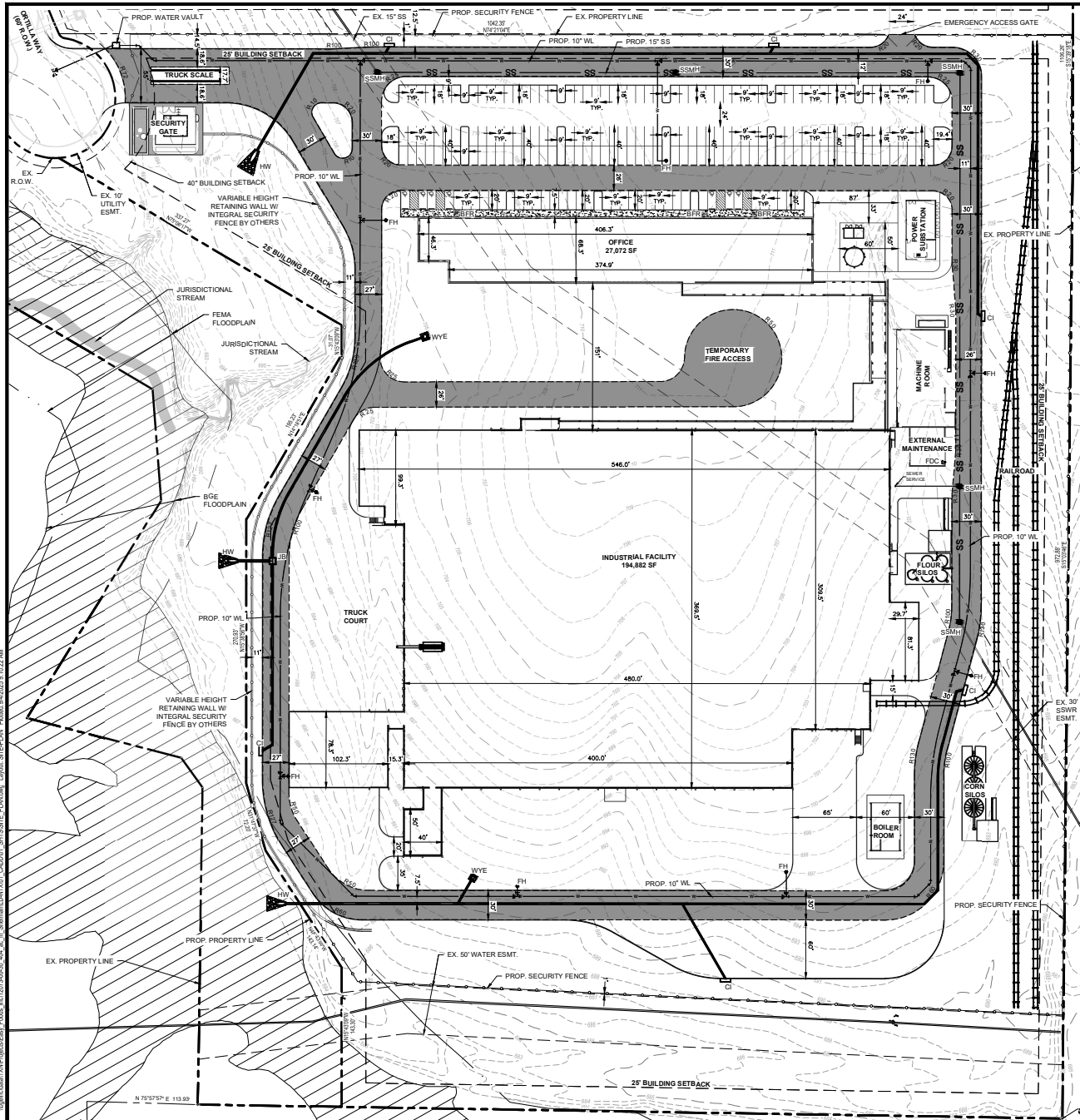
18. [] 506.1 Amended - Any new and existing buildings that have a fire sprinkler riser, standpipe system and/or a fire alarm control panel shall have a Knox key box that contains keys or a keycard to gain access to every door leading from the exterior of the building to the fire sprinkler riser, standpipe system and/or the fire alarm control panel. (Located In City Ordinances Amendments)

RESPONSE: NOTED.

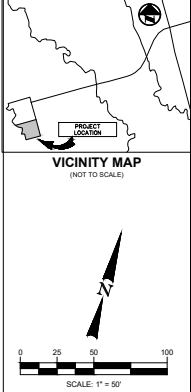
Solid Waste Services

19. Compactor not supplied by City. Make sure compactor is oriented to allow load and empty without having to flip on the truck.

RESPONSE: COMPACTOR ORIENTATION CORRECTED FOR ACCESS FROM DRIVE AISLE.



- NOTES:**
1. CONTRACTOR TO NOTIFY ENGINEER IF EXISTING CONDITIONS VARY FROM THOSE SHOWN.
 2. ALL WORK AND MATERIALS SHALL COMPLY WITH CITY AND COUNTY REGULATIONS AS WELL AS O.S.H.A STANDARDS.
 3. PROPOSED BUILDINGS ARE PARALLEL TO NORTH PROPERTY LINE.
 4. ALL RADI ARE 2-FEET UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO THE FACE OR CURB UNLESS OTHERWISE NOTED.
 6. ALL FIRE LANE RADI ARE 20-FEET MINIMUM.
 7. ALL FIRE LANES ARE 24-FEET WIDE MINIMUM.
 8. HANDICAP PARKING AND MARKING SHALL BE IN ACCORDANCE WITH ADA STANDARDS.
 9. REFER TO CITY OF SHERMAN CONSTRUCTION DETAILS AND SPECIFICATIONS.
 10. ALL SCREENING SHALL BE IN ACCORDANCE WITH CITY OF SHERMAN REQUIREMENTS.
 11. CONTRACTOR TO COORDINATE WITH CITY TRAFFIC ENGINEER PRIOR TO INSTALLING ROAD SIGNS OR PAVEMENT MARKINGS.
 12. REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR FINAL SIDEWALK LAYOUT.
 13. CONTRACTOR TO COORDINATE WITH RESPECTIVE COMPANY FOR ANY RELOCATIONS, INCLUDING POWER POLES, LIGHT POLES, AND ELECTRICAL BOXES.
 14. ALL SCREENING SHALL BE IN ACCORDANCE WITH CITY OF SHERMAN REQUIREMENTS.
 15. FEMA FLOODPLAIN REFLECTS MAP NO. 48181C0405G, DATED 09/01/2022.
 16. ALL ON-SITE WATER AND STORM INFRASTRUCTURE TO BE PRIVATELY OWNED AND MAINTAINED.



SITE DATA SUMMARY TABLE	
GENERAL SITE DATA	LOT 3
ZONING	M-1 LIGHT MANUFACTURING
LAND USE	MANUFACTURING
LOT AREA	993,220 SF
BUILDING AREA (PROPOSED)	250,043 SF
LOT COVERAGE	26.9%
TOTAL FLOOR AREA RATIO	0.271
PARKING	
PARKING RATIO	1 SPACE PER 400 SF PROFESSIONAL OFFICE 1 SPACE PER 1000 SF WAREHOUSE UP TO 20,000 SF 1 SPACE PER 2000 SF WAREHOUSE OVER 20,000 SF
REQUIRED PARKING WAREHOUSE	108
REQUIRED PARKING PROFESSIONAL OFFICE	68
REQUIRED PARKING TOTAL (# SPACES)	176
PROVIDED PARKING TOTAL (# SPACES)	207
HANDICAP PARKING REQUIRED (# SPACES)	7
HANDICAP PARKING PROVIDED (# SPACES)	7
OPEN SPACE	
SQ. FT. PARKING AREAS AND DRIVES	279,575 SF
LANDSCAPED AREA OF PARKING AREAS AND DRIVES (REQUIRED)	27,958 SF
LANDSCAPED AREA OF PARKING AREAS AND DRIVES (PROVIDED)	31,200 SF
SQ. FT. TOTAL LANDSCAPED AREA	400,599 SF
SQ. FT. TOTAL IMPERVIOUS SURFACE	529,622 SF

*NOTE: MIN. 10% OF PARKING AREAS AND DRIVES SHALL BE LANDSCAPED. MIN.

!!WARNING!!
EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND COORDINATE WITH CORRESPONDING COMPANY PRIOR TO CONSTRUCTION.

**BEFORE YOU DIG, CALL DIG TESS
1-800-DIG-TESS**

SITE PLAN
CITY PROJECT NO. 000141-2025
SHERMAN INDUSTRIAL DEVELOPMENT
21.355 ACRES
CITY OF SHERMAN, GRAYSON COUNTY, TEXAS
WILLIAM MARTIN SURVEY ABSTRACT NO. 765

OWNER/DEVELOPER
EASY FOODS
1865 AVENUE A,
ARSHINE, TX 75718
TEL: (937) 846-1461
CONTACT: JANA PARDUE@EJO

APPLICANT/ENGINEER
E.S.E., INC.
2595 DALLAS PKWY, SUITE 101
FRISSO, TEXAS 75044
TEL: (972) 464-4800
CONTACT: KIM HOBBS

NO.	DATE	DESCRIPTION	BY	DATE
1	09/02/2025	ISSUED FOR PERMITS	JK	

NO.	DATE	DESCRIPTION	BY	DATE
1	09/02/2025	ISSUED FOR PERMITS	JK	

NO.	DATE	DESCRIPTION	BY	DATE
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SITE PLAN
EASY FOODS
CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

GENERAL NOTES:

- CONTRACTOR TO VERIFY SITE INFORMATION, INCLUDING EXISTING CONDITIONS, TOPOGRAPHY, EXISTING UTILITIES, BOUNDARY INFORMATION, PROPERTY LINES, EASEMENTS, BUILDING LOCATIONS, ROADWAY, CURBS AND GUTTERS, AND OTHER INFORMATION AFFECTING THE SCOPE OF WORK INCLUDED ON THESE DRAWINGS. MORE SPECIFIC UTILITY INFORMATION IS INDICATED ON THE OTHER CONSULTANT DRAWINGS. THE CONTRACTOR SHALL NOTIFY AND CONFIRM ALL UTILITIES AND THE GENERAL CONTRACTOR SHALL CONTACT THE OWNER AND THE LANDSCAPE ARCHITECT FOR DIRECTION ON HOW TO PROCEED IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE CIVIL ENGINEERS OR LANDSCAPE ARCHITECTS PLANS.
- ARCHITECTURAL INFORMATION IS FROM PLANS PROVIDED BY CLIENT
- WRITTEN DIMENSIONS PREvail OVER SCALED DIMENSIONS, NOTIFY BOGE OF ANY DISCREPANCIES.
- DIMENSIONS ARE TO FACE OF OBJECT, UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY AND CONFIRM ALL UTILITIES AND THE GENERAL CONTRACTOR THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES, EXCAVATE AS NECESSARY TO CONFIRM LOCATION PRIOR TO EXCAVATION. EXCAVATION IN THE VICINITY OF UTILITIES SHALL BE UNDERSTAKEN WITH CARE. ANY DAMAGES TO NEW AND EXISTING UTILITIES BY ANY PERSON, VEHICLE, EQUIPMENT, OR TOOL RELATED TO THE EXECUTION OF THE CONTRACT ARE TO BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER. BOE ASSUMES NO RESPONSIBILITY FOR ANY UTILITIES NOT SHOWN ON PLANS.
- ALL PROPOSED FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO BOE IMMEDIATELY.
- PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT, AND STAKED IN THE FIELD FOR REVIEW BY BOE. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION OF HARDSCAPE CONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL ITEMS PER DRAWINGS AND SPECIFICATIONS, NOTIFY BOGE OF ANY MAJOR DISCREPANCIES BETWEEN CONTRACTOR'S VERIFIED QUANTITIES, BID BOOK, AND INTENT OF DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR ALL FINAL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED BY BOE ARE PROVIDED FOR CONVENIENCE ONLY AND SHALL NOT BE CONSIDERED ABSOLUTE. BOE SHOULD BE NOTIFIED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL EXAMINE AND BECOME FAMILIAR WITH ALL CONTRACT DOCUMENTS IN THEIR ENTIRETY. SURVEY THE PROJECT AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK. ALL COSTS SUBMITTED SHALL BE BASED ON THOROUGH KNOWLEDGE OF ALL WORK AND MATERIALS REQUIRED, ANY DISCREPANCY AND/OR UNCERTAINTY AS TO WHAT MATERIAL OR PRODUCT IS TO BE USED SHALL BE VERIFIED WITH THE OWNER AND/OR BOE PRIOR TO BIDDING.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED FOR SAFE OPERATION AND COMPLETION OF WORK. CONTRACTOR IS TO BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS RELATED TO THIS WORK.
- ALL EXISTING WORK OR LANDSCAPING NOT SHOWN TO BE ALTERED OR REMOVED SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING WORK OR LANDSCAPING. ANY DAMAGE TO EXISTING CONDITIONS OR IMPROVEMENTS NOT INDICATED IN THE DRAWINGS OR SPECIFICATIONS TO RECEIVE ALTERATION, ADDITIONS OR REMOVAL.
- CONTRACTOR TO INSURE CONSTRUCTION COMPLIANCE WITH ADA ACT OF 1990, AS AMENDED, THE ADAAS GUIDELINES OF 2004, AS AMENDED, AND ANY LOCAL OR STATE ACCESSIBILITY STANDARDS, AS AMENDED. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR TO PROVIDE ANY AND ALL NECESSARY EROSION CONTROL MEASURES.
- ALL CONSTRUCTION WILL CONFORM TO THESE PLANS AND SPECIFICATIONS, AS WELL AS ALL RELEVANT LOCAL CITY STANDARDS AND SPECIFICATIONS.

DEMOLITION NOTES:

- SITE BASE INFORMATION (BOUNDARIES, UTILITIES, TOPOGRAPHY & STRUCTURES) IS SHOWN AS PROVIDED BY SURVEYOR, CONTRACTOR SHALL VERIFY GRADES, UTILITIES, AND SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. BOE ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THIS SURVEY INFORMATION.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES AND SHALL PROTECT ALL EXISTING UTILITIES IN PLACE AND ENSURING THEIR SAFE OPERATION DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO UTILITIES CAUSED BY THEIR WORK AND SHALL REPAIR DAMAGES AT NO COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL AREAS TO BE DEMOLISHED AS A PART OF THIS CONTRACT. CLEARLY MARK ALL ITEMS FOR DEMOLITION FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO BEGINNING DEMOLITION WORK. SITE CONDITIONS VARYING FROM THESE PLANS & SPECIFICATIONS MUST BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- DURING DEMOLITION THE CONTRACTOR SHALL EXERCISE CAUTION NOT TO DAMAGE THE EXISTING FEATURES THAT ARE TO REMAIN INSIDE AND OUTSIDE OF THE PROJECT CONSTRUCTION AREA. DAMAGE RESULTING FROM CONTRACTORS WORK SHALL BE REPAIRED AND RESTORED TO THE COMPLETE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL TAKE CARE TO MINIMIZE DISTURBANCE TO EXISTING TREE TRUNKS AND ROOT SYSTEMS. ALL DEMOLITION ADJACENT TO EXISTING TREES SHALL BE COMPLETED USING HAND TOOLS. NO LARGE EQUIPMENT OR ANY EQUIPMENT WITH TRACKS SHALL BE ALLOWED TO WORK UNDER THE DRIFPILE OF ANY EXISTING TREES TO REMAIN. THERE SHALL BE NO STORAGE OF MATERIAL OR PARKING WITHIN THE DRIFPILE OF EXISTING TREES TO REMAIN.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ALL DESIGNATED TREES, SHRUBS & GROUNDCOVER PRIOR TO THE START OF NEW CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR CAPTING & MANAGING ALL IRRIGATION LINES IN THE DEMOLITION AREA.

IRRIGATION NOTES:

- A FULLY AUTOMATED IRRIGATION SYSTEM PROVIDING 100% COVERAGE SHALL BE PROVIDED FOR ALL PLANTING AREAS, UNLESS NOTED OTHERWISE. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED AND IN OPERATION PRIOR TO INSTALLATION OF ANY PLANT MATERIAL OTHER THAN CANOPY TREES.
- ALL IRRIGATION INSTALLATION SHALL CONFORM TO THE LOCAL CODE REGULATIONS AND TCOE REQUIREMENTS.
- LINE LAYOUT IS DETERMINED TO ADJUST VALVE, HEAD AND LINE LOCATIONS ON SITE TO ACCOMMODATE EXISTING JOB CONDITIONS AND TO ACHIEVE COMPLETE COVERAGE OF ALL PLANTING BEDS AND TURF AREAS.
- SHRUB AND GROUNDCOVER AREAS TO BE IRRIGATED WITH A LANDSCAPE DRIP-LINE SYSTEM UNLESS NOTED OTHERWISE.
- ALL PLANTER POTS AND RABBED PLANTERS TO BE IRRIGATED WITH MICROSPRAY SPRINKLER HEADS. UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE DRAWINGS AND CUT SHEETS OF ALL IRRIGATION COMPONENTS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
- IRRIGATION CONTRACTOR SHALL PLACE ADJUSTABLE ARC NOZZLES IN PLACE OF FIXED ARC NOZZLE AS NEEDED TO ELIMINATE OVER SPRAY ON PAVEMENT.
- ALL IRRIGATION HEADS SHALL HAVE FACTORY INSTALLED CHECK VALVES.
- CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS OF THE ENTIRE IRRIGATION SYSTEM AFTER INSTALLATION.

MAINTENANCE NOTES:

- LANDSCAPE CONTRACT SHALL INCLUDE, AS AN ALTERNATE BID, A LANDSCAPE MAINTENANCE AGREEMENT. THE LANDSCAPE MAINTENANCE PERIOD SHALL BEGIN ON THE OWNER'S ACCEPTANCE OF IMPROVEMENTS HAS BEEN GIVEN IN WRITING AND SHALL EXTEND FOR A PERIOD OF TWO YEARS, OR AS DIRECTED BY THE OWNER.
 - REGULAR MOWING TO INCLUDE EDGING AT PAVEMENT AND STRING TRIMMING
 - FERTILIZATION AND WEED MANAGEMENT
 - INTEGRATED PEST MANAGEMENT
 - IRRIGATION MAINTENANCE AND REPAIRS
 - PLANTING BEDS
 - TREES AND SHRUBS
- THE PROGRAM FOR THE MAINTENANCE AGREEMENT SHALL BE BASED ON A COMPLETE SOILS ANALYSIS TO ADDRESS SPECIFIC SITE CONDITIONS AND TO ENSURE THE HEALTHY AND VIGOROUS GROWTH OF THE PLANT MATERIALS.

PLANTING NOTES:

- ALL QUANTITIES LISTED IN THE DRAWINGS ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND TO PROVIDE ALL MATERIALS NECESSARY FOR FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED ON THE DRAWINGS. ANY DISCREPANCY SHOULD BE REPORTED TO THE OWNER AND/OR BOE.
- THIS PLAN IS FOR PLANTING LOCATIONS ONLY AND ALL PLANT MATERIAL SHALL BE SPACED AND LOCATED PER PLAN. HOWEVER, THE LANDSCAPE CONTRACTOR IS TO SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. IF FOUND CONDITIONS VARY FROM THIS PLAN, CONTRACTOR TO CONTACT OWNER OR LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO WILL RESULT IN CONTRACTOR'S LIABILITY TO REPLACE PLANT MATERIALS.
- ALL PLANTS SHOULD BE IN ACCORDANCE WITH ANSI Z601 - 2014, AMERICAN STANDARD FOR NURSERY STOCK PUBLICATION, APPROVED APRIL 14, 2014.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SIZE SPECIFICATIONS (CALIPER, HEIGHT AND SPREAD) GIVEN IN THE PLANT SCHEDULE AND SHALL BE NURSERY GROWN UNLESS SPECIFIED OTHERWISE. FAILURE TO MEET MINIMUM SIZE ON ANY PLANT WILL RESULT IN REJECTION OF THAT PLANT.
- ANY PLANT SUBSTITUTION SHALL BE APPROVED BY BOE PRIOR TO PURCHASE. SUBSTITUTIONS OF PLANT MATERIAL ARE TO BE REQUESTED IN WRITING TO THE LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER PRIOR TO PURCHASE AND INSTALLATION. FAILURE TO OBTAIN SUBSTITUTION APPROVAL IN WRITING MAY RESULT IN LIABILITY TO THE CONTRACTOR.
- CONTRACTOR SHALL STAKE OUT LOCATIONS OF ALL TREES TO BE PLANTED USING COLORED FLAGS FOR EACH TREE SPECIES FOR REVIEW BY BOE PRIOR TO INSTALLING. BOE RESERVES THE RIGHT TO ADJUST SITE LOCATIONS IN THE FIELD AS NECESSARY.
- SHRUBS & GROUNDCOVER BEDS SHALL BE STAKED FOR REVIEW BY BOE/OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION AND/OR BED PREPARATION.
- CONTRACTOR SHALL INSTALL STEEL EDGING BETWEEN PLANTING BEDS AND LAWNS, OR AS SHOWN IN PLANS AND DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE BOGE OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN IN THE DRAWINGS.
- ALL SHRUBS & GROUNDCOVER BEDS SHALL HAVE A MINIMUM THREE (3) INCH LAYER OF HARDWOOD MULCH. CONTRACTOR TO SUPPLY OWNER WITH SAMPLE FOR APPROVAL. CONTRACTOR TO SUPPLY A BID ALTERNATE FOR ROCK MULCH FOR ALL BEDS.
- ANNUAL BEDS TO RECEIVE MINIMUM TWO (2) INCHES OF HARDWOOD MULCH. CONTRACTOR TO SUPPLY OWNER WITH SAMPLE FOR APPROVAL.
- REFER TO LOCAL ORDINANCE FOR CLEARANCE REQUIREMENTS FOR TREES OVERHANGING PRIVATE STREETS, WALKS, OR PARKING LOTS, AND FOR PLANTING SEPARATION FROM UNDERGROUND UTILITIES AND PAVING.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME SPECIES, VARIETY, AND SIZE IF DAMAGED, DESTROYED, DEAD, OR REMOVED.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL GRADING SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO PLANTING. CONTRACTOR IS RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION SUITABLE FOR PLANTING.
- TOPSOIL SHALL BE A MINIMUM OF FOUR (4) INCHES IN DEPTH AND SHALL BE FREE FROM ANY STONES, ROOTS, OR OTHER FOREIGN MATERIAL GREATER THAN TWO (2) INCHES IN DIAMETER.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR IS REQUIRED TO PERFORM A TREE RIT PERCOLATION TEST FOR EACH TREE HIT PRIOR TO INSTALLATION. IF ANY FREE TREE DOES NOT DRAIN WITHIN A 24-HOUR PERIOD, THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A GRAVEL SUMP, FILTER FABRIC, AND STAND PIPE.
- CONTRACTOR SHALL PROVIDE SOIL SAMPLES TO THE PROJECT AGRODISTRICT, A MINIMUM OF TWO SAMPLES FROM EACH DIFFERENT SOIL AREA AND FROM EACH IMPORT SOIL. SOURCE IS REQUIRED. VERIFY APPROPRIATE QUANTITY OF SAMPLES WITH THE LANDSCAPE ARCHITECT AND AGRODISTRICT. SAMPLES SHALL THEN BE TESTED AND ANALYZED FOR AGRICULTURAL SAMPLABILITY AND FERTILITY BY AN ACCREDITED SOIL TESTING LABORATORY. ANALYSIS SHALL INCLUDE REVIEW AND COORDINATION WITH SPECIFICATIONS AND RECOMMENDATIONS FOR SOIL PREPARATION AND BACK-FILL MIX. SUBMIT SOIL ANALYSIS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO SOIL PREPARATION. THIS REQUIREMENT APPLIES TO ALL SOILS AND CONDITIONS WITHIN THIS PROJECT INCLUDING IMPORT SOILS, ON-GRADE SOILS, AND/OR ON-STRUCTURE SOILS. VERIFYING CONTRACTURE FILTER FABRIC/SOIL COMPATIBILITY SHALL BE PART OF THE OVERALL ANALYSIS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR IS RESPONSIBLE TO REVIEW SITE ENVIRONMENTAL CONDITIONS PRIOR TO AND DURING INSTALLATION OF PLANT MATERIAL. ANY DISCREPANCIES OR CONCERNS BETWEEN THE ENVIRONMENTAL SITE CONDITIONS (IE. SOIL TYPE, WATER, CLIMATE, WIND, SUN EXPOSURE ETC.) AND THE PLANT MATERIAL SPECIFIED WITHIN THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF BOE AND/OR THE OWNER, AND SHALL BE DONE SO IN WRITING. CONTRACTOR SHALL PROVIDE SUGGESTED SOLUTIONS FOR ALTERNATIVE PLANT MATERIAL PROPOSED FOR SUBSTITUTION. BOE TO REVIEW CONDITIONS AND INFORMATION SUBMITTED BY CONTRACTOR AND WILL ISSUE DIRECTIVE, SHOULD PLANT MATERIAL, DIE BECAUSE OF ENVIRONMENTAL CONDITIONS DESCRIBED ABOVE. THE LANDSCAPE CONTRACTOR ASSUMES ALL WARRANTY AND GUARANTEE OF THE PLANT MATERIAL INSTALLED.
- ALL NEW PLANTING AREAS SHALL HAVE A SOIL COMPOSITION CONSISTENT WITH SANDY LOAM TO LOAM SOIL PROPERTIES AND ACIDITY RANGES OF PH 5.5 TO 7.0. CONTRACTOR TO PROVIDE A SOIL TEST OF THE EXISTING SOIL, AND EITHER FULLY REPLACE OR AMEND THE EXISTING SOIL TO ACHIEVE THE SANDY LOAM TO LOAM SOIL PROPERTIES. CONTRACTOR TO SUBMIT SOIL TEST RESULTS TO LANDSCAPE ARCHITECT FOR REVIEW. CONTRACTOR SHALL PROVIDE A SOIL AMENDMENT PLAN TO ACHIEVE THE SOIL COMPOSITION DESCRIBED ABOVE.
- AMENDED SOIL SHALL HAVE UNIFORM COMPOSITION THROUGHOUT WITH A MIXTURE OF EXISTING SUBSOIL. IT SHALL BE FREE OF STONES, LIMBS, LIVE PLANTS AND THEIR ROOTS, STICKS, AND OTHER EXTRANEOUS MATERIALS IT SHALL CONTAIN NO MANMADE MATERIALS UNLESS OTHERWISE SPECIFIED. AMENDED SOIL SHALL NOT BE USED WHILE IN A FROZEN OR MUDDY CONDITION, REFER TO SPECIFICATIONS FOR SPECIFIC SOIL AMENDMENTS TO BE ADDED OR TILLED INTO SOILS.
- GENERALLY, ALL NEW PLANTING AREAS, AMENDED SOILS SHALL BE INSTALLED TO A DEPTH OF
 - 2.5', 4" x 6" FOR SOIL TURF AND SEEDED GRASS AREAS
 - 12"-18" FOR GROUNDCOVER AND SHRUB AREAS
 - 2.5', 24" x 36" FOR TREE PIT AREAS
- CONTRACTOR TO WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL REPLACE DEFECTIVE WORK OR DEFECTIVE OR DEAD PLANTS, PLANTS DETERMINED TO BE DEFECTIVE SHALL BE REMOVED IMMEDIATELY UPON NOTIFICATION BY THE OWNER'S REPRESENTATIVE AND REPLACED WITHOUT COST TO THE OWNER AS SOON AS WEATHER CONDITIONS PERMIT AND WITHIN THE SPECIFIED PLANTING PERIOD. THE REPLACED MATERIALS SHALL ALSO RECEIVE A WARRANTY PERIOD OF ONE YEAR WHICH STARTS AT THE DATE OF INSTALLATION. BULBS, ANNUAL FLOWERS, AND SEASONAL COLOR PLANTS SHALL ONLY BE WARRANTED FOR THE PERIOD OF THE EXPECTED BLOOM OR PRIMARY DISPLAY. THE OWNER'S REPRESENTATIVE SHALL MAKE THE FINAL DETERMINATION IF PLANTS MEET THE REQUIRED SPECIFICATIONS OR ARE DEEMED TO BE DEFECTIVE.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	COND	HT	SPR	REMARKS
CANOPY TREES									
	CI	2	Carya illinoensis	Pecan	3' cal	B&B	14' ht	6' spr	Full, Straight, Single Trunk
	DI	7	Quercus laevis	Lacey Oak	3' cal	B&B	12' ht	4' spr	Full, Straight, Single Trunk
	DIH	12	Quercus muhlenbergii	Chinkapin Oak	3' cal	B&B	12' ht	5' spr	Full, Straight, Single Trunk
ORNAMENTAL TREES									
	IV	2	Ilex vomitoria	Faupon Holly	2' cal	B&B	10' ht	4' spr	Full, Multi-Trunk
SHRUBS									
	YUC REC	67	Yucca recurvifolia	Soft Leaf Yucca	3 gal	CONT	24" ht	-	Full, Matching, 24" o.c. spacing
GRASSES									
	BOU GRA	59	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	3 gal	CONT	12" ht	-	Full, Matching, 24" o.c. spacing
	PAN VIR	24	Panicum virgatum	Switch Grass	3 gal	CONT	24" ht	-	-
	SCH	38	Shizachyium scoparium	Little Bluestem Grass	3 gal	CONT	12" ht	-	Full, Matching, 24" o.c. spacing
PERENNIALS									
	ECH PUR	55	Echinacea purpurea	Coneflower	3 gal	CONT	16" ht	-	-
	RUB HR	31	Rudbeckia hirta	Black-eyed Susan	3 gal	CONT	16" ht	-	-
SEED									
	SEED	121.364 sf	Cynodon dactylon	Common Bermuda Grass	-	-	-	-	Diff seed, Ref. Planting Specs
SOD									
	SOD	52.954 sf	Cynodon dactylon	Common Bermuda Grass	-	-	-	-	Soft Sod, light sand fill pads, 100% weed, disease and pest free
MISCELLANEOUS									
	SE	TBD		Steel Edging	-	-	-	-	6" x 6" Depth
	MULCH	TBD		Shredded Hardwood Mulch	-	-	-	-	Min. 3" Depth. Trees To Receive Min. 4" Dis. Ring
	SOD	TBD		Decomposed Granite	-	-	-	-	4" Depth, Natural Color, Ref. Detail

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

SHERMAN LANDSCAPE REQUIREMENTS

REQUIRED	PROVIDED
NON-RESIDENTIAL TREE & LANDSCAPING REQUIREMENTS (SECTION 14.04.006(D)):	
- MIN. 10% OF PARKING AREAS AND DRIVES SHALL BE LANDSCAPED.	
279,575 SF X 10% = 27,957.5 SF PARKING AREA LANDSCAPE	27,958 SF 31,200 SF
127,957.5 SF X 40% = 11,183 SF REQUIRED IN ISLANDS	11,183 SF 11,200 SF
- MIN, ONE (1) SHADE TREE SHALL BE PLANTED IN ALL REQUIRED LANDSCAPE ISLANDS	19 TREES 19 TREES
- NO PARKING STALL SHALL BE MORE THAN 50 FEET FROM THE CENTER POINT OF ANY CITY-APPROVED PARKING LOT TREE	YES YES
- ALL LANDSCAPED AREAS SHALL BE PROTECTED WITH A TWO (2) FOOT WIDE NON-VEGETATIVE PERVIOUS SURFACE AREA ADJACENT TO THE BACK OF THE CURB ADJACENT TO ALL PARKING SPACES. THIS AREA MAY INCLUDE MULCH, CRUSHED GRANITE, RIVER ROCK, OR SIMILAR MATERIAL.	YES YES
- LANDSCAPED ISLANDS LOCATED INTERIOR TO THE PARKING LOT MUST INCLUDE SIX (6) INCH CURBS AND GUTTERS TO PROVIDE PROTECTION OF LANDSCAPE AREAS AND MITIGATE SOIL EROSION INTO PAVED PARKING AREAS.	YES YES
- STREET PERIMETER BUFFER SHALL PROVIDE TWO (2) SHADE AND TWO (2) ORNAMENTAL TREES PER 1,000 SF	2 TREES 2 TREES
1,754 SF / 1,000 SF = 1,754 SHADE TREES	2 TREES 2 TREES
1,754SF / 1,000 SF = 1,754 SHADE TREES	2 TREES 2 TREES

BY	DATE	DESCRIPTION	REV	MS

THESE PLANS ARE INTENDED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION WHEN ISSUED IN FINAL FORM THEY SHALL BE SEALED, SIGNED AND DATED.

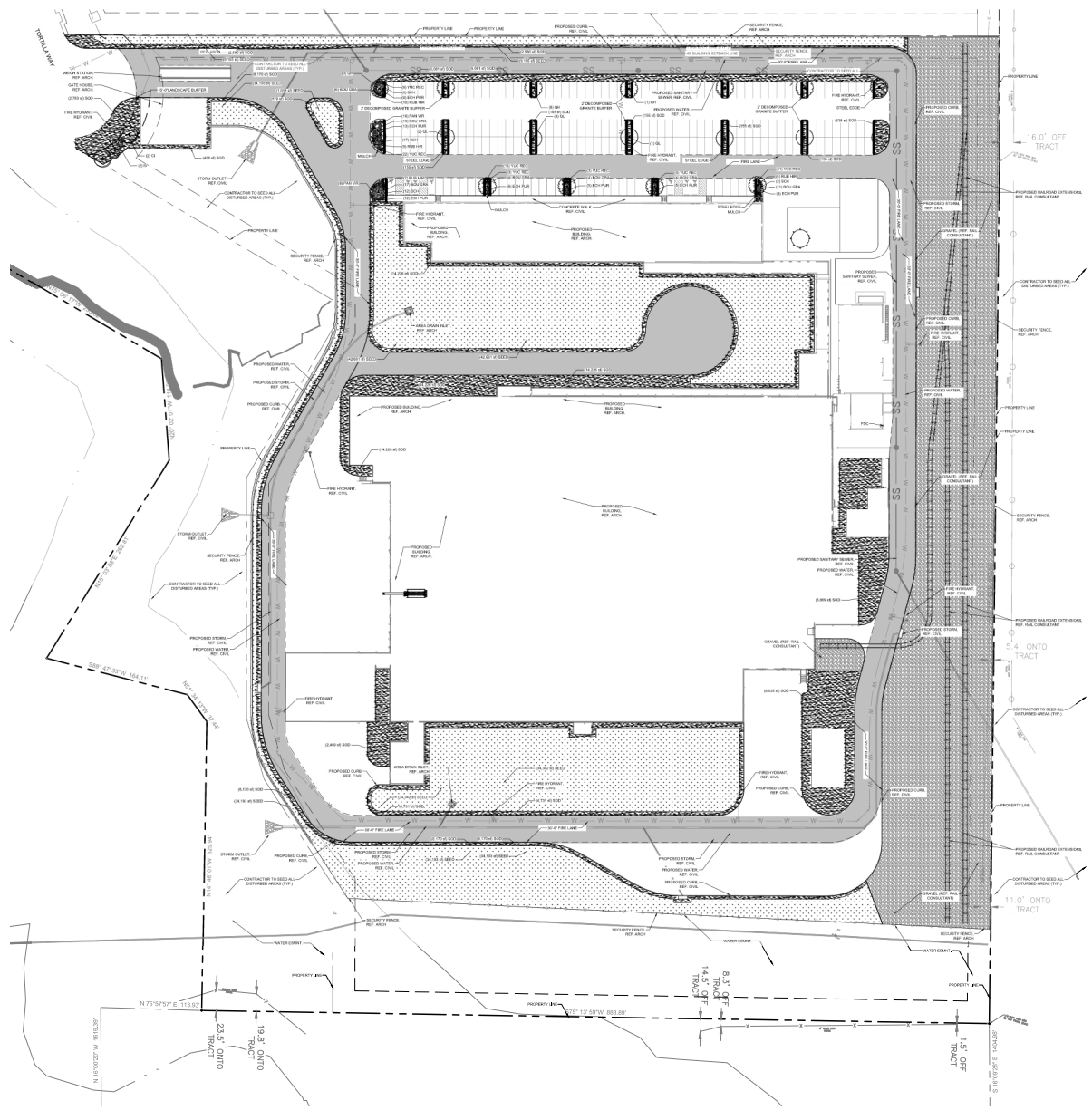
RESPONSIBLE LANDSCAPE ARCHITECT: MICHAEL L. STOTTIER, P.L.A. AIA TEXAS REGISTERED ENGINEERING ARCHITECT No. 23169 SEPTEMBER 08, 2005

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 TXBE Registration No. F-17616
 Jean Pallo Viejo, P.E. P.E.O. 305-875-1451
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GENERAL NOTES & SCHEDULE

EASY FOODS
 CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

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PLANT SCHEDULE		
SYMBOL	CODE	COMMON NAME
CANOPY TREES		
	QH	Chinkapin Oak
	QL	Lacey Oak
	CI	Pecan
ORNAMENTAL TREES		
	IV	Yaupon Holly
SHRUBS		
	YUC REC	Soft Leaf Yucca
GRASSES		
	BOU GRA	Boudle Ambition Blue Grama
	SCH	Little Bluestem Grass
	PAN VIR	Switch Grass
PERENNIALS		
	RUB HR	Black-eyed Susan
	ECH PUR	Coneflower
SEED		
	SEED	Common Bermuda Grass
SOD		
	SOD	Common Bermuda Grass
MISCELLANEOUS		
	SE	Steel Edging
	MULCH	Shredded Hardwood Mulch
	DG	Decomposed Granite

SHERMAN LANDSCAPE REQUIREMENTS

- NON-RESIDENTIAL TREE & LANDSCAPING REQUIREMENTS (SECTION 14.04.006(a)):**
 - MIN. 10% OF PARKING AREAS AND DRIVES SHALL BE LANDSCAPED.
 - 279,975 SF X 10% = 27,997.5 SF PARKING AREA LANDSCAPE
 - 127,957.5 SF X 40% = 11,183 SF REQUIRED IN ISLANDS
 - MIN. ONE (1) SHADE TREE SHALL BE PLANTED IN ALL REQUIRED LANDSCAPE ISLANDS
 - NO PARKING STALL SHALL BE MORE THAN 50 FEET FROM THE CENTER POINT OF ANY CITY-APPROVED PARKING LOT TREE
 - ALL LANDSCAPED AREAS SHALL BE PROTECTED WITH A TWO (2) FOOT WIDE NON-VEGETATIVE PERVIOUS SURFACE AREA ADJACENT TO THE BACK OF THE CURB ADJACENT TO ALL PARKING SPACES. THIS AREA MAY INCLUDE MULCH, CRUSHED GRANITE, RIVER ROCK, OR SIMILAR MATERIAL.
 - LANDSCAPED ISLANDS LOCATED INTERIOR TO THE PARKING LOT MUST INCLUDE SIX (6) INCH CURBS AND GUTTERS TO PROVIDE PROTECTION OF LANDSCAPE AREAS AND MITIGATE SOIL EROSION INTO PAVED PARKING AREAS.
 - STREET PERIMETER BUFFER SHALL PROVIDE TWO (2) SHADE AND TWO (2) ORNAMENTAL TREES PER 1,000 SF
 - 1,754 SF / 1,000 SF = 1.754 SHADE TREES
 - 1,754SF / 1,000 SF = 1.754 SHADE TREES

	REQUIRED	PROVIDED
279,975 SF X 10% = 27,997.5 SF PARKING AREA LANDSCAPE	27,998 SF	31,200 SF
127,957.5 SF X 40% = 11,183 SF REQUIRED IN ISLANDS	11,183 SF	11,200 SF
MIN. ONE (1) SHADE TREE SHALL BE PLANTED IN ALL REQUIRED LANDSCAPE ISLANDS	19 TREES	19 TREES
NO PARKING STALL SHALL BE MORE THAN 50 FEET FROM THE CENTER POINT OF ANY CITY-APPROVED PARKING LOT TREE	YES	YES
ALL LANDSCAPED AREAS SHALL BE PROTECTED WITH A TWO (2) FOOT WIDE NON-VEGETATIVE PERVIOUS SURFACE AREA ADJACENT TO THE BACK OF THE CURB ADJACENT TO ALL PARKING SPACES. THIS AREA MAY INCLUDE MULCH, CRUSHED GRANITE, RIVER ROCK, OR SIMILAR MATERIAL.	YES	YES
LANDSCAPED ISLANDS LOCATED INTERIOR TO THE PARKING LOT MUST INCLUDE SIX (6) INCH CURBS AND GUTTERS TO PROVIDE PROTECTION OF LANDSCAPE AREAS AND MITIGATE SOIL EROSION INTO PAVED PARKING AREAS.	YES	YES
STREET PERIMETER BUFFER SHALL PROVIDE TWO (2) SHADE AND TWO (2) ORNAMENTAL TREES PER 1,000 SF	2 TREES	2 TREES
1,754 SF / 1,000 SF = 1.754 SHADE TREES	2 TREES	2 TREES



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 Tel: 972-464-4800 • www.bceinc.com
 TBP# Registration No. F-1046

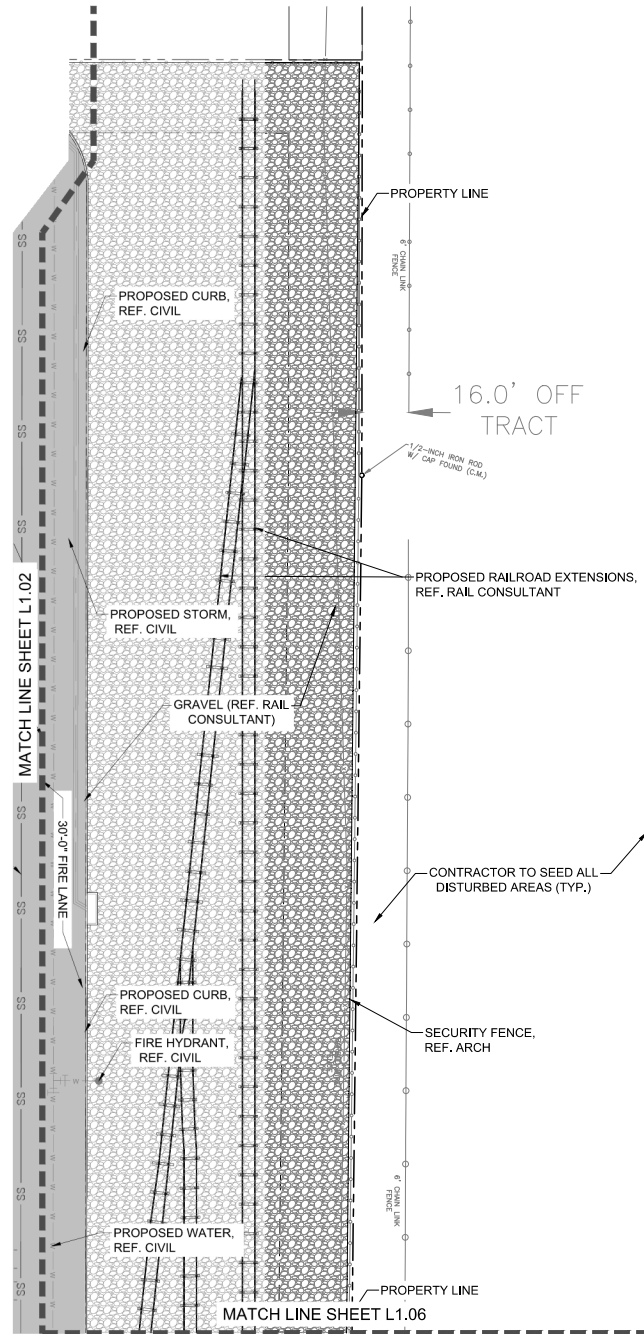
Jean Pablo Viquez
 Viquez 305-875-1451
 1985 Avenue A, Ft. 34798

OVERALL PLAN
EASY FOODS
 CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

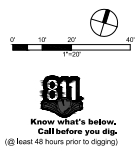
OVERALL PLAN
L1.00

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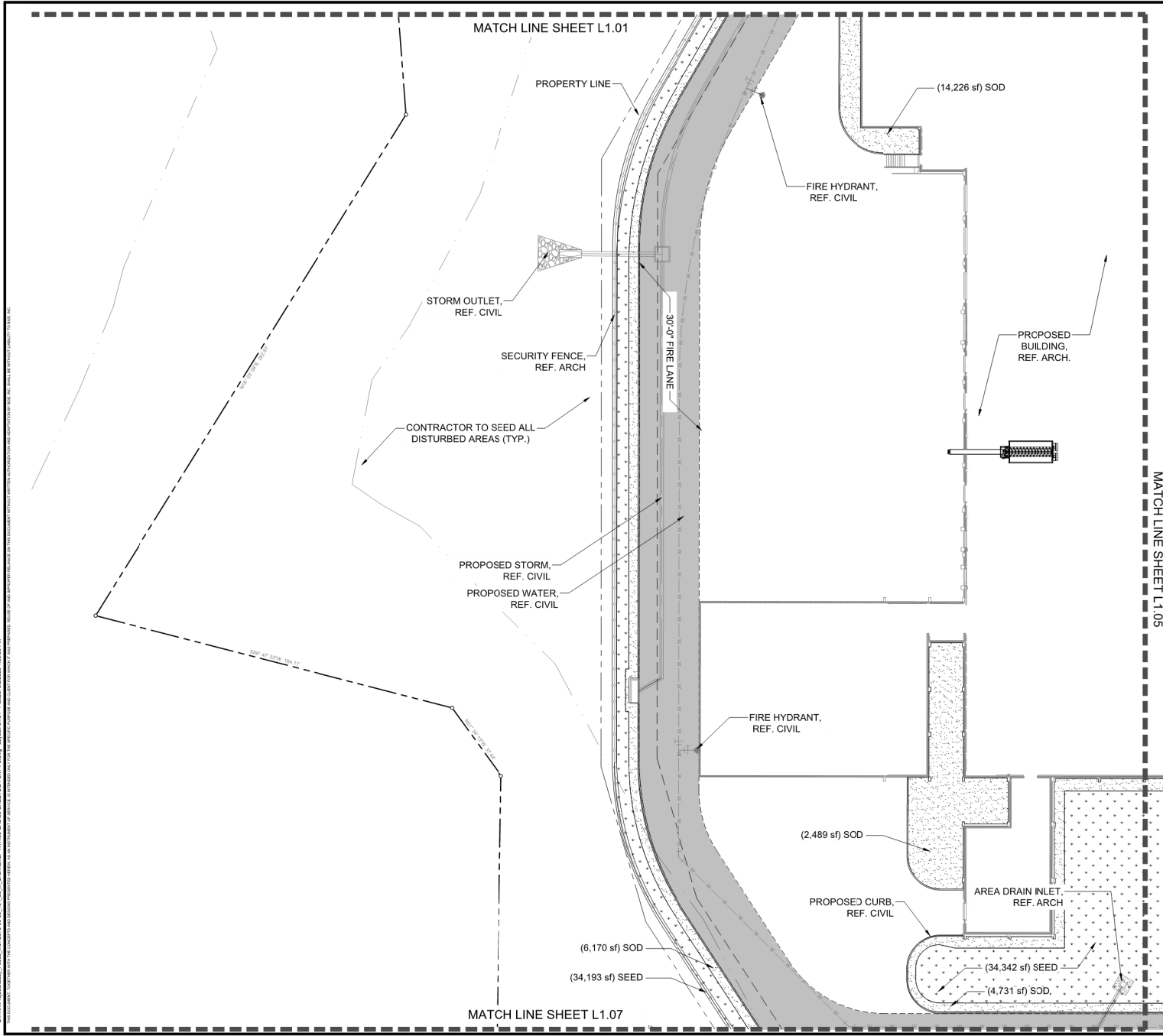


PLANT SCHEDULE		
SYMBOL	CODE	COMMON NAME
CANOPY TREES		
	OH	Chinquapin Oak
	OL	Lacey Oak
	CI	Pecan
ORNAMENTAL TREES		
	IV	Yaupon Holly
SHRUBS		
	YUC REC	Soft Leaf Yucca
GRASSES		
	BOU GRA	Blonde Ambition Blue Grama
	SCH	Little Bluestem Grass
	PAN VIR	Switch Grass
PERENNIALS		
	RUB HR	Black-eyed Susan
	ECH PUR	Coneflower
SEED		
	SEED	Common Bermuda Grass
SOD		
	SOD	Common Bermuda Grass
MISCELLANEOUS		
	SE	Steel Edging
	MULCH	Shredded Hardwood Mulch
	DG	Decomposed Granite



<p> BCE Inc. 2595 Dallas Parkway, Suite 101 Frisco, TX 75034 Tel: 972-464-4800 • www.bceinc.com TBP# Registration No. F-1046 </p>		<p> RESPONSIBLE LANDSCAPE ARCHITECT: BGE Inc. TEXAS REGISTERED ENGINEERING 1514 Fossil MICHAEL L. STOTTLER, P.L.A. ASLA TEXAS REGISTERED NO. 2113 8 SEPTEMBER 10, 2015 </p>
<p> LANDSCAPE PLAN EASY FOODS CITY OF SHERMAN, GRAYSON COUNTY, TEXAS </p>	<p> LANDSCAPE PLAN L1.03 </p>	<p> Jean Pablo Viquez 305-875-1451 1965 Avenue A, Ft. 34798 </p>
<p> THESE PLANS ARE ISSUED FOR THE PURPOSES OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED. </p>	<p> BGE JOB NO. 12072400 SUBMITTAL DATE: 06/02/2025 DESIGNED BY: MTH DRAWN BY: MTH CHECKED BY: MS </p>	<p> REVISIONS NO. DESCRIPTION BY DATE </p>

C:\Users\jerry_barry\Public\140275\25-03-046 - 03 - Sherman\14-0119-COUNTY-SHERIFFS-PARK-2.dwg Layout: L1.07 Plotted: 10/25/25 1:35:29 PM



PLANT SCHEDULE		
SYMBOL	CODE	COMMON NAME
CANOPY TREES		
	QH	Chinkapin Oak
	QL	Lacey Oak
	CI	Pecan
ORNAMENTAL TREES		
	YV	Yaupon Holly
SHRUBS		
	YUC REC	Soft Leaf Yucca
GRASSES		
	BOU GRA	Blonde Ambition Blue Grama
	SCH	Little Bluestem Grass
	PAN VIR	Switch Grass
PERENNIALS		
	RUB HIR	Black-eyed Susan
	ECH PUR	Coneflower
SEED		
	SEED	Common Bermuda Grass
SOD		
	SOD	Common Bermuda Grass
MISCELLANEOUS		
	SE	Steel Edging
	MULCH	Shredded Hardwood Mulch
	DG	Decomposed Granite



NO.	REV	DESCRIPTION	BY	DATE

BICE JOB NO. 12073-00
 SUBMITTAL DATE 10/02/2025
 DESIGNED BY MTH
 DRAWN BY MTH
 CHECKED BY MS

THESE PLANS ARE ISSUED FOR THE PURPOSES OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
 BICE INC.
 TEXAS REGISTERED ENGINEERING FIRM # 1036
 MICHAEL L. STOTTIER, P.L.A. ASLA
 TEXAS REGISTRATION NO. 3393
 SEPTEMBER 03, 2015

BICE Inc.
 2595 Dallas Parkway, Suite 101
 Frisco, TX 75034
 Tel: 972-464-4800 • www.biceinc.com
 TBPE Registration No. F-1046

Jason Pablo Viqueo
 V.005-875-1451
 1985 Avenue A, Ft. 34798

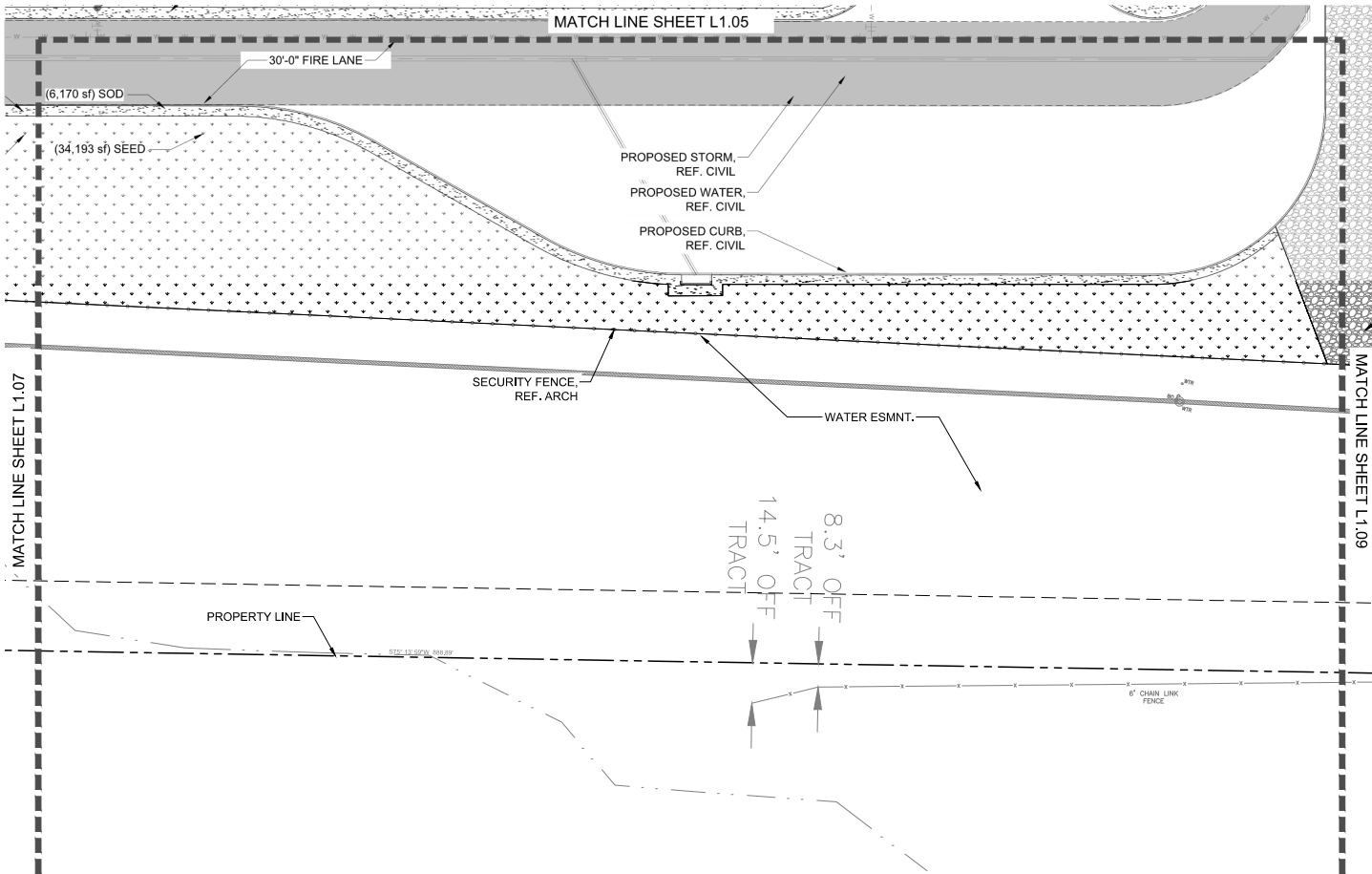
LANDSCAPE PLAN

EASY FOODS

CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

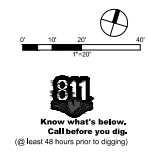
LANDSCAPE PLAN
L1.04

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PLANT SCHEDULE

SYMBOL	CODE	COMMON NAME
CANOPY TREES		
	OH	Chinquapin Oak
	OL	Lacey Oak
	CI	Pecan
ORNAMENTAL TREES		
	IY	Yaupon Holly
SHRUBS		
	YUC REC	Soft Leaf Yucca
GRASSES		
	BOU GRA	Blonde Ambition Blue Grama
	SCH	Little Bluestem Grass
	PAN VIR	Switch Grass
PERENNIALS		
	RUB HIR	Black-eyed Susan
	ECH PUR	Coneflower
SEED		
	SEED	Common Bermuda Grass
SOD		
	SOD	Common Bermuda Grass
MISCELLANEOUS		
	SE	Steel Edging
	MULCH	Shredded Hardwood Mulch
	DG	Decomposed Granite



	REV	DESCRIPTION	BY	DATE

BCE JOB NO.	12072400
SUBMITTAL DATE	08/02/2025
DESIGNED BY	MTM
DRAWN BY	MTM
CHECKED BY	MS

THESE PLANS ARE ISSUED FOR THE PURPOSES OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE LANDSCAPE ARCHITECT:
 BCE INC.
 TEXAS REGISTERED ENGINEERING
 1814 FOSTER
 MICHAEL L. STOTTEN, P.L.A. A.S.L.A.
 TEXAS REGISTRATION NO. 2713
 SEPTEMBER 02, 2005

BCE Inc.
 2595 Dallas Parkway, Suite 101
 Frisco, TX 75034
 Tel: 972-464-4800 • www.bceinc.com
 TBE Registration No. F-1046

Juan Pablo Vilco
 305-875-1451
 1965 Avenue A, Ft. 34798

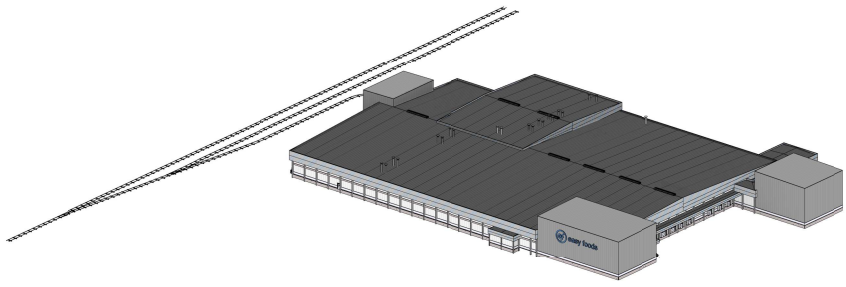
LANDSCAPE PLAN

EASY FOODS

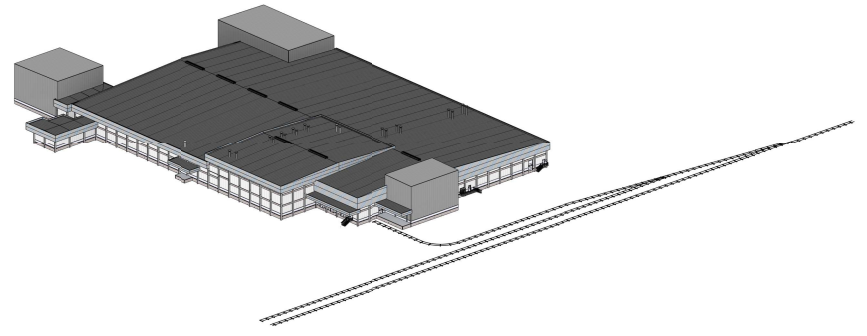
CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

LANDSCAPE PLAN

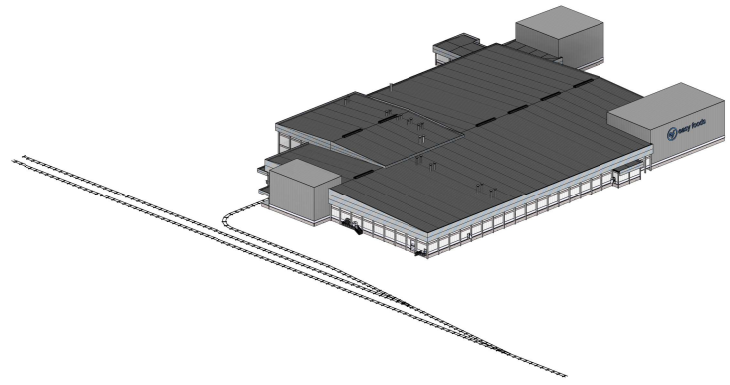
L1.08




PERSPECTIVA 01
 Escala




PERSPECTIVA 02
 Escala




PERSPECTIVA 03
 Escala

REVISION CONTROL			
DATE	RESPONS.	REV.	DESCRIPTION
	Exper Consult	1	Creation and Approval of Project
	Exper Consult	2	Finaly Modeling
	Exper Consult	3	Change Modeling
	Exper Consult	4	Change in Room Temperature

EASY FOODS SHERMAN
 CITY: SHERMAN, STATE: TEXAS, COUNTRY: USA
 TORTILLA INDUSTRY

SCALE:	DATE:	APRIL / 2024	TITLE:
DISCIPLINA:	3D Perspectives	BOUDO:	11
DISCIPLINA:	CONCEPTUAL	DESCRIPTION:	3D PERSPECTIVES

OWNER: _____
 TECHNICAL RESPONSIBLE: _____



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 10.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

408 SOUTH RUSK STREET (Project No. 000078-2025) TABLED FROM JULY 22,2025

The request of Armando Chavez & Laura Cordova (Owner), Javier Gonzalez (Applicant) and Underwood Drafting & Surveying (Surveyor) concerning the property located at 408 South Rusk Street, consisting of 0.147 acres, being part of Lot 1, Block 1, Mcbrides's Addition, currently zoned MF-30 (Multi Family Residential) District, as follows:

Board of Adjustment

1. Public Hearing and Variance under Section 14.02.006 to allow a 87' lot depth in lieu of the required 100'.
2. Public Hearing and Variance to allow 11.6' front setback in lieu of the required 25'.

Planning and Zoning Commission

Public Hearing and Zone Change from an MF-30 (Multi Family Residential) District to an R-6 (Single-Family Residential) District.

Background:

The property is located at 408 South Rusk Street. The owner is requesting a Variance to allow a 87' lot depth in lieu of the required 100', and to allow 11.6' front setback in lieu of the required 25'. The owner is also requesting a Zone Change from an MF-30 (Multifamily Residential) District to an R-6 (Single-Family Residential) District.

The applicant is requesting to have the lot rezoned to R-6 in order to plat the property correctly and construct a home addition. They want to remodel the existing house and add a small laundry room to improve its functionality and livability.

The following has been approved for this location:

- 05/16/25 - Preliminary Plat of Chavez-Cordova (Conditionally Approved)

Origination:

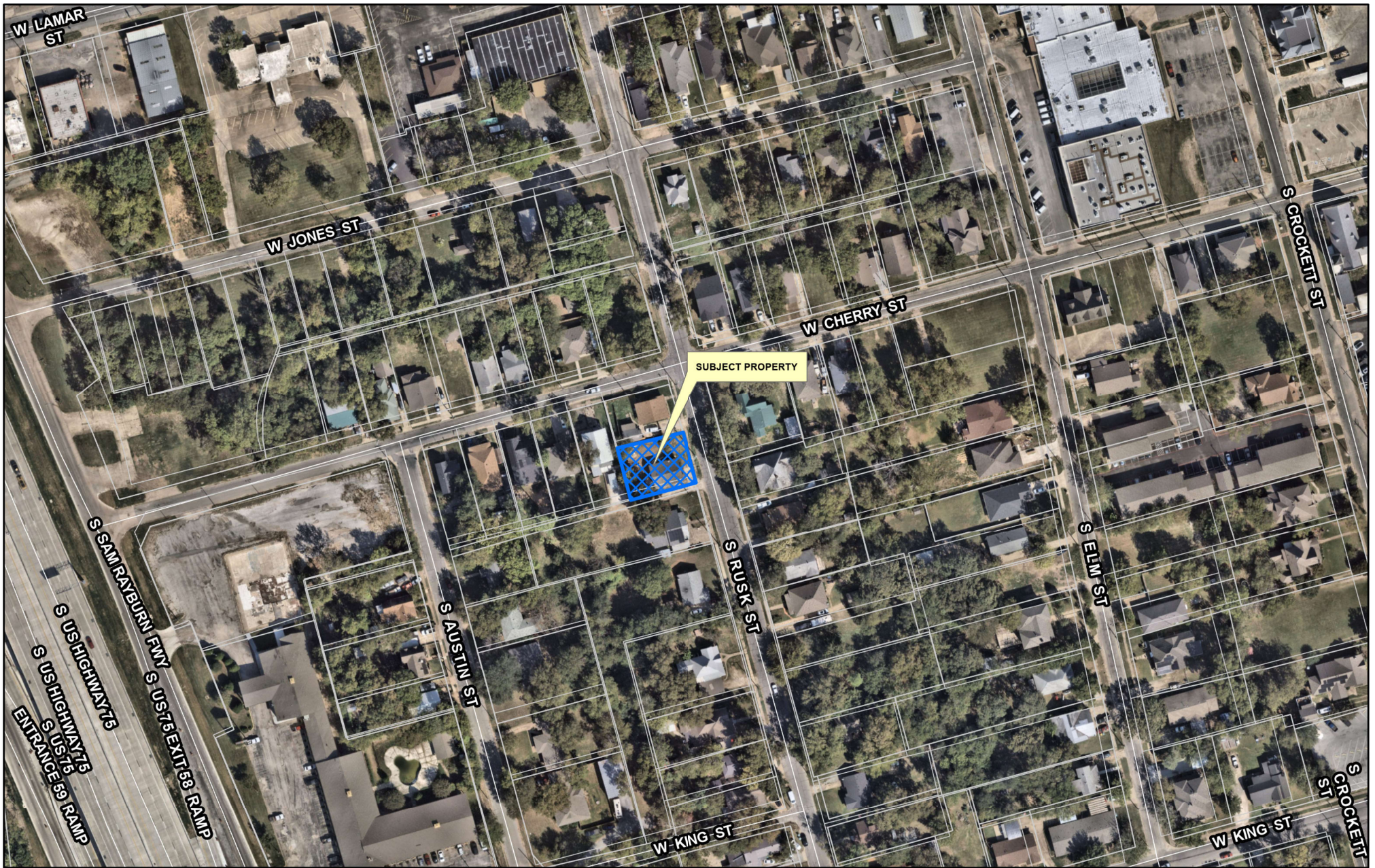
Armando Chavez & Laura Cordova (Owner), Javier Gonzalez (Applicant) and Underwood Drafting & Surveying (Surveyor)

Staff Recommendation:

Staff has no objection to the approval of the variance and zone change.

Attachments:

1. Location Map
2. Zoning Map
3. Future Land Use Map
4. Survey
5. Narrative
6. Site Plan
7. Landscape Plan
8. Resident Letter

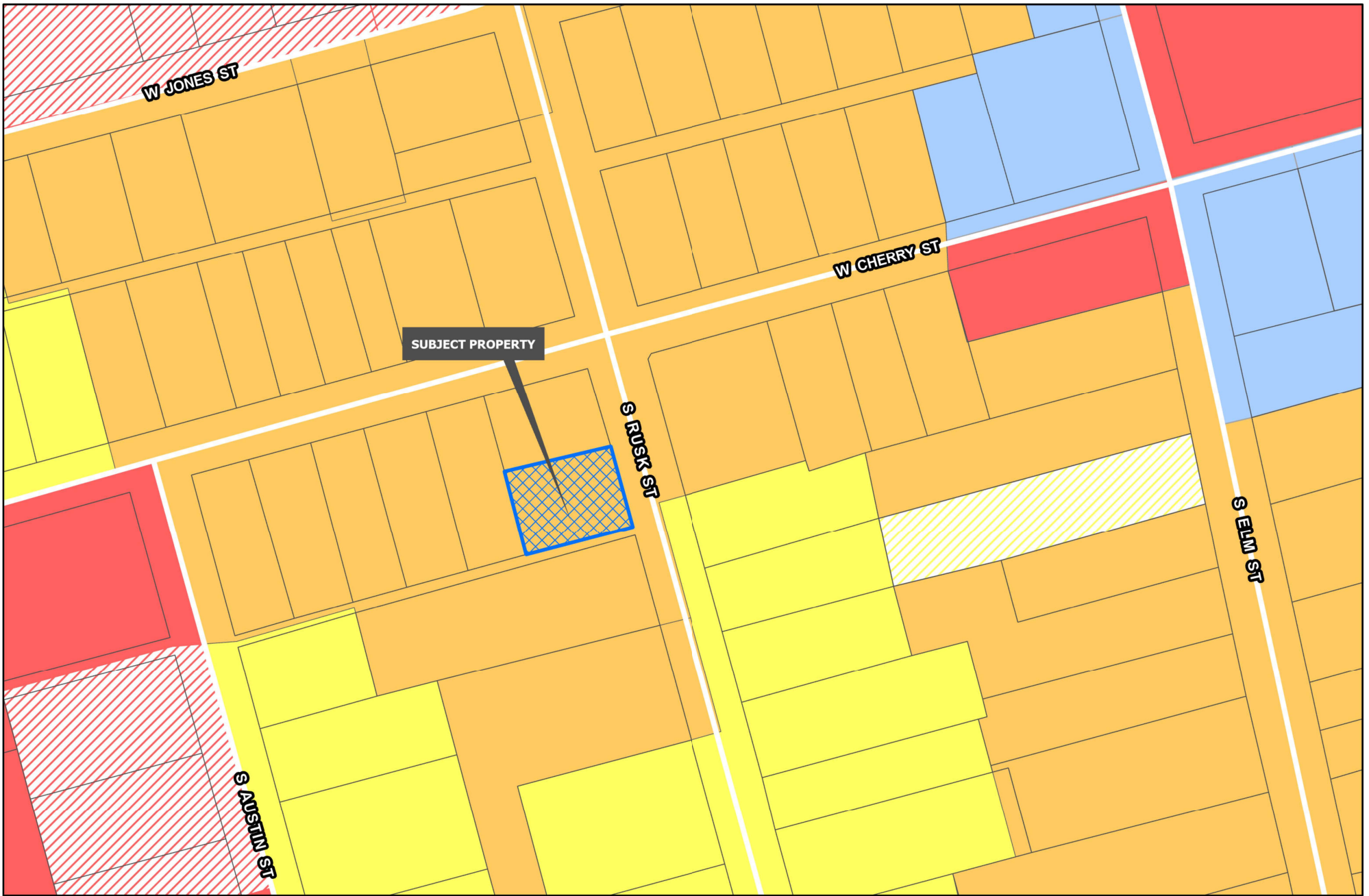


City of Sherman, Texas
Development Services Department

CITY OF SHERMAN
LOCATION MAP
408 S RUSK ST



Date: 7/9/2025 8:28 AM



Development Services
Department

 Planning & Zoning

 R-A Residential Agricultural


 R-E Estate Residential


 R-12 Single Family Residential

 R-6 Single Family Residential

 R-5 Single Family Residential

 R-4 Patio Home Residential

 R-2F Duplex Residential


 R-TH Townhome Residential

 MF-15 Multi-Family Residential


 MF-30 Multi-Family Residential

 MH Manufactured Housing


 C-N Neighborhood Commercial


 C-O Office

 C-1 Retail Business

 C-2 General Commercial

 M-1 Light Manufacturing

 M-1.5 Medium Manufacturing

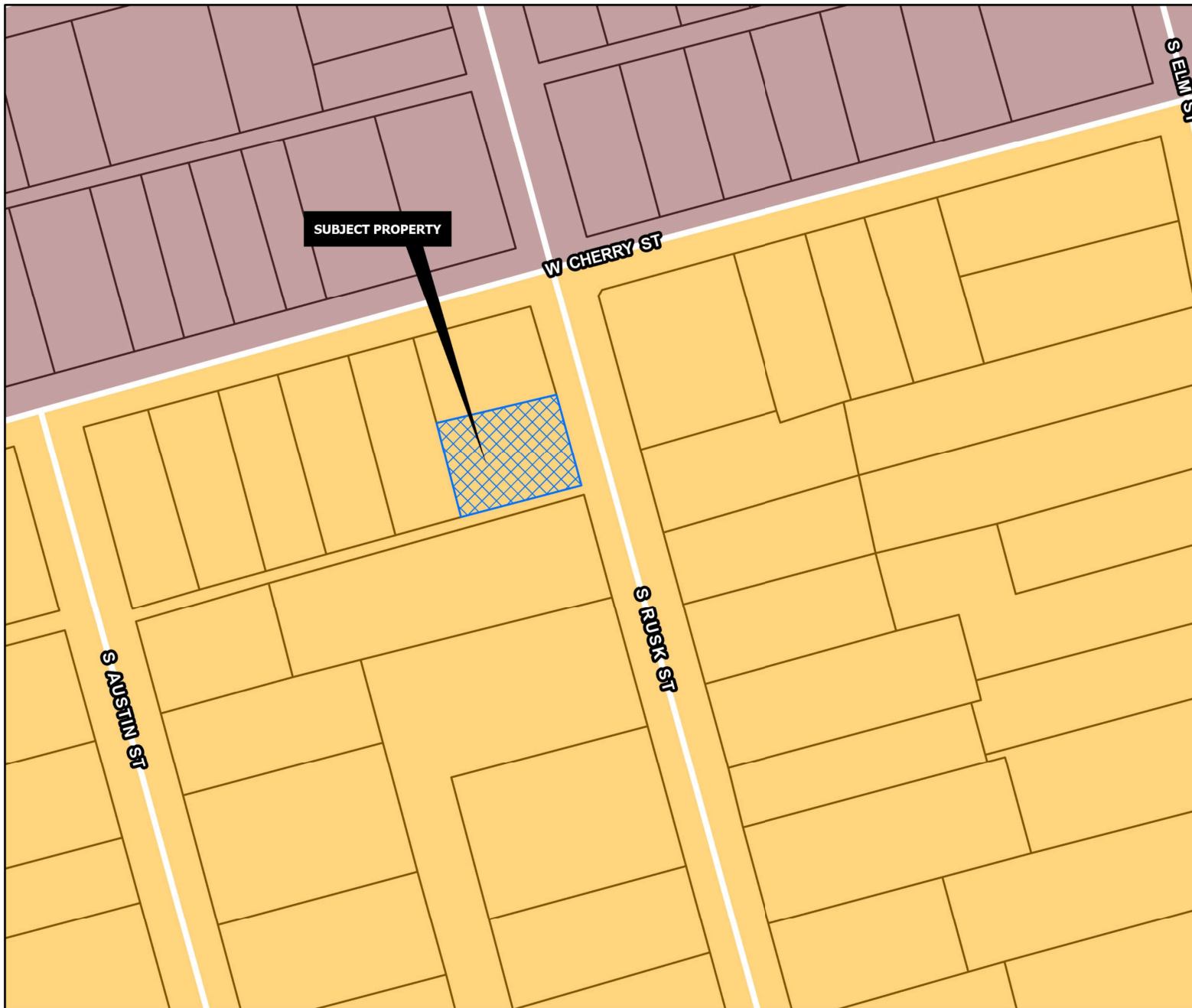
 M-2 Heavy Manufacturing

 PD Planned Development

CITY OF SHERMAN
ZONING MAP
408 S RUSK ST



Date: 7/9/2025 8:28 AM



CORE NEIGHBORHOOD

Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

Appropriate Land Use Types

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



Development Services
Department



CITY OF SHERMAN
FUTURE LAND USE MAP
408 S RUSK ST



Date: 7/9/2025 8:28 AM

~ GENERAL NOTES ~

- Water Supply to be provided by the City of Sherman.
- Sewer Service to be provided by the City of Sherman.
- Electrical service is provided by Oncor Electrical Delivery.
- Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
- Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
- The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or drainage easements for the control of erosion.
- Neither the City of Sherman nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
- The owners and builders must comply with all other local, state and federal regulations regarding developments of this type.
- Bearings are based on the City of Sherman Control Monument Network.
- The City of Sherman reserves the right to require submission of Development Plat based on proposed use of each lot.
- The subject property does not lie within a Federal Emergency Management Agency (FEMA) designated flood plain as shown by Firm Map No. 48181C290G, effective date September 1, 2022.

LEGEND

P.O.B. POINT OF BEGINNING
● 1/2" STEEL ROD SET
○ 1/2" STEEL ROD FOUND
○ 3/8" STEEL ROD FOUND
D.P.A.G.C.T. OFFICIAL PUBLIC RECORDS, GRAYSON COUNTY, TEXAS
R.P.R.C.C.T. REAL PROPERTY RECORDS, GRAYSON COUNTY, TEXAS
D.P.A.G.C.T. GRAYSON COUNTY, TEXAS
--- BOUNDARY LINE
--- PROPERTY LINE
--- EASEMENT LINE

LEGAL DESCRIPTION

Situated in the County of Grayson, State of Texas, being a part Lot 1, Block 1, of the McBride's Addition, an addition to the City of Sherman, Texas, as shown by plat of record in Volume 125, Page 53, Deed Records, Grayson County, Texas, and being a retracement survey of that 69-1/2' x 92' tract of land conveyed to Armando Chavez and Laura Alejandra Cordova as recorded in Document Number 2021-19591, Official Public Records, Grayson County, Texas and being described by metes and bounds as follows:

Beginning at a P/K nail found for the southeast corner of said 69-1/2' x 92' Tract, said point also being the southeast corner of said Lot 1, Block 1;

Thence South 74°48'13" West, with the southerly line of said 69-1/2' x 92' Tract, and with the northerly line of a 10 foot alley, a distance of 92.00 feet to a 1/2" steel rod found for the southwest corner of said 69-1/2' x 92' Tract, common to the southeast corner of that tract of land described in the deed to Bill Dixon and Shirley Dixon, recorded in Volume 3389, Page 604, said Official Public Records;

Thence North 15°11'26" West, with the westerly line of said 69-1/2' x 92' Tract, and with the easterly line of said Dixon Tract, a distance of 69.50 feet to a 1/2" steel rod found for the northwest corner of said 69-1/2' x 92' Tract;

Thence North 74°48'13" East, with the northerly line of said 69-1/2' x 92' Tract, a distance of 92.00 feet to a 1/2" steel rod set for the northeast corner of said 69-1/2' x 92' Tract, said point being in the West Right-of-Way line of Rusk Street;

Thence South 15°11'24" East, with the easterly line of said 69-1/2' x 92' Tract, and with the westerly Right-of-Way line of said Rusk Street, a distance of 69.50 feet to the Point-of-Beginning and containing 0.147 acres of land, more or less.

OWNER'S CERTIFICATE OF DEDICATION

THAT ARMANDO CHAVEZ AND LAURA ALEJANDRA CORDOVA, acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as CHAVEZ-CORDOVA ADDITION, an addition to the City of Sherman, Grayson County, Texas, being 0.147 acres situated in and being a portion of the SAMUEL BLAGG Survey, Abstract No. 56, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat for the mutual use and accommodation of all public and private utilities desiring to use or using same. Any public or private utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective systems on any of these easements strips and any public or private utility shall, at all times, have a right of ingress and egress to and from and upon these easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the permission of anyone. This plat approved subject to all ordinances, rules regulations and resolutions of the City of Sherman, Texas.

WITNESS, my hand at Grayson County, Texas, this ___ day of _____, 2025.

ARMANDO CHAVEZ
LAURA ALEJANDRA CORDOVA

STATE OF TEXAS
COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared, ARMANDO CHAVEZ known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ___ day of _____, 2025.

Notary Public in and for the State of Texas
Commission Expires: _____

STATE OF TEXAS
COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared, LAURA ALEJANDRA CORDOVA known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ___ day of _____, 2025.

Notary Public in and for the State of Texas
Commission Expires: _____

AVIGATION RELEASE

THE STATE OF TEXAS
COUNTY OF GRAYSON

WHEREAS, ARMANDO CHAVEZ AND LAURA ALEJANDRA CORDOVA, hereinafter called OWNER (whether one or more), is the owner of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described as CHAVEZ-CORDOVA ADDITION, an addition to the City of Sherman, Grayson County, Texas.

OWNER does hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a municipal corporation, hereinafter called CITY, and Sherman Municipal Airport, hereinafter called AIRPORT, from any and all claims for damages of any kind that OWNER may now have or may hereinafter have in the future by reason of the passage of all aircraft (aircraft being defined for the purpose of this instrument as any contrivance now known or hereinafter invented, used or designed or navigation of or flight in the air) by whomsoever owned and operated, in the airspace above OWNER'S property. Such release shall include, but not be limited to, any damages to the OWNER'S described property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at or taking off from or operating at or on the Sherman Municipal Airport, whether such claim be for injury or death to person or persons damages to or taking off of property; and OWNER does hereby fully remise and release any right or cause of action which it may now have or which it may in the future have against the CITY or AIRPORT, whether such claims be for injury or death to persons or damage to property due to noise, vibration, fumes, dust, fuel and lubricant particles, and all the other effects that may be caused or may have been caused by the operation and/or maintenance of aircraft or aircraft engines at or on said Sherman Municipal Airport.

It is agreed that this Release shall be binding upon OWNER, his successors, heirs, executors, administrators and assigns, in interest with regard to said property located at CHAVEZ-CORDOVA ADDITION, an addition to the City of Sherman, Texas, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of Grayson County, Texas.

EXECUTED THIS ___ DAY OF _____, 2025.

BY: ARMANDO CHAVEZ
BY: LAURA ALEJANDRA CORDOVA

ACCEPTANCE

Approved this ___ day of _____, 2025, by the City Planning and Zoning Commission of the City of Sherman, Texas.

Chairman _____ Secretary _____

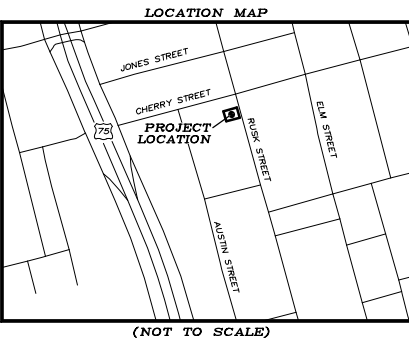
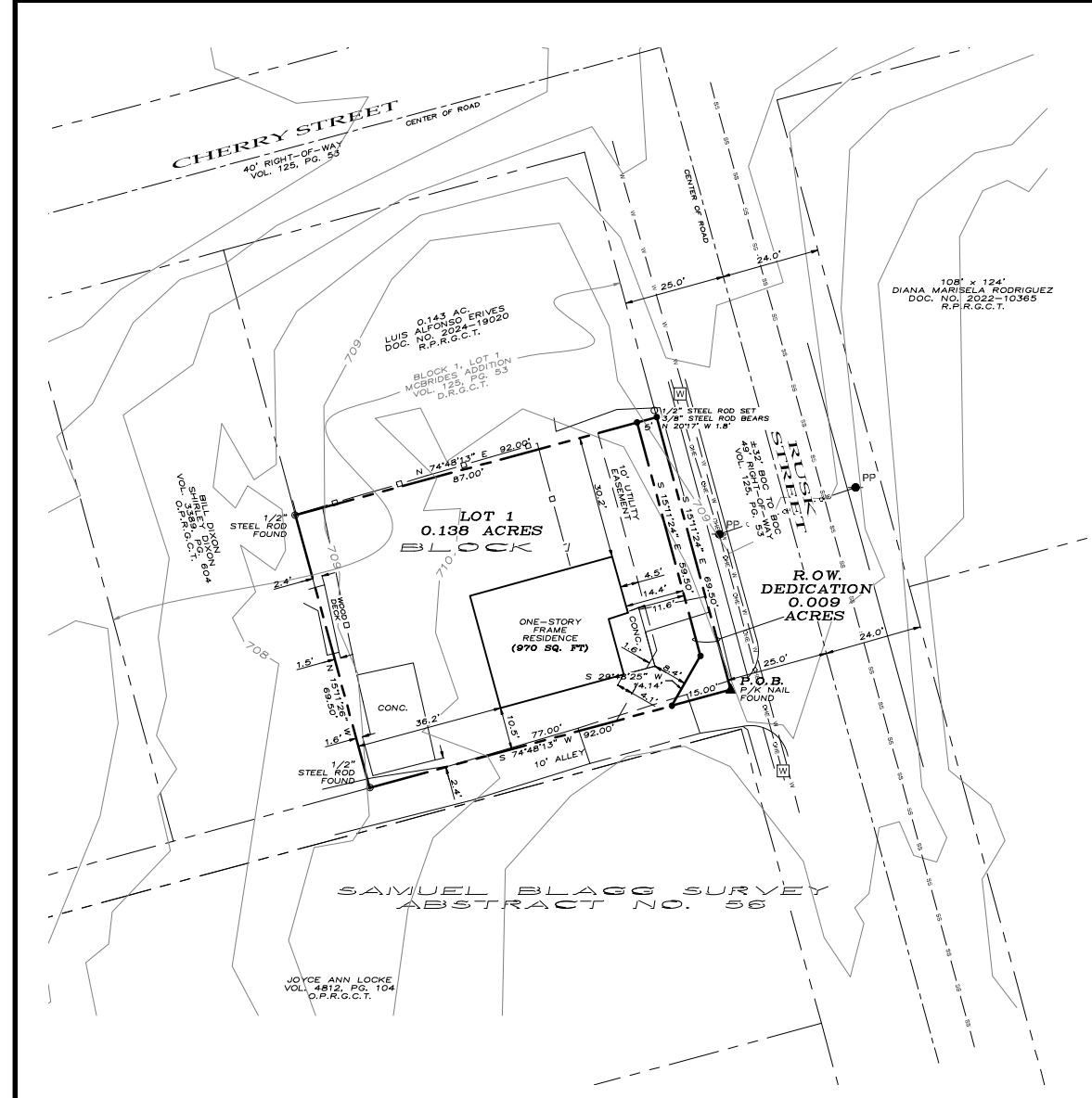
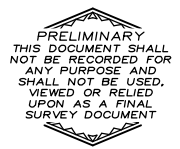
SURVEYOR'S CERTIFICATION

KNOWN ALL MEN BY THESE PRESENTS:

That I, Douglas W. Underwood, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

Douglas W. Underwood
Registered Professional
Land Surveyor, No. 4709

Date _____



Preliminary plat, for inspection purposes only.
In no way official or approved for record purposes.

**PRELIMINARY PLAT
CHAVEZ-CORDOVA
ADDITION**

Being a part of the SAMUEL BLAGG Survey, Abstract Number 56. Being in the City of Sherman, Grayson County, Texas. Containing 0.147 acres of land

04-15-2025

OWNERS/DEVELOPER
ARMANDO CHAVEZ
LAURA ALEJANDRA CORDOVA
222 PUMPING JACK ROAD
SHERMAN, TX 75092

SURVEYOR
DOUGLAS W. UNDERWOOD
R.P.L.S. NO. 4709
3404 INTERURBAN ROAD
DENISON, TEXAS



Armando Chavez
222 Pumping Jack Rd
Sherman, TX 75092
(903)-818-8573

To whom this may concern,

I am writing to formally express our intentions regarding the property located at 408 S Rusk St Sherman, Tx 75090. PID-163603

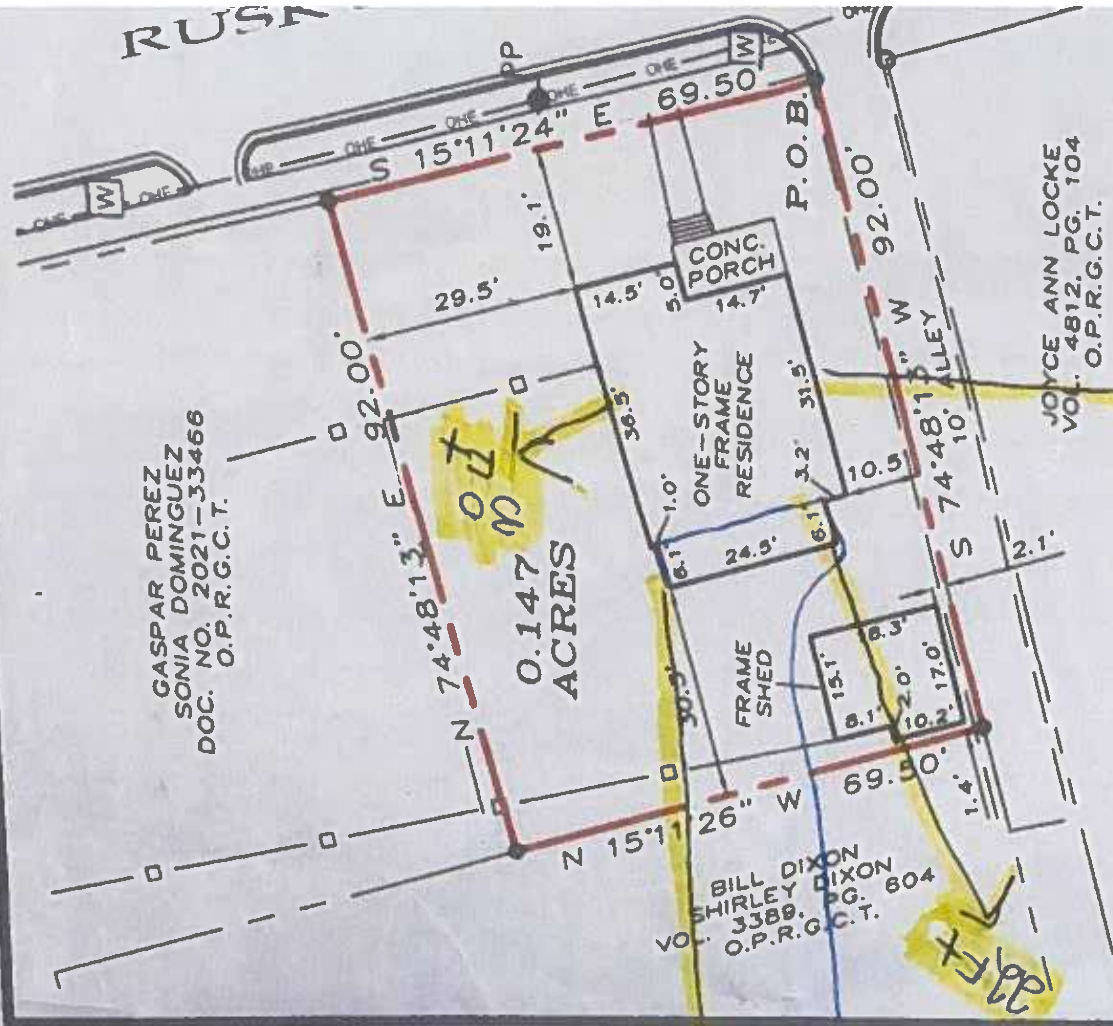
We are seeking to have the lot rezoned to Residential R-6. In addition, we will be requesting a variance, as the lot falls a few feet short of the required depth for this zoning classification.

Our plan, upon approval, is to remodel the existing house and add a small laundry room to improve its functionality and livability. We are committed to ensuring that the renovation aligns with neighborhood aesthetics and city development guidelines.

Thank you for your time and consideration. Please feel free to contact me with any questions or for additional documentation.

Thank you , Armando

RUSA



BASIS OF BEARINGS
 GRID NORTH, NAD 83
 TEXAS STATE PLANE
 COORDINATE SYSTEM
 NORTH CENTRAL ZONE

This survey contains information that is to Underwood Drafting & Surveying, Inc. or disclosure in whole or part without the written permission of Underwood Drafting & Surveying, Inc. is prohibited. This survey is also unaltered and under the copyright laws of the United States. If this work becomes published following notice shall read:

JOYCE ANN LOCKE
 VOL. 4812, PG. 104
 O.P.R.G.C.T.

GASPAR PEREZ
 SONIA DOMINGUEZ
 DOC. NO. 2021-33466
 O.P.R.G.C.T.

0.147
 ACRES

BILL DIXON
 SHIRLEY DIXON
 VOL. 3389, PG. 604
 O.P.R.G.C.T.

LEGEND

●	1/2" STEEL ROD SET
○	3/4" PIPE FOUND
PP	POWER POLE
W	WATER METER
P.O.B.	POINT OF BEGINNING
---	BOUNDARY LINE
---	PROPERTY LINE
---	STOCKADE FENCE

From addition
 22' + 23 Ft
 To back of property

From addition
 11 Ft + 30 Ft
 PLEASE see ABOVE
 arrows

Demo
 24.5 width
 6.1 long

ADD in place of
 above Demo
 27.10 width
 14.0 long

The addition in place of demo
 with additional width + length

9-3-25

To whom it may concern:

I recieved a letter concerning
A zone change for property at
408 S. Rusk - thats next door to me

I have no problem with this change
This is ok with me.

THANKS

Joyce Locke
416 S. Rusk St
Sherman, Tx 75690

Joyce Locke



Planning & Zoning Commission Development Services

Agenda Item No. 11.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

702 SOUTH THROCKMORTON STREET (Project No. 000127-2025)

The request of Wright Construction & Development LLC (Owner) and Copley Land Surveying (Surveyor) concerning the property located in the 702 South Throckmorton Street, consisting of 0.1286 acres, being a part of W. Elliott’s Addition, George B. Pilant Survey, Abstract No. 963, Lot 15 and the South 15 feet of Lot 14, Block 9, currently zoned R-6 (Single Family Residential), as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from an R-6 (Single Family Residential) District to R-4 (Patio Home Residential) District.

Background:

The property is located at 702 South Throckmorton Street. The owner is requesting a Zone Change from an R-6 (Single-Family Residential) District to an R-4 (Patio Home Residential) District to construct a single-family home.

The following has been approved for this location:

- 7/18/2025 - Preliminary Plat for Stella Addition (Conditional Approval)

Origination:

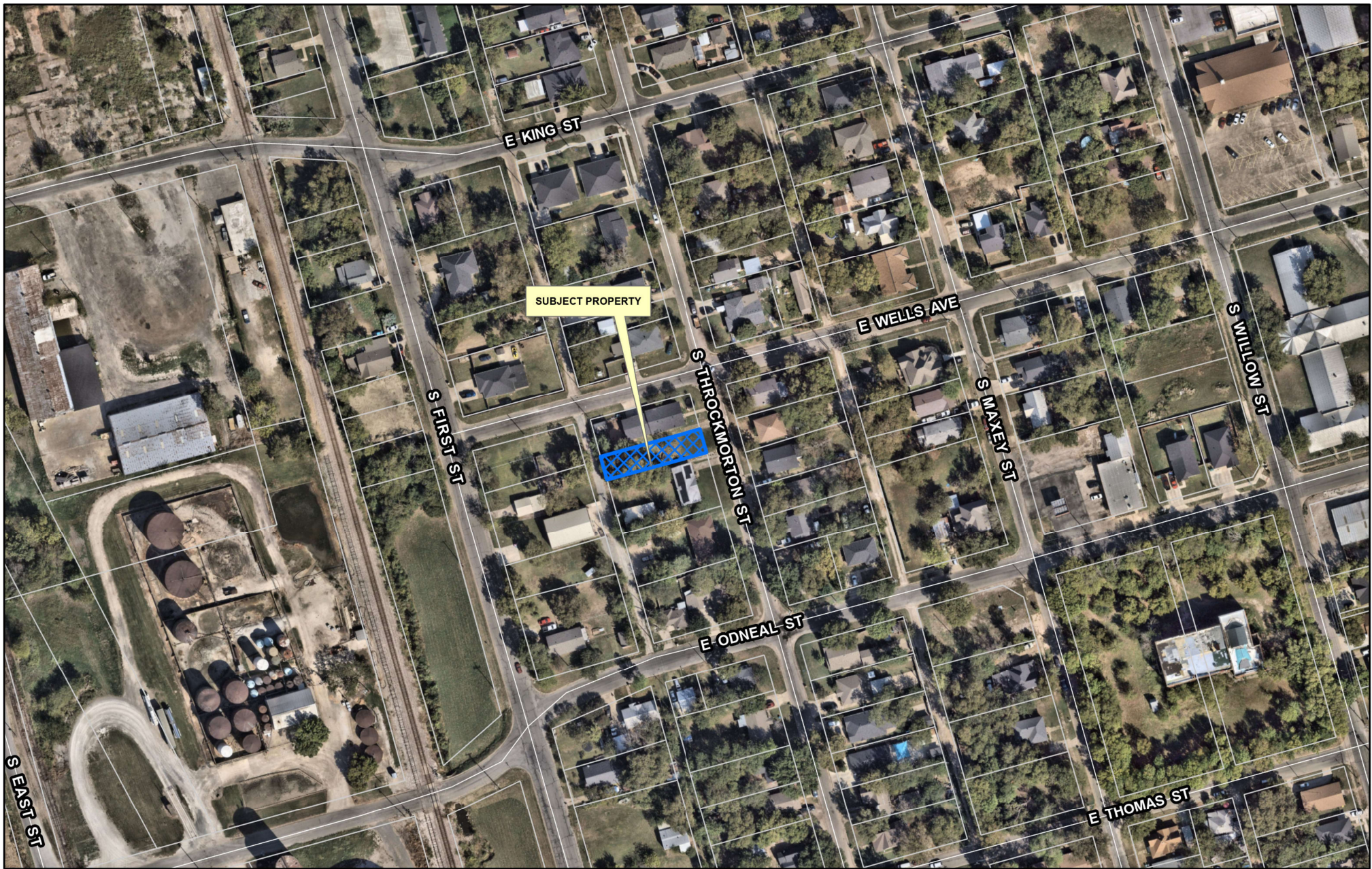
Wright Construction & Development LLC (Owner) and Copley Land Surveying (Surveyor)

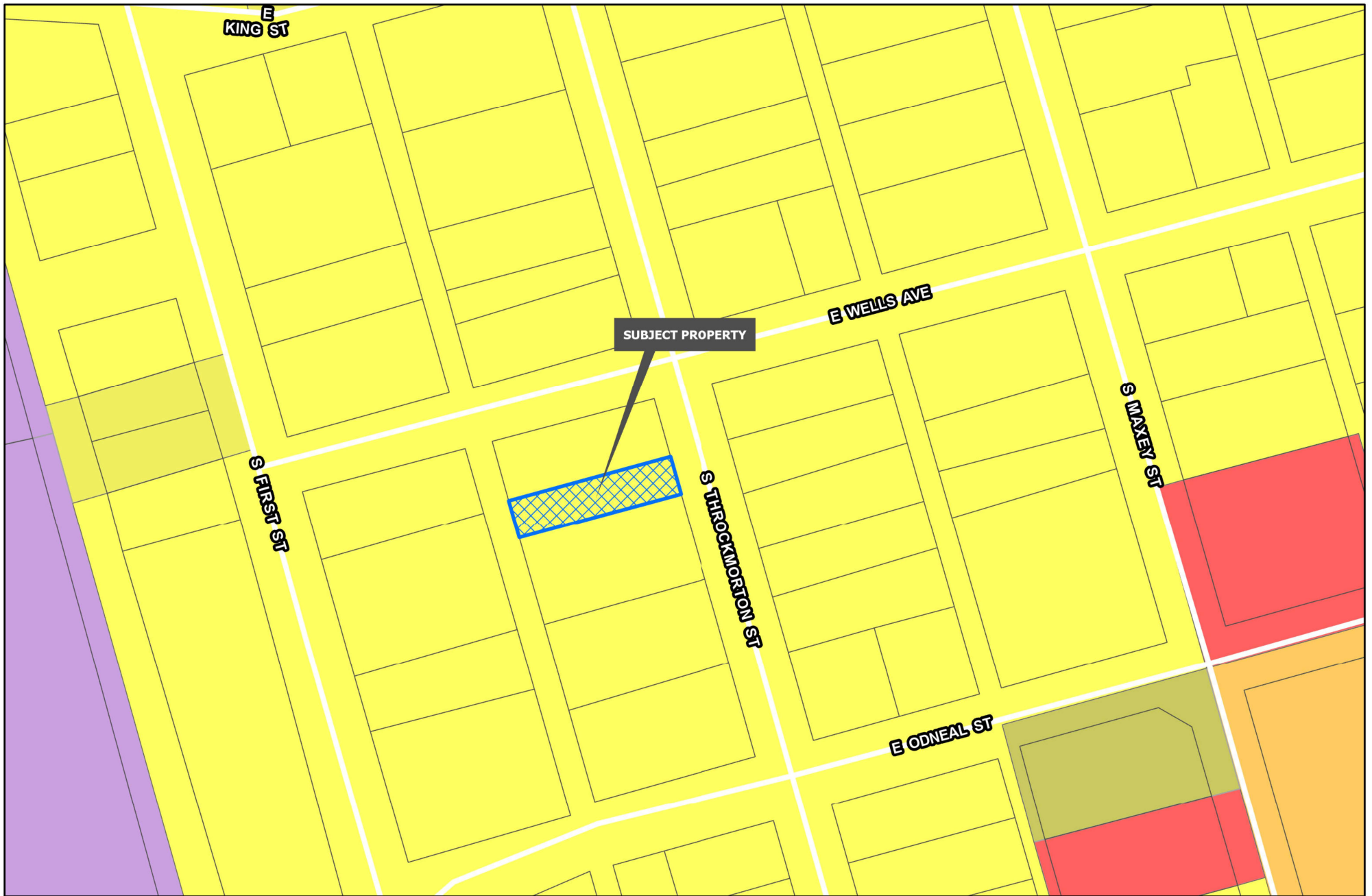
Staff Recommendation:

Staff has no objection to the approval of this zone change request.

Attachments:

1. Location Map
2. Zoning Map
3. Future Land Use Map
4. Property Notification Sign
5. Survey
6. Narrative
7. Site Plan
8. Landscape Plan
9. Elevations

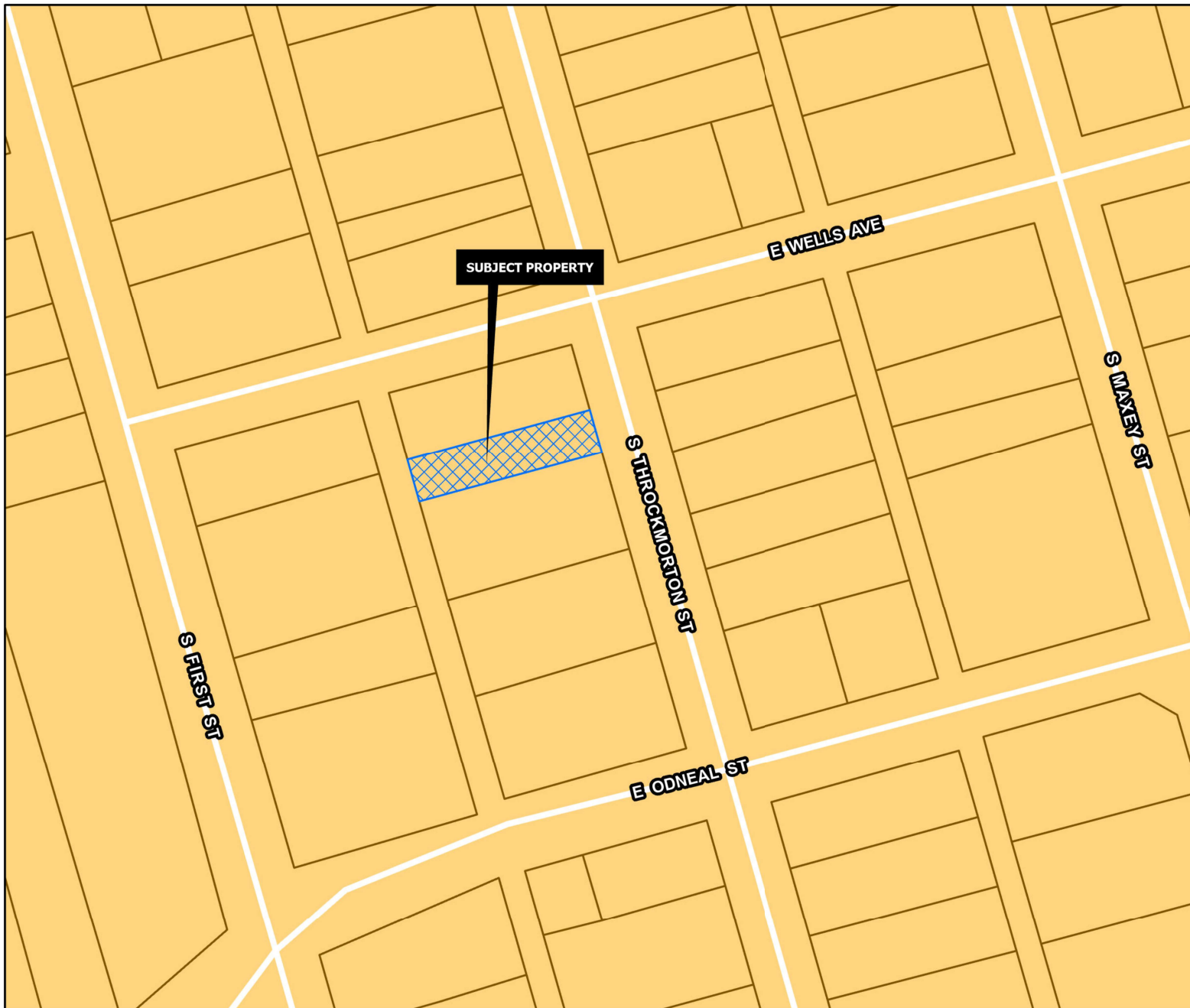




Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
 ZONING MAP
 702 S THROCKMORTON ST**





CORE NEIGHBORHOOD

Intent & Character
 The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

Appropriate Land Use Types

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

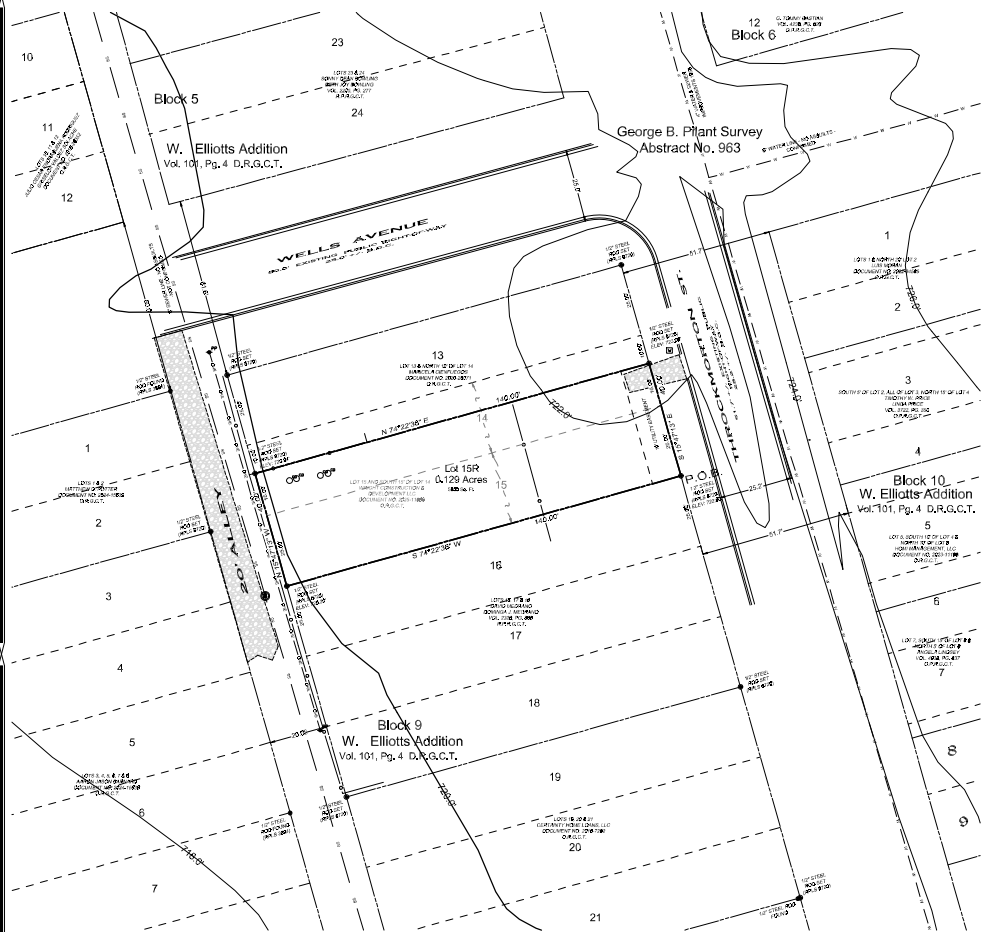
Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



702 SOUTH THROCKMORTON STREET – PROPERTY NOTIFICATION SIGN





Legal Description

Situated in the City of Sherman, County of Grayson, State of Texas, being a part of the George B. Plant Survey, Abstract No. 963, and being Lot 15 and the South 15 feet of Lot 14, Block 9, W. Elliotts Addition, an addition to the City of Sherman, Texas as shown by deed of record in Volume 101, Page 4, Deed Records, Grayson County, Texas and being the same tract of land conveyed to Wright Construction & Development LLC by deed of record in Document No. 2025-1159, Official Records, Grayson County, Texas and being more particularly described by metes and bounds as follows:

Beginning at a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 in the west line of Throckmorton Street for the southeast corner of said Lot 15, and the northeast corner of Lot 16 of said Block 9;

Thence South 74°22'38" West, along the south line of said Lot 15, and the north line of said Lot 16, Block 9, a distance of 140.00 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 in the east line of the 20' alley of said Block 9;

Thence North 15°47'13" West, along the east line of said 20' alley and the west line of said Lots 15 and 14, a distance of 40.00 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 for the northwest corner of said Wright Construction & Development LLC Tract and the southwest corner of a tract of land conveyed to Marcolia Cienfuegos by deed of record in Document No. 2020-29371 of said Official Records;

Thence North 74°22'38" East, along the north line of said Wright Construction & Development LLC Tract and the south line of said Cienfuegos Tract, 137 feet and parallel to the north line of said Lot 15, a distance of 140.00 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 in the east line of said Lot 14, and the west line of said Throckmorton Street for the northeast corner of said Wright Construction & Development LLC Tract and the southeast corner of said Cienfuegos Tract;

Thence South 15°47'13" East, along the west line of said Throckmorton Street and the east line of said Block 9, a distance of 40.00 feet to the **Point-of-Beginning** and containing **0.129 acres** of land.

KNOWN ALL MEN BY THESE PRESENTS:

That I, John C. Copley, Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments thereon were properly placed, under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

John C. Copley, Registered Professional Land Surveyor No. 8720
 Date _____
 Firm No. 1718422

AVIATION RELEASE

WHEREAS, WRIGHT CONSTRUCTION & DEVELOPMENT LLC, hereinafter called OWNER (whether one or more), is the owner of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described as Stella Addition, an Addition to the City of Sherman, Grayson County, Texas;

OWNER does hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a municipal corporation, hereinafter called CITY, and Sherman Municipal Airport, hereinafter called AIRPORT, from any and all claims for damages of any kind that OWNER may now have or may hereafter have in the future by reason of the passage of all aircraft (aircraft being defined for the purposes of this instrument as any contrivance now known or hereinafter invented, used or designed or navigation of air flight in the air) by whatsoever owned and operated, in the airspace above OWNER'S property. Such release shall include, but not be limited to, any damages to the OWNER'S described property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at or taking off from or operating at or on the Sherman Municipal Airport, whether such claim be for injury or death to person or persons damages to or taking off of property, and OWNER does hereby fully remise and release any right or cause of action which it may now have or which it may in the future have against the CITY or AIRPORT, whether such claims be for injury or death to persons or damages to property due to noise, vibration, fumes, dust, fuel and lubricant particles, and all the other effects that may be caused or may have been caused by the operation and/or maintenance of aircraft or aircraft engines at or on said Sherman Municipal Airport.

It is agreed that this Release shall be binding upon OWNER, his successors, heirs, executors, administrators and assigns, in interest with regard to said property located at Stella Addition, an addition to the City of Sherman, Texas, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of Grayson County, Texas.

Executed this _____ day of _____, 2025.

By: BRAEDEN WRIGHT
 CEO OF WRIGHT CONSTRUCTION & DEVELOPMENT LLC

GENERAL NOTES

- Water supply to be provided by the City of Sherman.
- Sanitary service to be provided by the City of Sherman.
- Electricity service to be provided by Onco Electric Delivery.
- Blockage of view or obstruction of view by utility poles, wires, and other structures shall be the responsibility of the utility company.
- Any utility lines or other structures existing on the property shall remain the property of the utility company and shall be maintained by the utility company.
- The City of Sherman will not be responsible for the maintenance and operation of said electrical wires or for the control of electric power.
- Notice that the City of Sherman or the independent contractor will be responsible for any damage (personal injury or loss of life or property) caused by flood or flood conditions.
- The permit and design shall comply with all other local, state and federal regulations regarding development of this block.
- Use of the land shall be subject to the City of Sherman's Comprehensive Zoning Ordinance.
- The City of Sherman reserves the right to require submission of development plans based on proposed use of each lot.
- An agreement to sell or lease to be made between the City of Sherman and the applicant for the proposed use.
- In the right of the City of Sherman the use of a building, structure, or other structure shall be subject to the following conditions:
 - The right of the City to require the use, operation or other conditions which developer may interfere with the efficiency and maintenance of utility facilities with this area.

Parcel Summary: Lot 15R & 15B Acres, Residential

PRELIMINARY PLAT, FOR INSPECTION PURPOSES ONLY. IN NO WAY OFFICIAL OR APPROVED FOR RECORD PURPOSES.

Vicinity Map



Owner's Certificate of Dedication

That WRIGHT CONSTRUCTION & DEVELOPMENT LLC, acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as the STELLA ADDITION, an addition to the City of Sherman, Grayson County, Texas, being 0.129 acres situated in and being a portion of the G. B. Plant Survey, Abstract No. 963, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use for the streets and easements shown on this plat. WRIGHT CONSTRUCTION & DEVELOPMENT LLC does hereby certify the following:

- The streets and alleys are dedicated in fee simple for street and alley purposes.
- All public improvements and dedications shall be free and clear of all liens, claims, and other encumbrances.
- The easements and public use areas, as shown, and created by this plat, are dedicated for the public use forever for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that fence-line improvements may be placed in landscape easements if approved by the City of Sherman.
- The City of Sherman is not responsible for repairing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities existing to use or using the same unless the easement limits the use to agricultural utilities, said use by public utilities being subordinate to the public's and City of Sherman's use thereof.
- The City of Sherman and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The City of Sherman and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, repairing, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the City of Sherman.

WITNESS my hand at _____ County, Texas, this _____ day of _____, (year).

By: BRAEDEN WRIGHT
 CEO OF WRIGHT CONSTRUCTION & DEVELOPMENT LLC

STATE OF TEXAS
 COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared BRAEDEN WRIGHT known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2025.

Notary Public, State of Texas

Approved this _____ day of _____, 2025, by the City Planning Commission to the City of Sherman, Texas.

Chairman _____ Secretary _____

Preliminary Certificate Block

City Engineer, _____ Date _____
 City of Sherman
 Attest: _____
 City Clerk

Legend

- Proposed
- Existing
- As Shown
- Other
- Water

Copley Land Surveying
 1702 9th St. E., Sherman, Texas 75090
 Tel: 903-413-0543
 www.copleysurveying.com

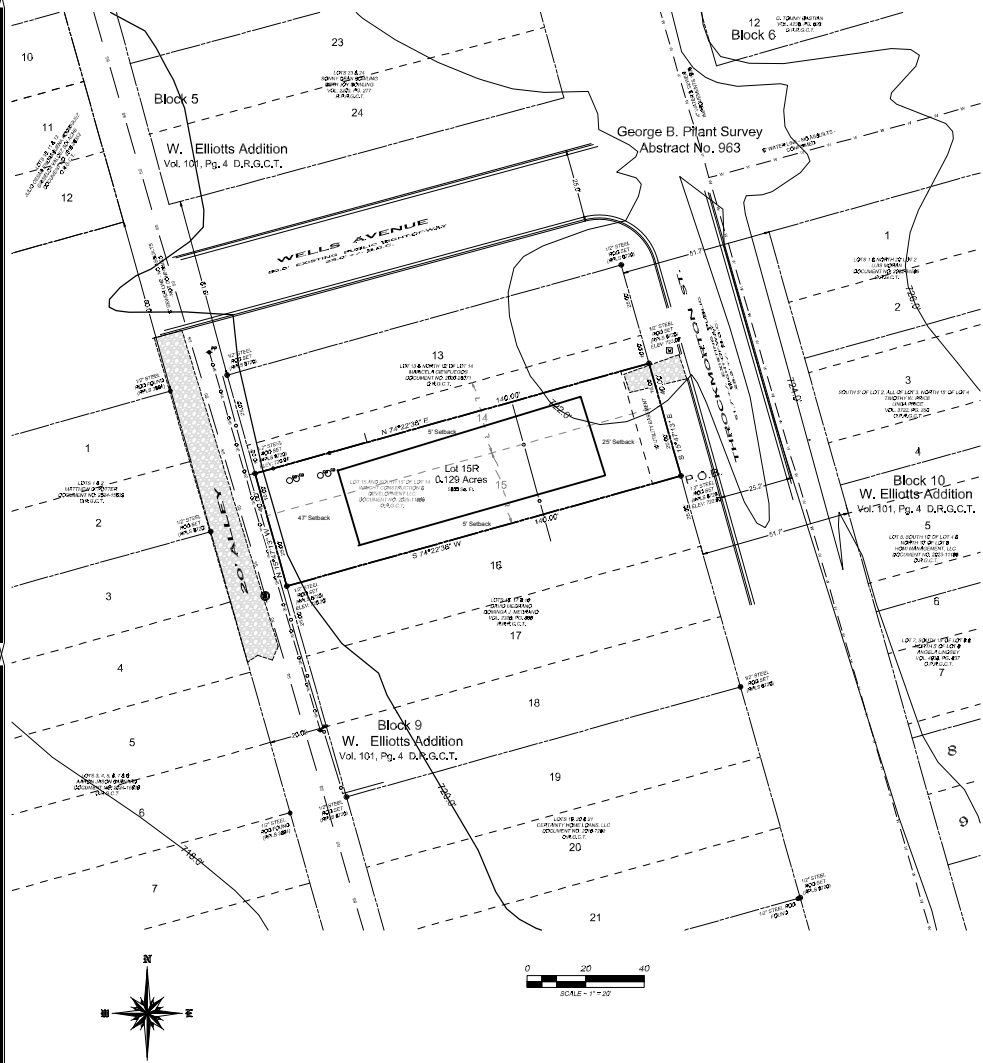
OWNER/DEVELOPER
 WRIGHT CONSTRUCTION & DEVELOPMENT LLC
 2212 BLUEBONNET ST.
 DENVER, TEXAS 76205

SURVEYOR
 JOHN C. COPLEY
 RPLS. NO. 8720
 1702 VERDIL LN.
 SHERMAN, TEXAS 75090

Preliminary Plat
 Stella Addition
 Lot 15R, Block 9
 an addition to
 the City of Sherman
 Grayson County, Texas
 Being a Replat of Lot 15 and
 the South 15' of Lot 14, Block
 9, W. Elliotts' Addition

702 S Throckmorton Project Narrative

- To Build a New construction single family home that conforms with the current neighborhood.



Legal Description

Situated in the City of Sherman, County of Grayson, State of Texas, being a part of the George B. Plant Survey, Abstract No. 963, and being Lot 15 and the South 15 feet of Lot 14, Block 9, W. Elliott's Addition, an addition to the City of Sherman, Texas as shown by plat of record in Volume 101, Page 4, D.R.G.C.T., and being the same tract of land conveyed to Wright Construction & Development LLC by deed of record in Document No. 2025-11589, Official Records, Grayson County, Texas and being more particularly described by metes and bounds as follows:

Beginning at a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 in the west line of Throckmorton Street for the southeast corner of said Lot 15, and the northeast corner of Lot 16 of said Block 9;

Thence South 74°22'33" West, along the south line of said Lot 15, and the north line of said Lot 16, Block 9, a distance of 140.00 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 in the east line of the 20' alley of said Block 9;

Thence North 15°47'13" West, along the east line of said 20' alley and the west line of said Lots 15 and 14, a distance of 40.00 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 for the northwest corner of said Wright Construction & Development LLC Tract and the southwest corner of a tract of land conveyed to Maricela Cienfuegos by deed of record in Document No. 2020-29371 of said Official Records;

Thence North 74°22'33" East, along the north line of said Wright Construction & Development LLC Tract and the south line of said Cienfuegos Tract, 13' from and parallel to the north line of said Lot 15, a distance of 140.00 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 in the east line of said Lot 14, and the west line of said Throckmorton Street for the northeast corner of said Wright Construction & Development LLC Tract and the southeast corner of said Cienfuegos Tract;

Thence South 15°47'13" East, along the west line of said Throckmorton Street and the east line of said Block 9, a distance of 40.00 feet to the Point-of-Beginning and containing 0.129 acres of land.

Vicinity Map



Owner's Certificate of Dedication

The WRIGHT CONSTRUCTION & DEVELOPMENT LLC, acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as the STELLA ADDITION, an addition to the City of Sherman, Grayson County, Texas, being 0.129 acres situated in and being a portion of the G.B. Plant Survey, Abstract No. 963, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat. WRIGHT CONSTRUCTION & DEVELOPMENT LLC does hereby certify the following:

- 1. The streets and alleys are dedicated in fee simple for street and alley purposes.
2. All public improvements and dedications shall be free and clear of all liens, and other encumbrances.
3. The easements and public use areas, as shown, and created by this plat, are dedicated for the public use forever for the purposes indicated on this plat.
4. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the City of Sherman.
5. The City of Sherman is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to agricultural utilities, said use by public utilities being subordinate to the public's and City of Sherman's use thereof.
7. The City of Sherman and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
8. The City of Sherman and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, repairing, moving, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
9. All modifications to this document shall be by means of plat and approved by the City of Sherman.

WITNESS my hand at _____ County, Texas, this _____ day of _____, 2025.

BRADEN WRIGHT
CEO OF WRIGHT CONSTRUCTION & DEVELOPMENT LLC

STATE OF TEXAS
COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared BRADEN WRIGHT known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2025.

Notary Public, State of Texas

Approved this _____ day of _____, 2025, by the City Planning Commission to the City of Sherman, Texas.

Chairman Secretary

KNOWN ALL MEN BY THESE PRESENTS:

That I, John C. Copley, Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments thereon were properly placed, under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

John C. Copley Registered Professional Land Surveyor No. 6720 Firm No. 1718422 Date

AVIGATION RELEASE

WHEREAS, WRIGHT CONSTRUCTION & DEVELOPMENT LLC, hereinafter called OWNER (whether one or more), is the owner of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described as Stella Addition, an addition to the City of Sherman, Grayson County, Texas;

OWNER does hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a municipal corporation, hereinafter called CITY, and Sherman Municipal Airport, hereinafter called AIRPORT, from any and all claims for damages of any kind that OWNER may now have or may hereafter have in the future by reason of the passage of all aircraft (aircraft being defined for the purposes of this instrument as any contrivance now known or hereinafter invented, used or designed or navigation of or flight in the air) by whatsoever owned and operated, in the airspace above OWNER'S property. Such release shall include, but not be limited to, any damages to the OWNER'S described property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at or taking off from or operating at or on the Sherman Municipal Airport, whether such claim be for injury or death to person or persons damages to or taking off of property, and OWNER does hereby fully remise and release any right or cause of action which it may now have or which it may in the future have against the CITY or AIRPORT, whether such claims be for injury or death to persons or damages to property due to noise, vibration, fumes, dust, fuel and lubricant particles, and all the other effects that may be caused or may have been caused by the operation and/or maintenance of aircraft or aircraft engines at or on said Sherman Municipal Airport.

It is agreed that this Release shall be binding upon OWNER, his successors, heirs, executors, administrators and assigns, in interest with regard to said property located at Stella Addition, an addition to the City of Sherman, Texas, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of Grayson County, Texas.

Executed this _____ day of _____, 2025.

By: BRADEN WRIGHT
CEO OF WRIGHT CONSTRUCTION & DEVELOPMENT LLC

GENERAL NOTES

- 1. Water supply to be provided by the City of Sherman.
2. Sewer service to be provided by the City of Sherman.
3. Electrical service to be provided by Onco Electrical Services.
4. All existing lines of sewer or construction easements shall be easements and filing or destruction of the records is prohibited.
5. Any utility easements or other easements existing on or across the portion of land shown on this plat shall be subject to the individual terms of the plat or plats that are recorded by or subject to the plat being recorded or recorded by.
6. The City of Sherman will not be responsible for the maintenance and operation of said easement lines or for the control of water.
7. Notice that the City of Sherman, nor the undersigned authority, will be responsible for any damage, personal injury, or loss of life or property, caused by flood or flood conditions.
8. The permit and design shall comply with all other local, state and federal regulations regarding easements of this kind.
9. Said plat shall be subject to the City of Sherman's Constitution and Statutes.
10. The City of Sherman reserves the right to require submission of easements that appear on proposed use of each plat.
11. An easement or other right or interest in the City of Sherman shall not be subject to the following rights:
(a) The right of the City to change the use of a building, structure, or property within the plat.
(b) The right of the City to determine the use, location, or other conditions which are or may be in compliance with the plat and related to the utility facilities within the plat.
Purpose:
The purpose of this Release is to combine it with a portion of another plat.
Plat Summary: Lot 15R & 128 Acres, Residential.

Legend



Preliminary Certificate Block

City Engineer, City of Sherman
Attest:
City Clerk



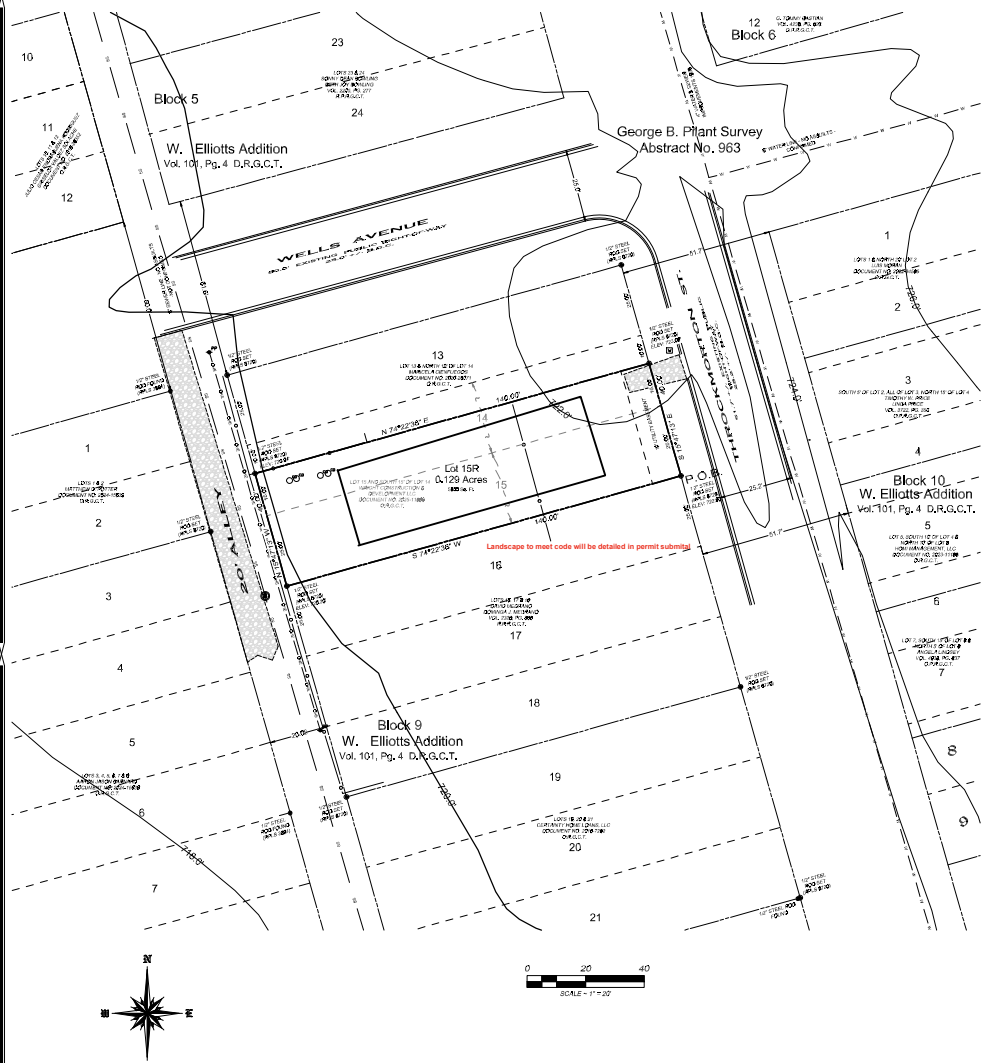
Copley Land Surveying
1702 9th St. E., Sherman, Texas 75090
954-903-4113-3543
www.copleysurveying.com

OWNER/DEVELOPER
WRIGHT CONSTRUCTION & DEVELOPMENT LLC
2212 BLUEBONNET ST.
DENVER, TEXAS 76202

SURVEYOR
JOHN C. COPLEY
RPLS. NO. 6720
1702 VERDIL LN.
SHERMAN, TEXAS 75090

Preliminary Plat
Stella Addition
Lot 15R, Block 9
an addition to
the City of Sherman
Grayson County, Texas
Being a Replat of Lot 15 and
the South 15' of Lot 14, Block
9, W. Elliott's Addition

PRELIMINARY PLAT, FOR INSPECTION PURPOSES ONLY. IN NO WAY OFFICIAL OR APPROVED FOR RECORD PURPOSES.



Legal Description

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Thence South 74°22'38" West, along the south line of said Lot 15, and the north line of said Lot 16, Block 9, a distance of 140.00 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 in the east line of the 20' alley of said Block 9;

Thence North 15°47'13" West, along the east line of said 20' alley and the west line of said Lots 15 and 14, a distance of 40.00 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 for the northwest corner of said Wright Construction & Development LLC Tract and the southwest corner of a tract of land conveyed to Maricela Cienfuegos by deed of record in Document No. 2020-29371 of said Official Records;

Thence North 74°22'38" East, along the north line of said Wright Construction & Development LLC Tract and the south line of said Cienfuegos Tract, 13' from and parallel to the north line of said Lot 15, a distance of 140.00 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 8720 in the east line of said Lot 14, and the west line of said Throckmorton Street for the northeast corner of said Wright Construction & Development LLC Tract and the southeast corner of said Cienfuegos Tract;

Thence South 15°47'13" East, along the west line of said Throckmorton Street and the east line of said Block 9, a distance of 40.00 feet to the Point-of-Beginning and containing 0.129 acres of land.

Vicinity Map



Owner's Certificate of Dedication

The WRIGHT CONSTRUCTION & DEVELOPMENT LLC, acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as the STELLA ADDITION, an addition to the City of Sherman, Grayson County, Texas, being 0.129 acres situated in and being a portion of the G.B. Plant Survey, Abstract No. 963, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat. WRIGHT CONSTRUCTION & DEVELOPMENT LLC does hereby certify the following:

- 1. The streets and alleys are dedicated in fee simple for street and alley purposes.
2. All public improvements and dedications shall be free and clear of all liens, and other encumbrances.
3. The easements and public use areas, as shown, and created by this plat, are dedicated for the public use forever for the purposes indicated on this plat.
4. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that fence-line improvements may be placed in landscape easements if approved by the City of Sherman.
5. The City of Sherman is not responsible for repairing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to agricultural utilities, said use by public utilities being subordinate to the public's and City of Sherman's use thereof.
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8. The City of Sherman and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, repairing, moving, and adding to or removing all or parts of their respective systems without the necessity of any time procuring permission from anyone.
9. All modifications to this document shall be by means of plat and approved by the City of Sherman.

WITNESS my hand at _____ County, Texas, this _____ day of _____, 2025.

Signature of Braeden Wright, CEO of Wright Construction & Development LLC.

STATE OF TEXAS, COUNTY OF GRAYSON.

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared BRAEDEN WRIGHT known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2025.

Notary Public, State of Texas.

Approved this _____ day of _____, 2025, by the City Planning Commission to the City of Sherman, Texas.

Signature of City Chairman and Secretary.

KNOWN ALL MEN BY THESE PRESENTS: That I, John C. Copley, Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments thereon were properly placed, under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

John C. Copley, Registered Professional Land Surveyor No. 6720, Firm No. 17184222.

THE STATE OF TEXAS, COUNTY OF GRAYSON.

WHEREAS, WRIGHT CONSTRUCTION & DEVELOPMENT LLC, hereinafter called OWNER (whether one or more), is the owner of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described as Stella Addition, an addition to the City of Sherman, Grayson County, Texas;

OWNER does hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a municipal corporation, hereinafter called CITY, and Sherman Municipal Airport, hereinafter called AIRPORT, from any and all claims for damages of any kind that OWNER may now have or may hereafter have in the future by reason of the passage of all aircraft (aircraft being defined for the purposes of this instrument as any contrivance now known or hereinafter invented, used or designed or navigation of or flight in the air) by whatsoever owned and operated, in the airspace above OWNER'S property. Such release shall include, but not be limited to, any damages to the OWNER'S described property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at or taking off from or operating at or on the Sherman Municipal Airport, whether such claim be for injury or death to person or persons damages to or taking off of property, and OWNER does hereby fully remise and release any right or cause of action which it may now have or which it may in the future have against the CITY or AIRPORT, whether such claims be for injury or death to persons or damages to property due to noise, vibration, fumes, dust, fuel and lubricant particles, and all the other effects that may be caused or may have been caused by the operation and/or maintenance of aircraft or aircraft engines at or on said Sherman Municipal Airport.

It is agreed that this Release shall be binding upon OWNER, his successors, heirs, executors, administrators and assigns, in interest with regard to said property located at Stella Addition, an addition to the City of Sherman, Texas, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of Grayson County, Texas.

Executed this _____ day of _____, 2025.

Braeden Wright, CEO of Wright Construction & Development LLC.

- GENERAL NOTES: 1. Water supply to be provided by the City of Sherman. 2. Sewer service to be provided by the City of Sherman. 3. Electrical service to be provided by Oncor Electrical Delivery. 4. Blocking the line of sight or construction improvements with obstructions and filing or obstruction of the roadway is prohibited. 5. Any utility easements or other easements existing on or across the plat shall remain in effect and shall be maintained by the individual owners of the land or lots that are benefited by or adjacent to the easement containing or across said lot. 6. The City of Sherman will not be responsible for the maintenance and operation of said easement ways or for the control of easements. 7. Notice that the City of Sherman or the undersigned authority will be responsible for any change, removal, injury, or use of the easement subject to local or federal conditions. 8. The plat and all changes shall comply with all other local, state and federal regulations regarding easements of this kind. 9. Said plat shall be subject to the City of Sherman's Constitution and Network. 10. The City of Sherman reserves the right to require submission of easement documents that appear on proposed use of each lot. 11. An easement in fee simple shall be created in the City of Sherman for the following: (a) The right of the City to change the use of a building, structure, or structure within the street. (b) The right of the City to determine the use, location, or other conditions which are or may be in compliance with the efficiency and maintenance of the City's utilities within the street. Purpose: The purpose of this Release is to combine it with a portion of another plat. Plat Summary: Lot 15R & 128 Acres, Residential.

Preliminary Certificate Block

City Engineer, City of Sherman. Attest: City Clerk.

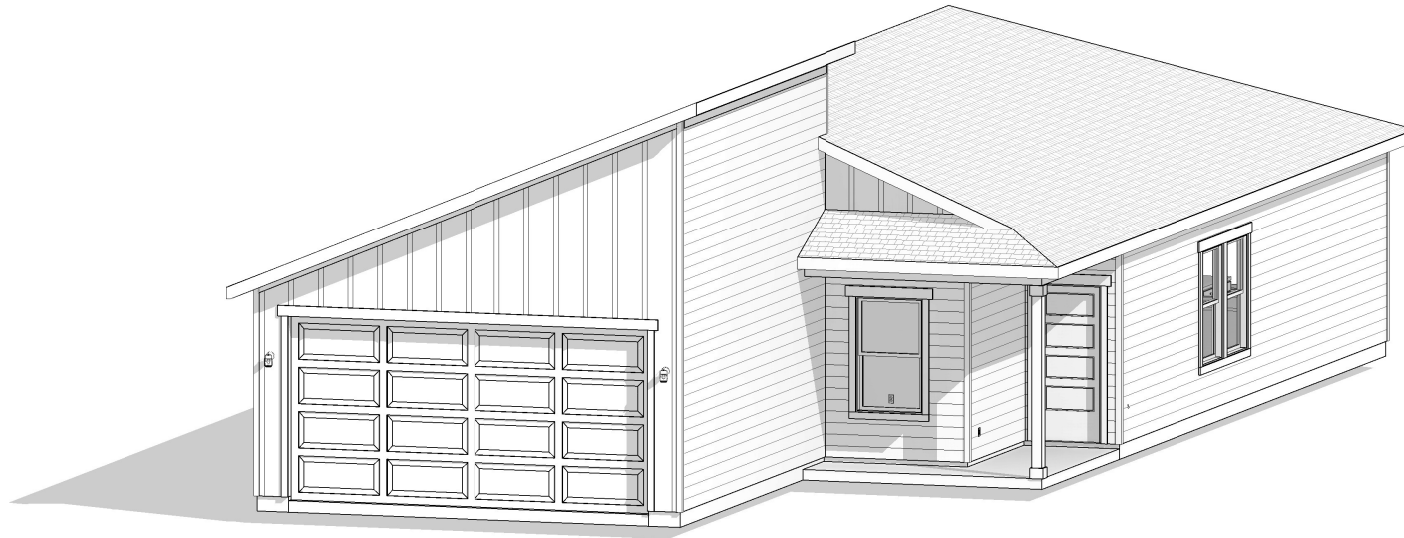


Copley Land Surveying, 17302 94th Ave., Dallas, TX 75248. Phone: 972-413-3543.

OWNER/DEVELOPER: WRIGHT CONSTRUCTION & DEVELOPMENT LLC, 2212 BLUEBONNET ST., DENVER, TEXAS 76205. SURVEYOR: JOHN C. COPLEY, RPLS, NO. 6720, 1732 VERDIL LN., SHERMAN, TEXAS 75069.

Preliminary Plat Stella Addition Lot 15R, Block 9 an addition to the City of Sherman Grayson County, Texas Being a Replat of Lot 15 and the South 15' of Lot 14, Block 9, W. Elliott's Addition

PRELIMINARY PLAT, FOR INSPECTION PURPOSES ONLY. IN NO WAY OFFICIAL OR APPROVED FOR RECORD PURPOSES.



REVISION INDEX

REV#	DESCRIPTION	DATE	DRAWN BY	BROCHURE REQUIRED	FOUNDATION REQUIRED	PLOT PLAN REQUIRED	ENGINEERING REQUIRED
A	NEW PLAN	05/11/25	MWR CA	YES	YES	YES	YES

INDEX

PAGE	DESCRIPTION
CS	COVERSHEET
A-1	FIRST FLOOR PLAN
A-2	FIRST FLOOR ELECTRICAL
A-3	FIRST FLOOR PLUMBING
A-4	INTERIOR ELEVATIONS
A-5	FRONT & REAR ELEVATION
A-5.1	SIDE ELEVATIONS
A-6	ROOF PLAN
A-7	BUILDING SECTIONS
A-8	3D VIEWS
A-9	DETAILS
A-9.1	WALL SECTIONS



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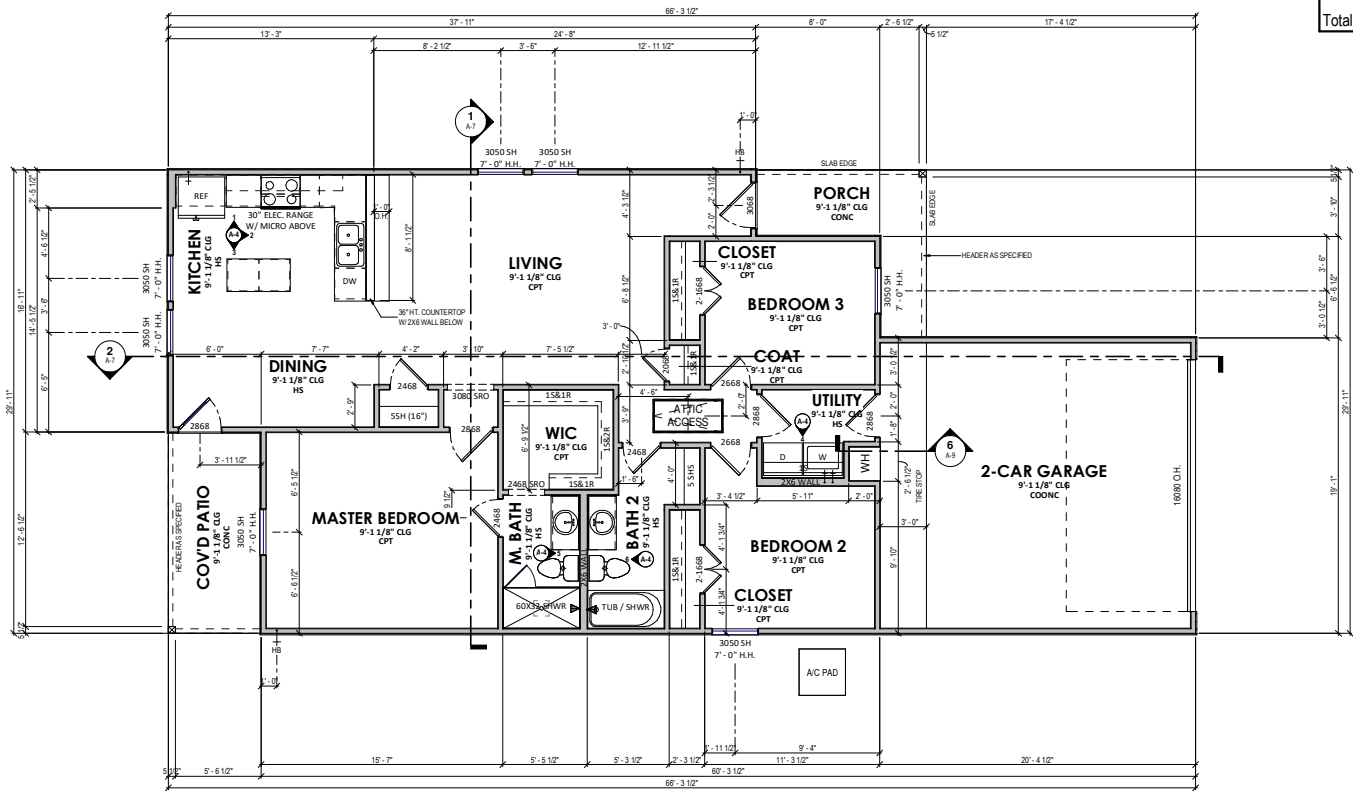
FILE NAME:
DATE: 05/11/2025
DRAWN BY: MWR - CA
JOB NUMBER: 25.0305

PLAN #
30F-1250

COVERSHEET

SHEET #
CS

AREA CALCULATIONS	
CONDITIONED AREA	
FIRST FLOOR	1261 SF
UNCONDITIONED AREA	
2-CAR GARAGE	389 SF
COVID PATIO	78 SF
PORCH	67 SF
Total	1795 SF



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

- FLOOR PLAN NOTES**
- INTERIOR DIMENSIONS ARE TO FACE OF STUD. U.N.O.
 - WINDOWS, DOORS AND OPENINGS ARE DIMENSIONED TO CENTER OF ROUGH OPENINGS
 - ALL DOORS ON FIRST FLOOR ARE 8'-0" U.N.O.
 - ALL DOORS ON SECOND FLOOR ARE 6'-8" U.N.O.
 - ALL SHEETROCK OPENINGS TO BE CENTERED ON WALL U.N.O.
 - REFER TO ELEVATION(S) AND ROOF PLAN(S) FOR PLATE HEIGHTS AND CEILING SLOPES
 - ALL ANGLES OTHER THAN 90° ARE TO BE 45° ANGLES U.N.O.
 - ALL PLUMBING WALLS SHALL BE 2x6 MIN U.N.O.
 - WATER HEATER SIZE AND LOCATION MAY VARY. BUILDER IS TO VERIFY LOCATION.
 - GAS DROPS AND 220V OUTLETS ARE SHOWN FOR GENERAL LOCATION ONLY. THEY MAY OR MAY NOT BE AVAILABLE AND/OR VARY PER CITY AND/OR SUBDIVISION SPECIFICATIONS



ELECTRICAL LEGEND

	SINGLE POLE SWITCH		DOOR BELL BUTTON
	3-WAY SWITCH		DOOR BELL CHIME
	4-WAY SWITCH		GARAGE DOOR BUTTON
	DIMMER SWITCH		GARAGE DOOR OPENER
	220 VOLT OUTLET		WEATHERPROOF OUTLET
	DUPLEX OUTLET		CEILING OUTLET
	GROUND FAULT OUTLET		FLOOR OUTLET
	SMOKE DETECTOR		CARBON MONOXIDE & SMOKE DETECTOR COMBO
	CARBON MONOXIDE DETECTOR		NETWORK OUTLET
	TELEVISION OUTLET		TELEPHONE OUTLET
	SERVICE PANEL		GARBAGE DISPOSAL
	SERVICE METER		ACCENT LIGHT
	WALL MOUNT LIGHT		SINGLE SCONCE
	FLOOD LIGHT		DOUBLE SCONCE
	STRIP LIGHT		STARLIGHT
	BATH FAN & LIGHT COMBO		BATH FAN
	CLOSET GASTER LIGHT		UNDER CABINET LIGHT
	PULL DOWN LIGHT		KEYLESS LIGHT
	FLUSH MOUNT LIGHT		HANGING LIGHT
	HANGING PENDANT LIGHT		MINIATURE PLUG/LIGHT
	RECESSED CAN LIGHT		RECESSED EYEBALL LIGHT
	FLUORESCENT LIGHT RECTANGULAR		FLUORESCENT LIGHT ROUND
	LED DISK LIGHT		
	CEILING FAN		LIGHT w/ FAN ROUGH
	LIGHTED CEILING FAN		LIGHT & FAN ROUGH

1. Provide Smoke Alarms - hard wired, interconnected, battery backup, at each sleeping room and immediate common area outside of sleeping rooms, and located at least 3 feet from a door to a bathroom with tub or shower except when this requirement will prevent the installation of a smoke alarm in a required location. If applicable, on each additional story including basements and habitable attic. In accordance with 2015 IRC Sec R314.
2. Provide Carbon Monoxide Alarm - hard wired with battery backup, installed outside of each separate sleeping area in the immediate vicinity of the bedrooms in dwelling units within which fuel-fired appliances are installed (such as those on attached garage). In accordance with 2015 IRC sec R315.
3. Per 2015 IRC 803.8, all bathroom exhaust fans vent directly to exterior.

ELECTRICAL NOTES

INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE ONLY SCHEMATIC IN DESIGN

- PROVIDE LIGHT IN EACH CRAWLSPACE AND ATTIC
- KITCHEN COUNTERTOPS
- RECEPTACLES AT COUNTER SPACE 12" OR WIDER.
- GFCI OUTLETS REQUIRED AT KITCHEN COUNTERTOPS
- 1 OUTLET PROVIDED PER ISLAND MINIMUM

KITCHEN

- 24" MAX SEPARATION FOR OUTLETS LOCATED AT KITCHEN COUNTERTOPS
- 1 OUTLET PROVIDED PER ISLAND MINIMUM

BATHROOMS

- BATHROOMS GFCI OUTLETS TO BE INSTALLED WITHIN 36" OF EACH SINK BASIN AND 1 PER SINK

LIVING SPACES

- OUTLETS IN ALL LIVING SPACES SHALL BE PROVIDED AT 4' MAX FROM OPENING OR DOOR AND MINIMUM 12" BETWEEN EACH RECEPTACLE
- PROVIDE OUTLET ON ANY WALL LARGER THAN 2' BETWEEN OPENINGS AND DOORS
- FLOOR PLUGS AS REQUIRED

OTHER AREAS

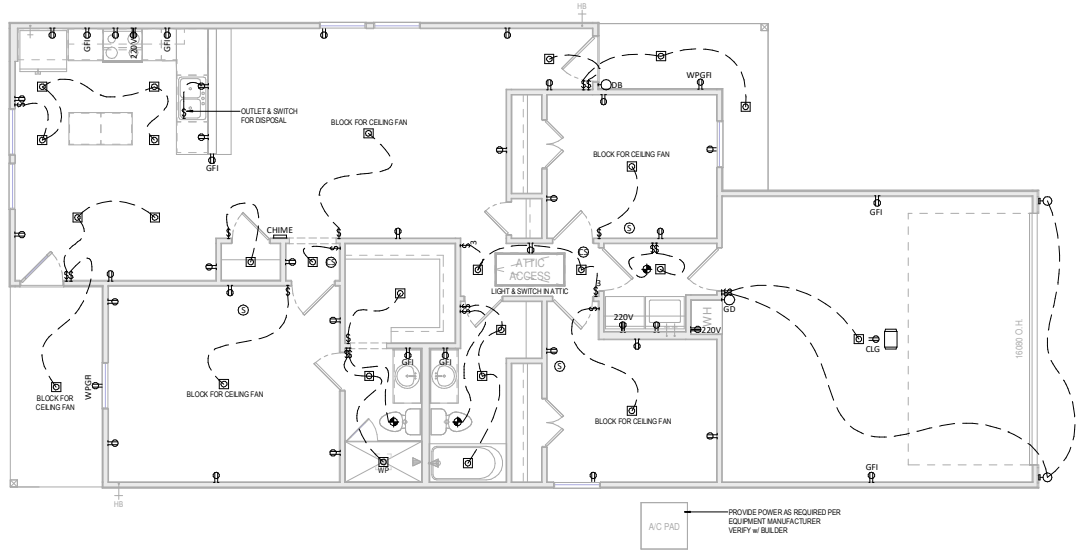
- OUTDOOR OUTLETS TO BE PROVIDED AT FRONT AND REAR OF HOUSE, WEATHERPROOFED AND GFCI PROTECTED.
- PROVIDE AT LEAST 1 OUTLET PER 10' OF HALLWAY RUN

LIGHTING

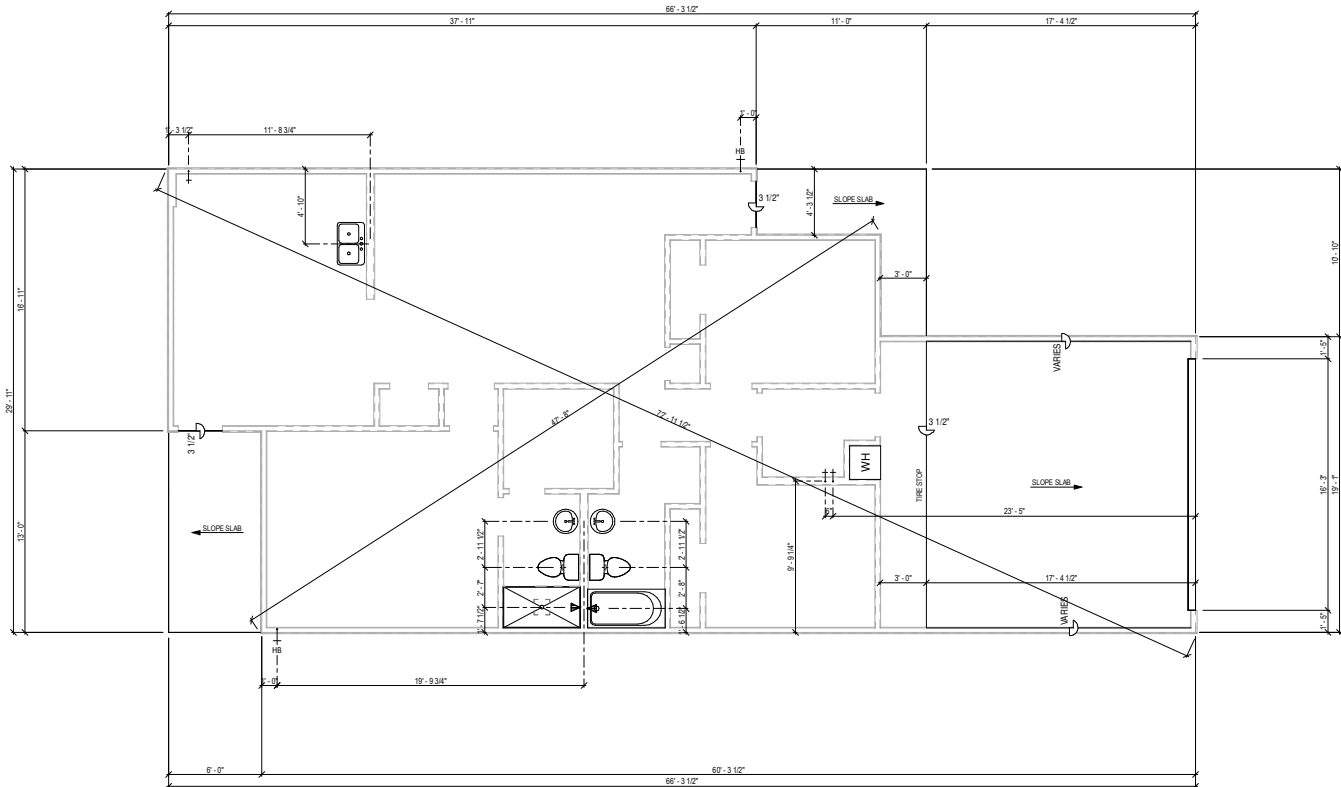
- LIGHTING FIXTURES LOCATED IN CLOSETS: SURFACE MOUNT FIXTURES ARE NOT TO BE WITHIN 1'-0" OF SHELF OR HANGING SPACE MEASURED HORIZONTALLY. RECESSED FIXTURES NOT TO BE WITHIN 6" OF ANY SHELF OR HANGING SPACE

SMOKE DETECTORS

- ADDITIONAL SMOKE DETECTOR REQUIRED AT EACH END OF ROOMS/HALLWAYS GREATER THAN 30' IN LENGTH
- DO NOT INSTALL DETECTORS WITHIN 3' OF AN AIR VENT OR RETURN
- KEEP ALL SMOKE DETECTORS A MINIMUM OF 36" FROM BATHROOM DOOR, KITCHEN COOKING APPLIANCES AND LAUNDRY UTILITY (WHERE A WASHER AND DRYER IS PLACED)
- DO NOT INSTALL NEAR FLUORESCENT LIGHTS
- DO NOT INSTALL WITHIN 36" OF TIP OF PADOLE FOR CEILING FAN
- INSTALL SMOKE DETECTOR ON SLOPED, PEAKED OR CATHEDRAL CEILINGS AT OR WITHIN 3' OF HIGHEST POINT (MEASURED HORIZONTALLY)
- SMOKE ALARMS IN ROOMS WITH CEILING SLOPES GREATER THAN 1 FOOT IN 8 FEET HORIZONTALLY SHALL BE LOCATED ON THE HIGHEST SIDE OF ROOM



FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"



PLUMBING ROUGH DIAGRAM
SCALE: 1/8" = 1'-0"

PLUMBING PLAN NOTES

- ACTUAL CONDITIONS MAY VARY AND MUST BE VERIFIED BEFORE PROCEEDING WITH CONSTRUCTION
- DIMENSIONS ARE TO FACE OF STUD, UNLESS GRAPHICALLY INDICATED OTHERWISE
- UNLESS OTHERWISE ANNOTATED, ALL ANGLES OTHER THAN 90° ANGLES ARE TO BE 45° ANGLES
- ALL PLUMBING WALLS SHALL BE 2x6 MINIMUM I.N.O.
- REFER TO STRUCTURAL PLANS FOR ENGINEERED FOUNDATION



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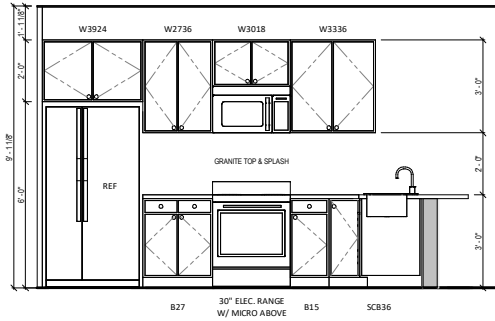
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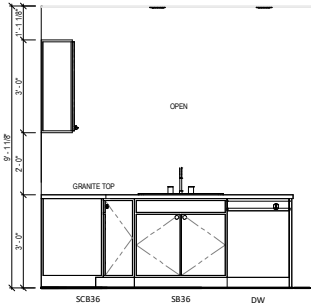
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FIRST FLOOR
PLUMBING

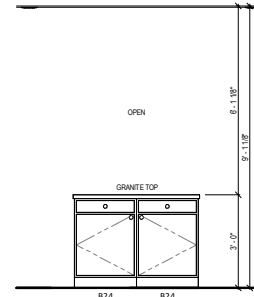
SHEET #
A-3



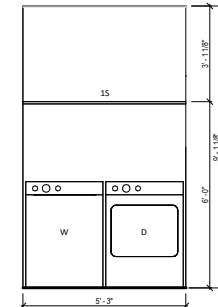
1 KITCHEN
1/4" = 1'-0"



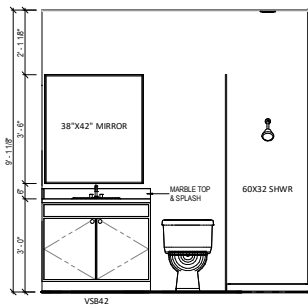
2 KITCHEN
1/4" = 1'-0"



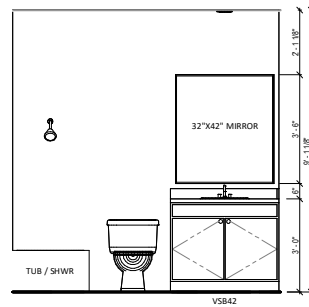
3 KITCHEN
1/4" = 1'-0"



4 UTILITY
1/4" = 1'-0"



5 MASTER BATH
1/4" = 1'-0"



6 BATH 2
1/4" = 1'-0"

INTERIOR ELEVATION NOTES

- PROVIDE CABINET BLOCKING FOR VANITY @ 26" TO 32" RANGE @ WALL 54" AND 80"; BASE AT 32"
- PROVIDE CABINET BLOCKING ON KITCHEN WALLS @ 37 1/2", 57 1/2", AND 98 1/2" A.F.F.
- SUBSTRATE FOR TILES SHALL BE TILE OR CEMENT BACKER BOARD.
- CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- ALL SHOWER HEADS TO BE AT 6'-10" A.F.F.
- MANTLE BLOCKING AT EACH SIDE OF FIREPLACE EVERY 24" O.C. A.F.F.
- SECONDARY BATH TUB BLOCKING 24" TO 32" FROM WALL BOTTOM PLATE TO TOP PLATE.
- MASTER SHOWER BLOCKING 40" TO 46" FROM WALL BOTTOM PLATE TO TOP OF PLATE.
- VANITY LIGHT FIXTURE 2X4 BLOCKING TO BE IN ALL BATHS AT 94" A.F.F. TO TOP OF BLOCKING WITH 36" CABINETS, 86" WITH 30" CABINETS.



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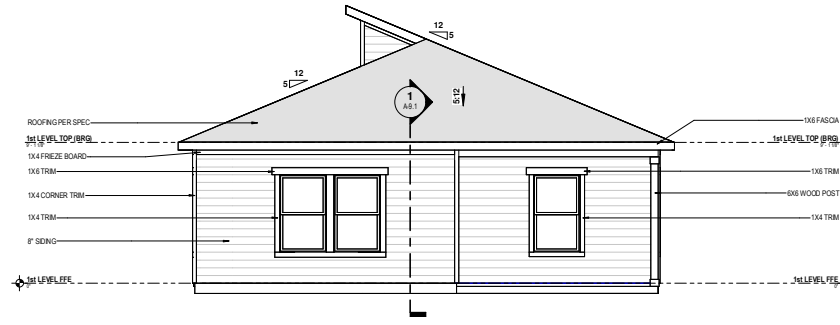
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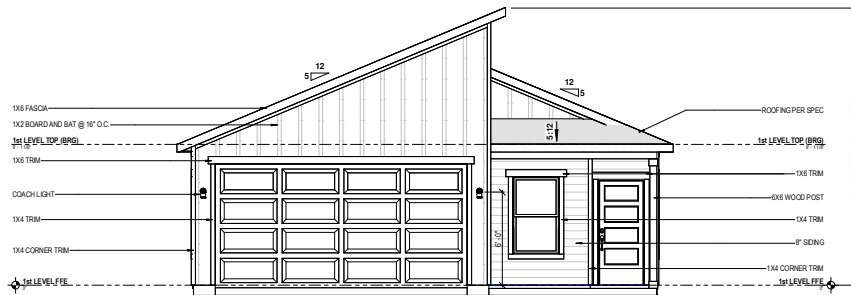
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INTERIOR
ELEVATIONS

SHEET #
A-4



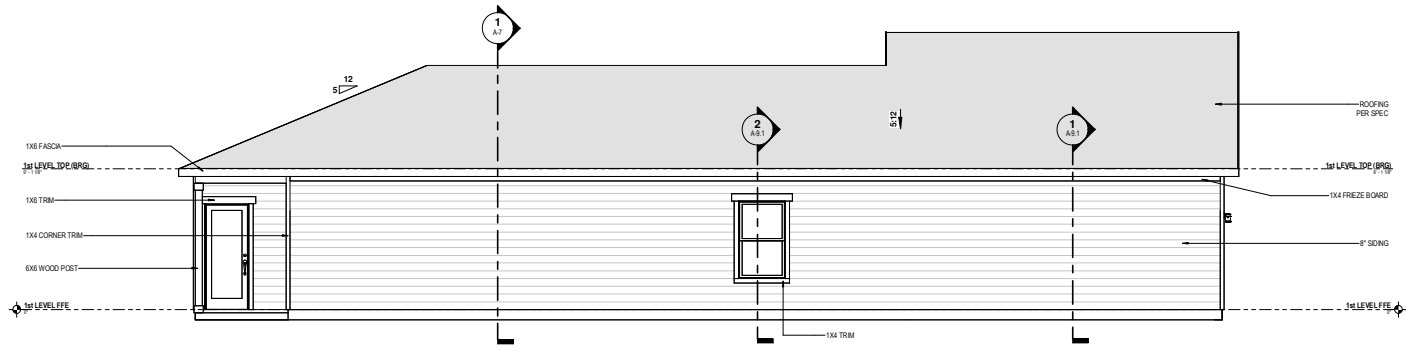
REAR ELEVATION
SCALE: 1/8" = 1'-0"



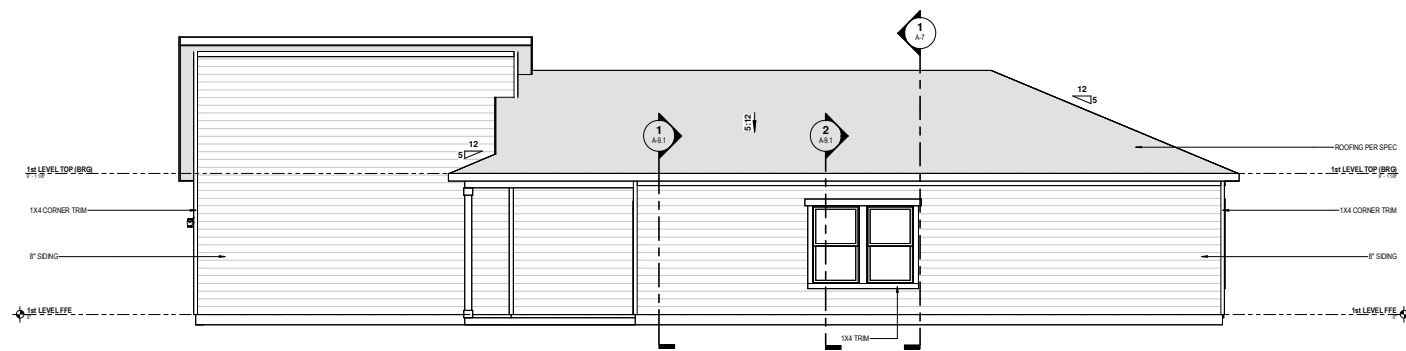
FRONT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

- PROVIDE ATTIC VENTILATION AS REQUIRED PER CODE.
- ALL WINDOW ROUGH OPENING SIZES TO BE FRAMED SAME AS WINDOW CALL-OUT SIZE.
- WINDOW ROWLOCKS TO HAVE 1/2" SLOPE MINIMUM.
- NO CORE HOLES TO BE VISIBLE AT ROWLOCKS OR WINDOW SILLS.
- HEIGHT OF CHIMNEY TO BE 2'-0" HIGHER THAN ANY POINT WITHIN 10'-0" HORIZONTALLY AND AT LEAST 4'-0" ABOVE ANY POINT IMMEDIATELY ADJACENT.
- LINEAR FEET OF PERFORATED SOFFIT VENTS T.B.D. BY HOME BUILDER.



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION NOTES

- PROVIDE ATIC VENTILATION AS REQUIRED PER CODE.
- ALL WINDOW ROUGH OPENING SIZES TO BE FRAMED SAME AS WINDOW CALL-OUT SIZE.
- WINDOW ROWLOCKS TO HAVE 1/2" SLOPE MINIMUM.
- NO CORE HOLES TO BE VISIBLE AT ROWLOCKS OR WINDOW SILLS.
- HEIGHT OF CHIMNEY TO BE 2'-0" HIGHER THAN ANY POINT WITHIN 10'-0" HORIZONTALLY AND AT LEAST 4'-0" ABOVE ANY POINT IMMEDIATELY ADJACENT LINEAR FEET OF PERFORATED SOFFIT VENTS T.B.D. BY HOME BUILDER.



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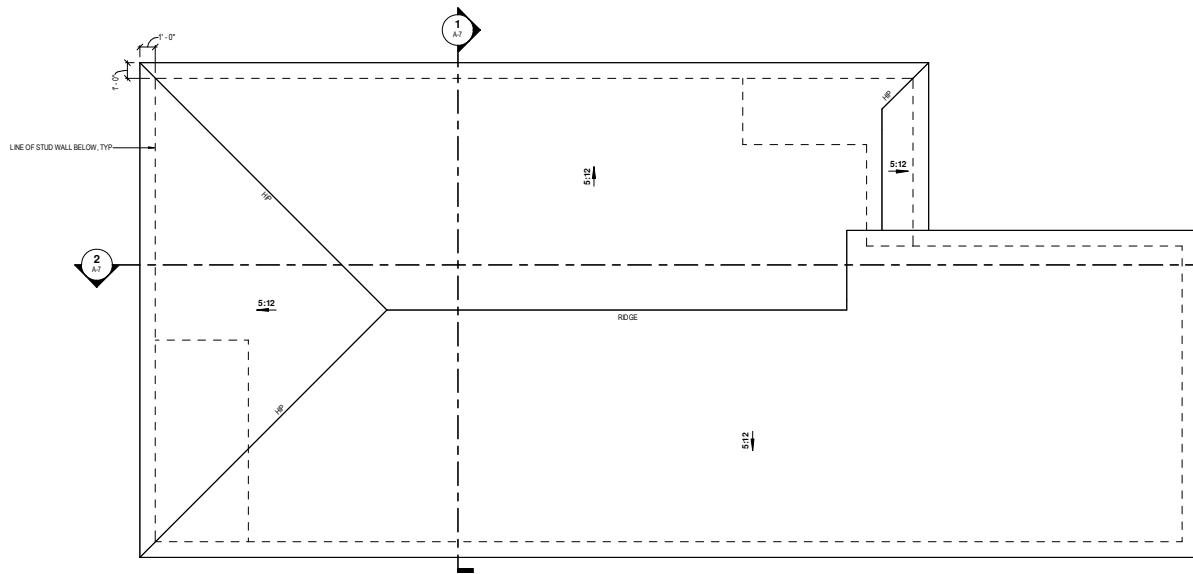
SIDE ELEVATIONS

SHEET #
A-5.1

ATTIC AREA @ (MAIN ROOF)				
ATTIC AREA (FT ²)	REQUIRED VENTILATION (NF)	REQUIRED UPPER ATTIC VENTILATION (NF)		REQUIRED SOFFIT VENTILATION (NF)
	1/300 EXCEPTION	40%-50% OF REQUIRED		MINIMUM -40% UPPER VENTILATION
	MINIMUM	MINIMUM	MAXIMUM	MINIMUM -40% UPPER VENTILATION
1991	656	383	478	573

NOTES:

1. RAFFLES REQUIRED IN ALL BAYS BETWEEN SOFFIT VENTS WHERE INSULATION IS INSTALLED
2. PROVIDE VENTILATION AS REQUIRED BY CURRENT ADOPTED INTERNATIONAL RESIDENTIAL CODE.
3. PERFORATED SOFFITS ARE NOT ALLOWED IN SIDE YARDS WITH LESS THAN FIVE FEET FROM SOFFIT TO BUILD LINE PROVIDED CALCULATIONS ARE BASED ON 2012/2015 INTERNATIONAL RESIDENTIAL CODE. ATTIC VENTILATION REQUIREMENTS MUST BE MET BY ONE OF THE TWO LISTED OPTIONS: 1/150 STANDARD OR 1/300 EXCEPTION.
4. FIRE RATED SOFFITS REQUIRED WHERE BUILDING IS WITHIN 5 FEET OF PROPERTY LINE.
5. RIDGE VENTS TO BE INSTALLED WITHIN 3'-0" VERTICALLY OF HIGHEST RIDGE IN ATTIC PER CODE.



ROOF PLAN

SCALE: 1/8" = 1'-0"

ROOF PLAN NOTES

- ASPHALT SHINGLE ROOF PER OWNER SELECTION
- USE ICE & WATER SHIELD WITHIN 3' OF EDGE OF HIP/VALLEY JOINT
- USE CONTINUOUS SOFFIT VENT OR SIMILAR AS REQUIRED BY CODE
- USE RIDGE VENT AND/OR ROOF VENT AS REQUIRED BY CODE
- CHIMNEY SHALL BE 2'-0" HIGHER THAN NEAREST STRUCTURE WITHIN 10'-0"



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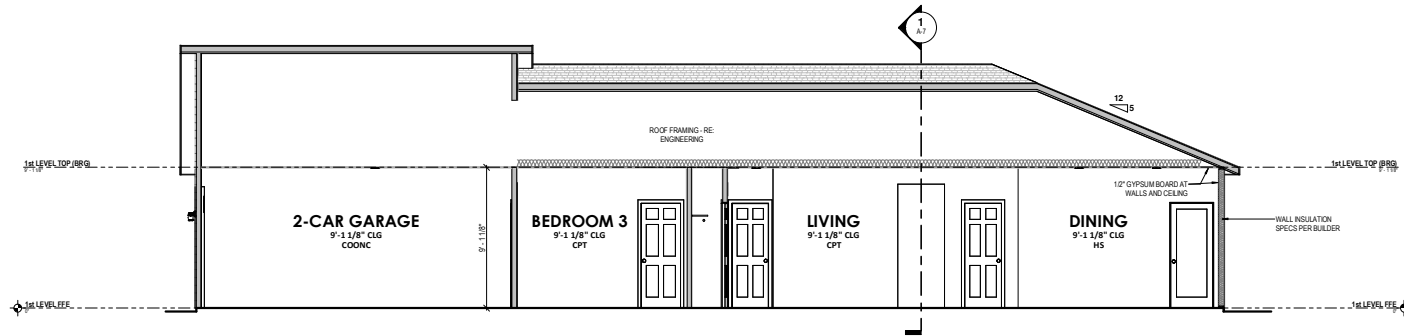
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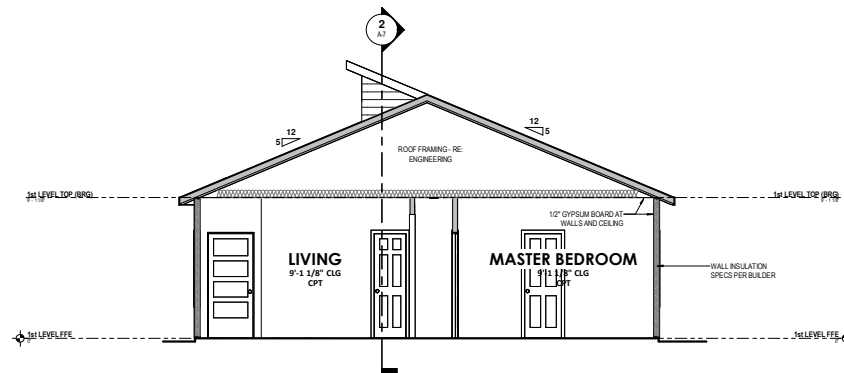
ROOF PLAN

SHEET #
A-6



BUILDING SECTION

SCALE: 1/8" = 1'-0"



CROSS SECTION

SCALE: 1/8" = 1'-0"



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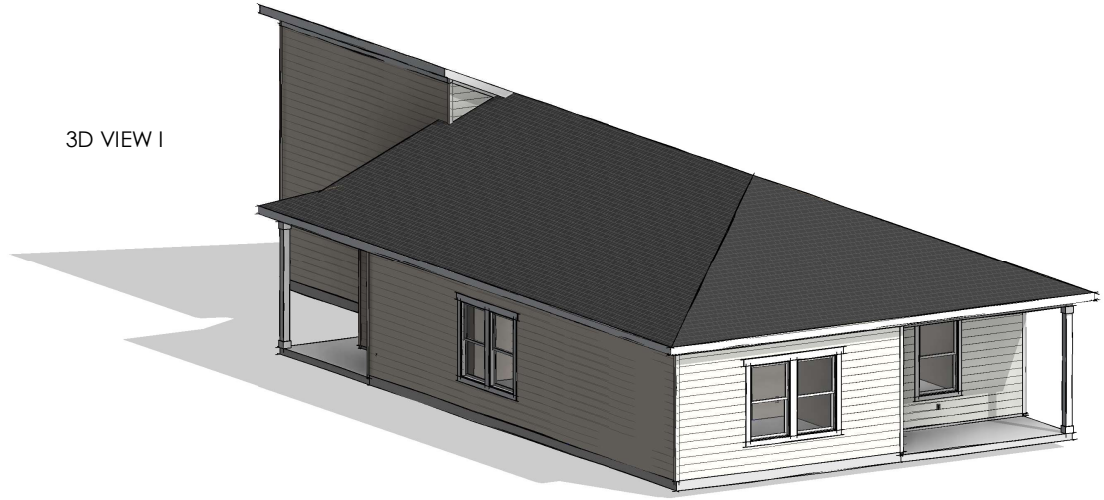
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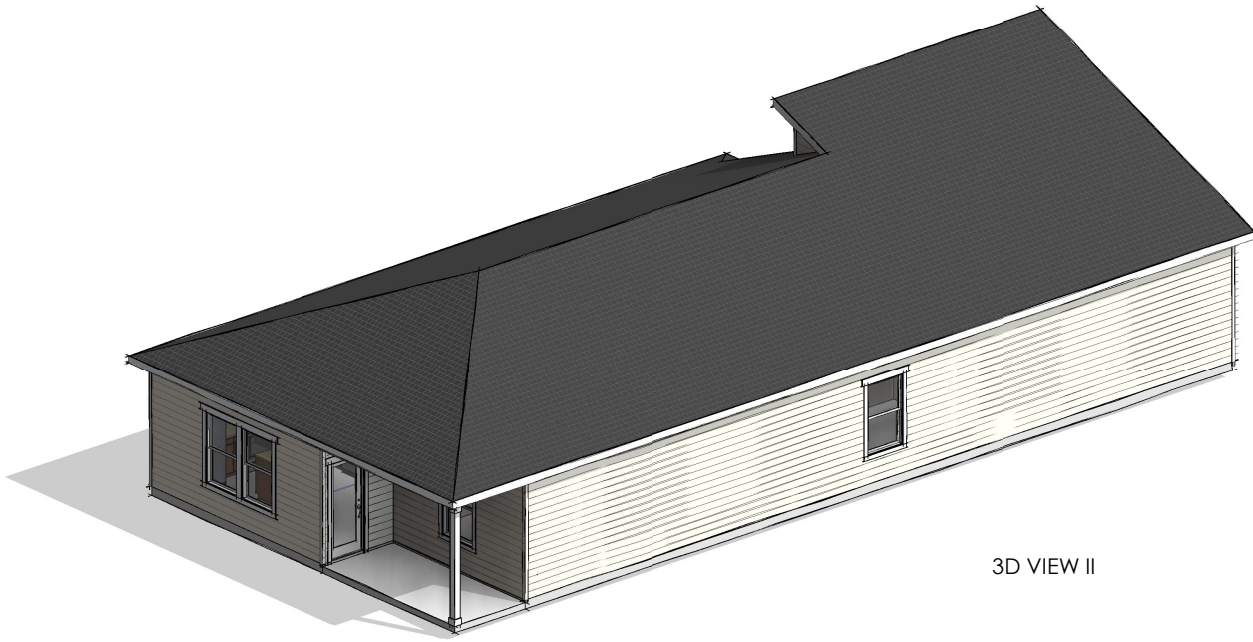
BUILDING
SECTIONS

SHEET #
A-7

3D VIEW I



3D VIEW II



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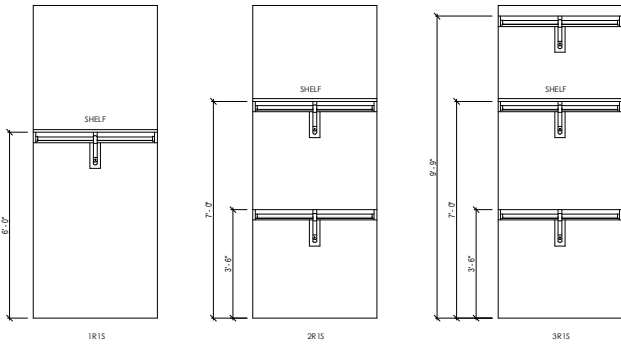
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PLAN #
30F-1250

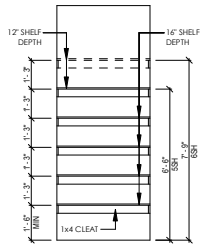
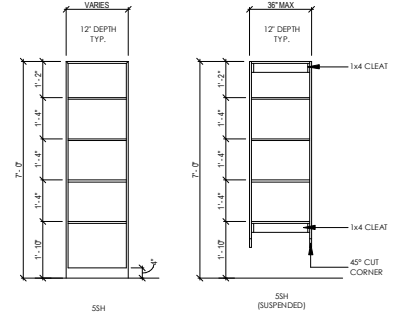
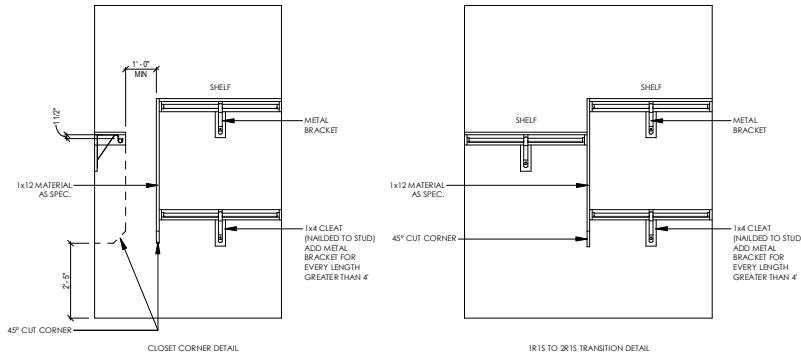
3D VIEWS

SHEET #
A-8

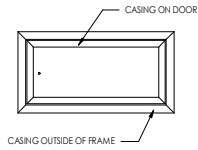


CLOSET DETAILS

SCALE: 1/4" = 1'-0"



NOTE: ATTIC STAIR PULL-DOWN TO BE TRIMMED ON INSIDE OF DOOR AND OUTSIDE OF DOOR FRAME.

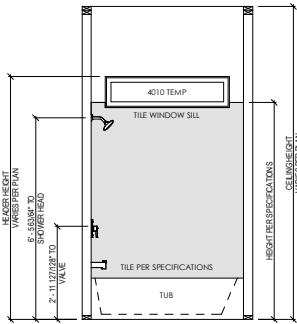


CLOSET DETAILS

SCALE: 3/16" = 1'-0"

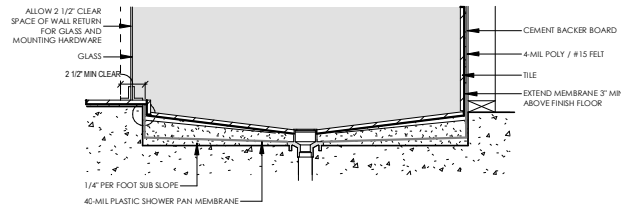
TYPICAL ATTIC PULL-DOWN STAIR TRIM DETAIL

SCALE: 1/4" = 1'-0"



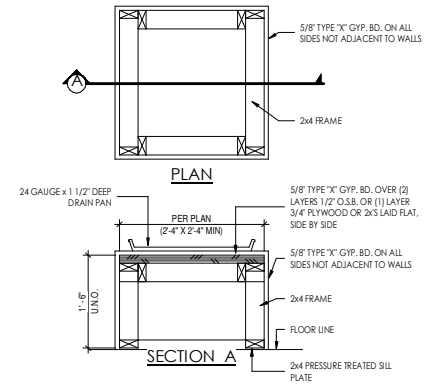
STANDARD TUB / SHOWER SURROUND

SCALE: 1/4" = 1'-0"



MUD PAN SHOWER

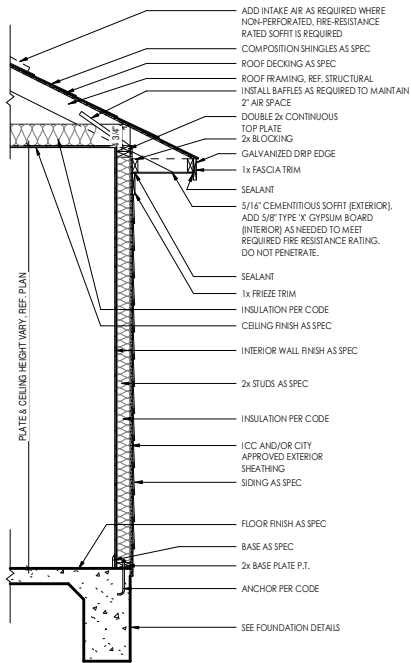
SCALE: 3/4" = 1'-0"



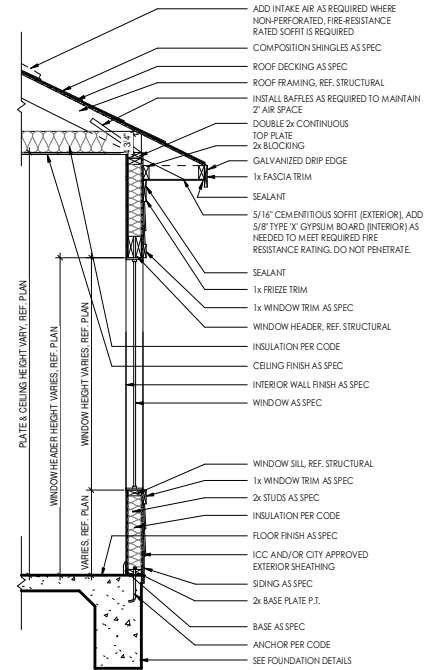
WATER HEATER PLATFORM

SCALE: 1/2" = 1'-0"





1 TYPICAL WALL SECTION - 1 STORY - SIDING
3/8" = 1'-0"



2 TYPICAL WALL SECTION - 1 STORY - SIDING - WINDOW
3/8" = 1'-0"



Planning & Zoning Commission Development Services

Agenda Item No. 12.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

3200 NORTH FM 1417 (HERITAGE PARKWAY) (Project No.000133-2025)

The request of City of Sherman (Owner), Aaron Babcock (Applicant) and Underwood Drafting & Surveying (Surveyor) for the property located at 3200 North FM 1417 (Heritage Parkway), consisting of 1.605 acres, being in the J.B McAnair Survey, Abstract No. 753, currently zoned R-6 (Single-Family Residential) District/F.M. Highway 1417 Overlay District, as follows:

Board of Adjustment:

1. Public Hearing and Variance under Section 14.02.006 to allow 3.01 front set back in lieu of the required 40 feet.

Planning and Zoning Commission

2. Site Plan for Sherman Fire Station No.3 Addition.

Background:

The property is located in the 3200 North FM 1417 (Heritage Parkway). The owner is requesting a variance for a 3.01 front set back in lieu of the required 40 feet.

The applicant is also requesting Site Plan approval for "Sherman Fire Station No.3 Addition".

The following has been approved for this location:

- 7/18/2025 - Preliminary Plat of Sherman Fire Station No.3 Addition.
- 6/8/1999 - SUP- To allow a fire station in an R-1 (One Family Residential) District

Origination:

City of Sherman (Owner), Aaron Babcock (Applicant) and Underwood Drafting & Surveying (Surveyor)

Staff Recommendation:

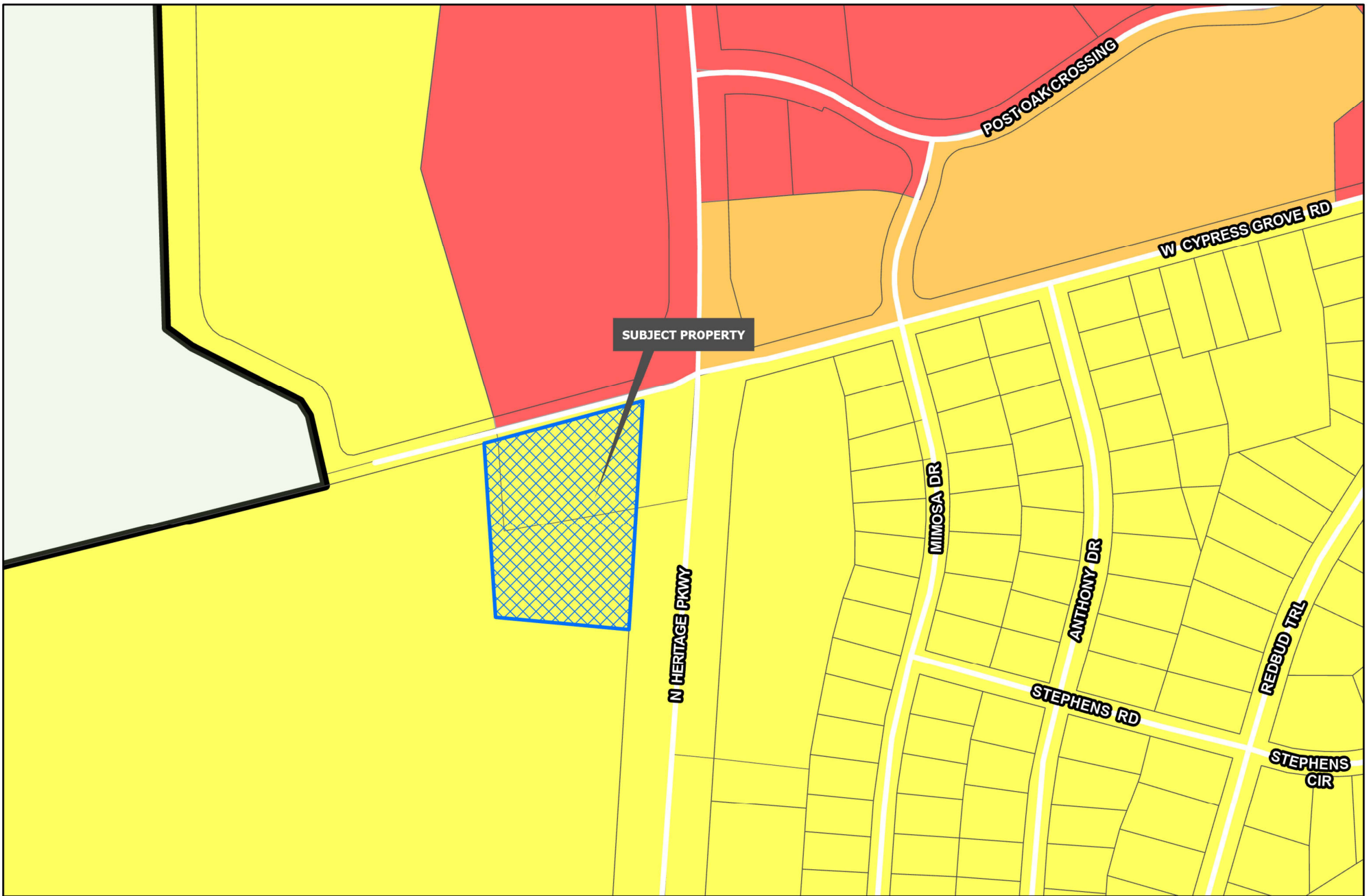
Staff recommends approval.

Attachments:

1. Location Map
2. Zoning Map
3. Future Land Use Map

4. Property Notification Sign
5. Survey
6. Narrative
7. Site Plan
8. Landscape Plan
9. Building Elevations

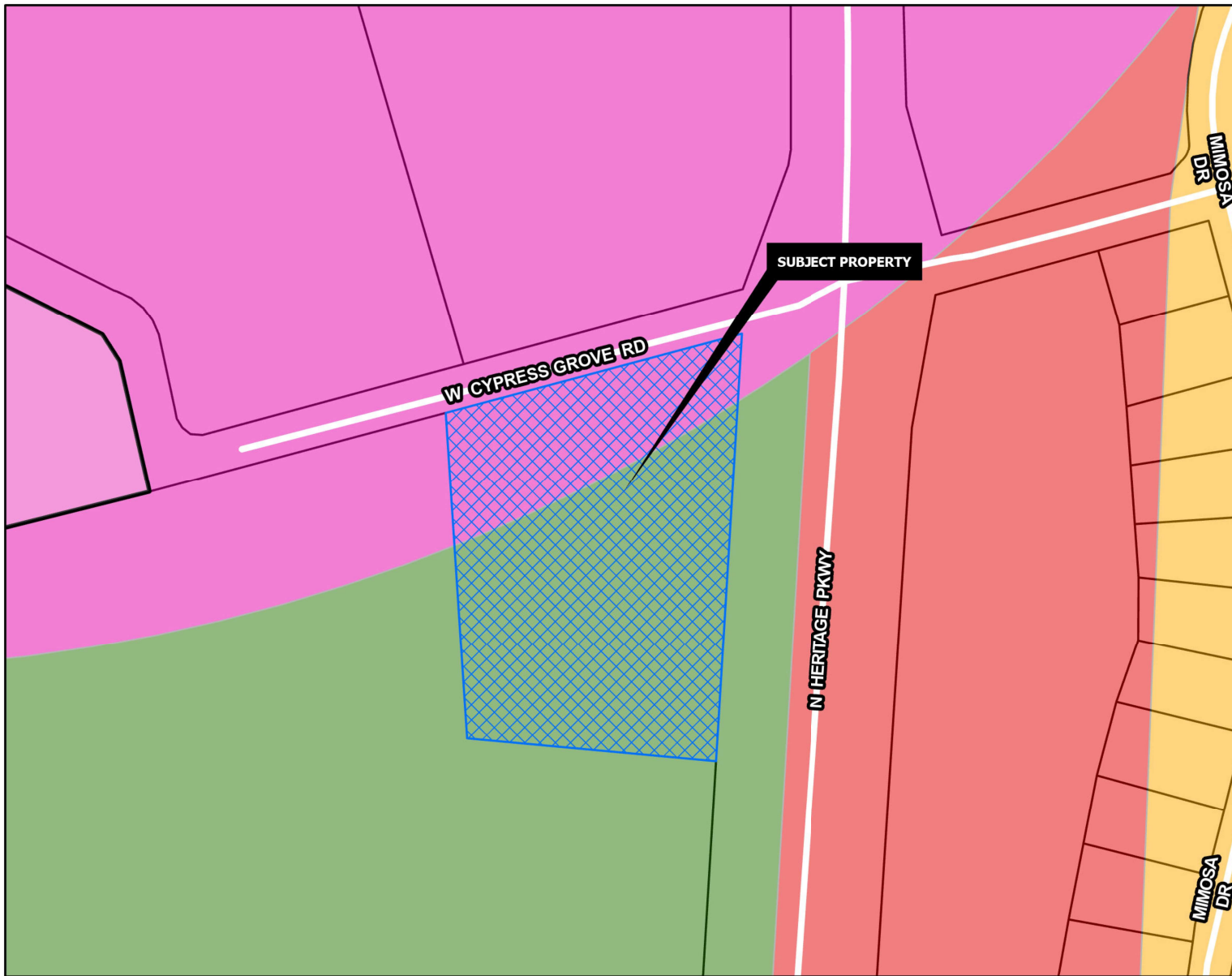




Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
 ZONING MAP
 3200 N FM 1417
 (HERITAGE PKWY)**





COMMUNITY COMMERCIAL

Intent & Character

The Community Commercial category is intended to promote smaller-scale commercial uses that are integrated into the community. These uses should be compatible with residential development and should provide necessary goods and services to residents. Many of the uses encouraged by this category can be similar to Regional Commercial, but should be developed in a much smaller and community-compatible scale.

Appropriate Land Use Types

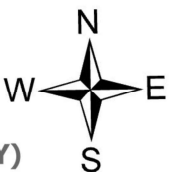
- Retail and Restaurants
- Grocery Stores
- Professional Offices/Services
- Personal Services
- Childcare

Compatible Zoning Districts

- Neighborhood Commercial
- Retail Business
- Office

Considerations

- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



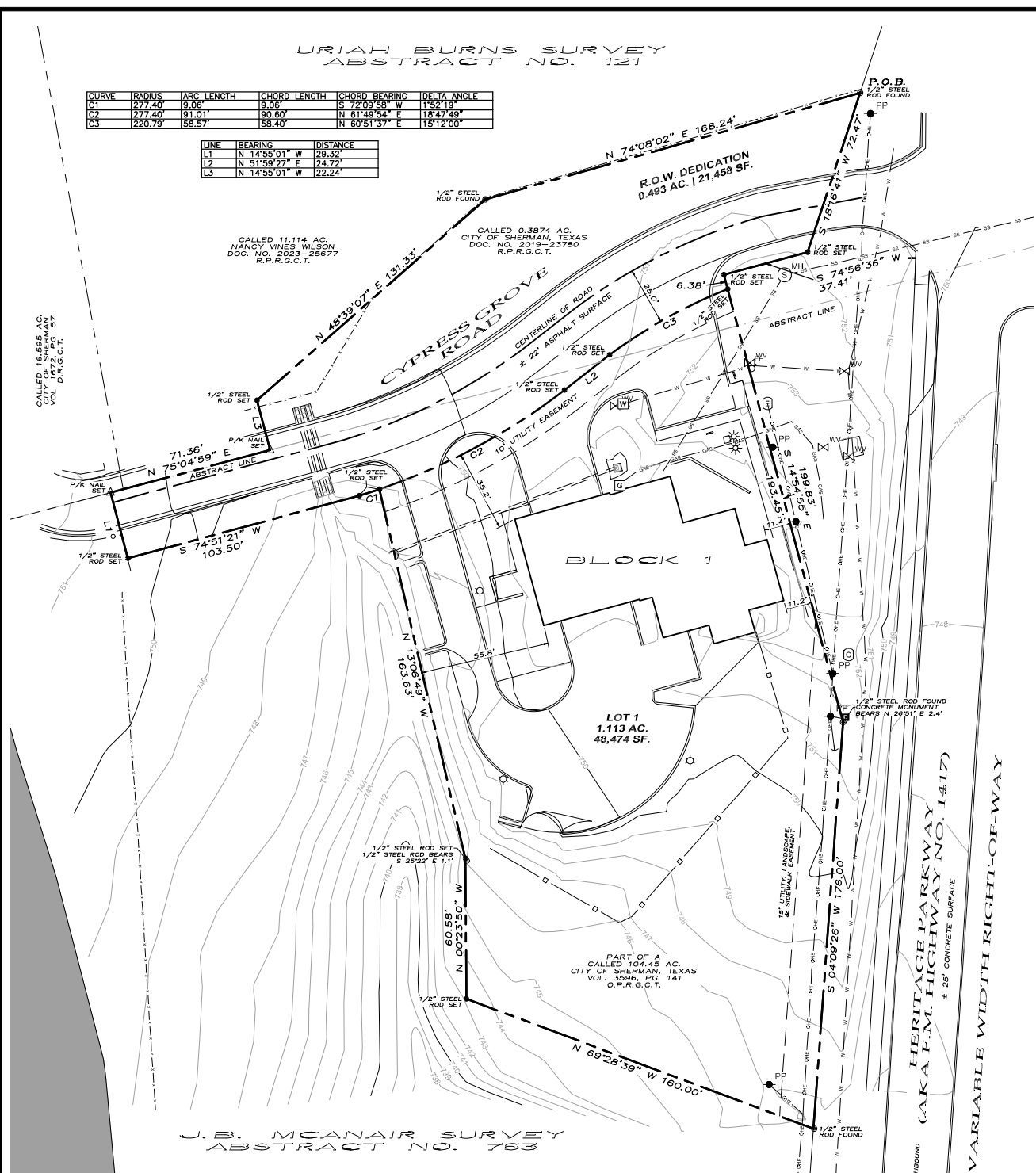
3200 NORTH HERITAGE PARKWAY – PROPERTY NOTIFICATION SIGN



URIAH BURNS SURVEY
ABSTRACT NO. 121

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	277.40	9.06	9.06	S 72°09'58" W	1°52'19"
C2	277.40	91.01	90.60	N 61°49'54" E	18°47'49"
C3	220.79	58.57	58.40	N 60°51'37" E	15°12'00"

LINE	BEARING	DISTANCE
L1	N 14°55'01" W	29.32
L2	N 51°59'23" E	24.72
L3	N 14°55'01" W	22.24



LEGAL DESCRIPTION

Situated in the County of Grayson, State of Texas, being a part of J.B. McAnair Survey, Abstract No. 763, and being part of a called 104.45 acre tract of land described in the deed to City of Sherman, Texas, recorded in Volume 3596, Page 141, Official Public Records, Grayson County, Texas, and all of a called 0.3874 acre tract of land described in the deed to City of Sherman, Texas, recorded in Document No. 2019-23780, Real Property Records, Grayson County, Texas, and being described by metes and bounds as follows:

Beginning at a found 1/2" steel rod for the northeast corner of said 0.3874 acre tract, common to the eastern-most southeast corner of a called 11.114 acre tract of land described in the deed to Nancy Vines Wilson, recorded in Document No. 2023-25677, said Real Property Records, and on the westerly right-of-way line of Heritage Parkway (AKA F.M. Highway No. 1417);

Thence South 18°16'41" West, with an easterly line of said 0.3874 acre tract, and with the westerly right-of-way line of said Heritage Parkway, a distance of 72.47 feet to a set 1/2" steel rod for the eastern-most southeast corner of said 0.3874 acre tract;

Thence South 74°56'36" West, with a southerly line of said 0.3874 acre tract, and with the northerly right-of-way line of said Heritage Parkway, a distance of 37.41 feet to a set 1/2" steel rod;

Thence South 14°54'55" East, with an easterly line of said 0.3874 acre tract, and with the easterly line of aforesaid 104.45 acre tract, and with the westerly right-of-way of said Heritage Parkway, a distance of 199.83 feet to a found 1/2" steel rod, and from which a found concrete monument bears North 26°51' East, a distance of 2.4 feet;

Thence South 04°09'26" West, continuing with the easterly line of said 104.45 acre tract, and with the westerly right-of-way line of said Heritage Parkway, a distance of 176.00 feet to a found 1/2" steel rod for the southeast corner of the herein described tract of land;

Thence crossing said 104.45 acre tract, the following 6 courses:

1. North 69°28'39" West, a distance of 160.00 feet to a set 1/2" steel rod for the southern-most southwest corner of the herein described tract of land;
2. North 00°23'50" West, a distance of 60.58 feet to a set 1/2" steel rod, from which a found 1/2" steel rod bears South 25°22' East, a distance of 1.1 feet;
3. North 13°06'49" West, a distance of 163.63 feet to a set 1/2" steel rod;
4. With a curve to the right having a radius of 277.40 feet, (chord bears South 72°09'58" West, 9.06 feet) an arc length of 9.06 feet to a set 1/2" steel rod;
5. South 74°51'21" West, a distance of 103.50 feet to a set 1/2" steel rod for the western-most southwest corner of said 104.45 acre tract;
6. North 14°55'01" West, a distance of 29.32 feet to a set P/K nail for the northwest corner of the herein described tract of land, and on the southerly line of said 104.45 acre tract, and on the southerly line of a called 16.595 acre tract of land described in the deed to City of Sherman, recorded in Volume 1672, Page 57, Deed Records, Grayson County, Texas, and in Cypress Grove Road;

Thence North 75°04'59" East, with the northerly line of said 104.45 acre tract, and with the southerly line of said 16.595 acre tract, and with a southerly line of aforesaid 11.114 acre tract, a distance of 71.36 feet to a set P/K nail for the southwest corner of aforesaid 0.3874 acre tract common to the southern-most southeast corner of said 11.114 acre tract;

Thence North 14°55'01" West, with the westerly line of said 0.3874 acre tract, and with an easterly line of said 11.114 acre tract, a distance of 22.24 feet to a set 1/2" steel rod for the western-most northwest corner of said 0.3874 acre tract;

Thence North 48°39'07" East, with the northwesterly line of said 0.3874 acre tract, and with the southeasterly line of said 11.114 acre tract, a distance of 131.33 feet to a found 1/2" steel rod for the northern-most northwest corner of said 0.3874 acre tract;

Thence North 74°08'02" East, with the northerly line of said 0.3874 acre tract, and with a southerly line of said 11.114 acre tract, a distance of 168.24 feet to the Point of Beginning and containing 1.605 acres (69,932 square feet) of land, more or less.

All 1/2" steel rods set with a plastic yellow cap stamped "RPLS 4709"
All P/K nails set with an aluminum washer stamped "RPLS 4709"

OWNER'S CERTIFICATE OF DEDICATION

THAT the CITY OF SHERMAN, acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as SHERMAN FIRE STATION NO. 3 ADDITION, an addition to the City of Sherman, Grayson County, Texas. Being 1.217 acres situated in and being a portion of the J.B. McAnair Survey, Abstract No. 763, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat for the mutual use and accommodation of all public and private utilities desiring to use or using same. Any public or private utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective systems on any of these easements strips and any public or private utility shall, at all times, have a right of ingress and egress to and from and upon the said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the permission of anyone. This plat approved subject to all ordinances, rules regulations and resolutions of the City of Sherman, Texas.

WITNESS, my hand at Grayson County, Texas, this ___ day of _____, 2025.

DR. ZACHARY FLORES
CITY MANAGER

STATE OF TEXAS
COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared, DR. ZACHARY FLORES known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ___ day of _____, 2025.

Notary Public in and for
the State of Texas
Commission Expires: _____

ACCEPTANCE

Approved this ___ day of _____, 2025, by the City
Planning and Zoning Commission of the City of Sherman, Texas.

Chairman Secretary

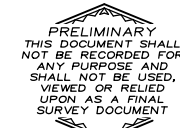
SURVEYOR'S CERTIFICATION

KNOWN ALL MEN BY THESE PRESENTS:

That I, Douglas W. Underwood, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

Douglas W. Underwood
Registered Professional
Land Surveyor, No. 4709

Date



Preliminary plat, for inspection
purposes only.
In no way official or approved for
record purposes.

PRELIMINARY PLAT
SHERMAN FIRE STATION
NO. 3 ADDITION

Being a part of the
J.B. McAnair Survey
Abstract Number 763
Being in the City of Sherman
Grayson County, Texas
Containing 1.605 Acres

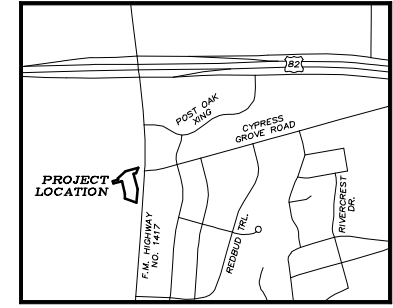
07-01-2025

J.B. MCANAIR SURVEY
ABSTRACT NO. 763

FEMA FLOOD MAP NO.
8161C 02750 S
EFFECTIVE DATE
09/01/2022

- ~ GENERAL NOTES ~
1. Water Supply to be provided by the City of Sherman.
 2. Sewer Service to be provided by the City of Sherman.
 3. Electrical service is provided by Oncor Electrical Delivery.
 4. Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
 5. Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
 6. The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or drainage easements for the control of erosion.
 7. Neither the City of Sherman nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
 8. The owners and builders must comply with all other local, state and federal regulations regarding developments of this type.
 9. Bearings are based on the City of Sherman Control Monument Network.
 10. The City of Sherman reserves the right to require submission of Development Plat based on proposed use of each lot.
 11. The subject property does not lie within a Federal Emergency Management Agency (FEMA) designated flood plain as shown by Firm Map No. 48181C 0270 G, effective date September 1, 2022.

LOCATION MAP



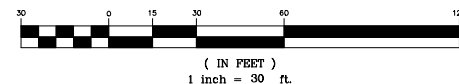
(NOT TO SCALE)

LEGEND

●	P.O.B. POINT OF BEGINNING
○	1/2" STEEL ROD SET
⊙	1/2" STEEL ROD FOUND
⊕	P/K NAIL SET
⊖	P/K NAIL FOUND
▲	CORC. MON. FOUND
□	D.R.G.C.T. DEED RECORDS, GRAYSON COUNTY, TEXAS
○	O.P.A.R.S.T. OFFICIAL PUBLIC RECORDS, GRAYSON COUNTY, TEXAS
○	R.P.R.S.G.T. REAL PROPERTY RECORDS, GRAYSON COUNTY, TEXAS
---	BOUNDARY LINE
---	PROPERTY LINE

~ BASIS OF BEARINGS ~
GRID NORTH AND S
TEXAS STATE PLANE COORDINATE SYSTEM
NORTH CENTRAL ZONE

GRAPHIC SCALE



UNDERWOOD
DRAFTING & SURVEYING

OWNERS/DEVELOPER
CITY OF SHERMAN
317 S. TRAVIS STREET
SHERMAN, TEXAS 75009

SURVEYOR
DOUGLAS W. UNDERWOOD
R.P.L.S. NO. 4709
3404 INTERURBAN ROAD
DENISON, TEXAS 75021
PH: (903) 465-2151

City of Sherman
Chief Billy Hartsfield
3708 N. Frisco Road
Sherman, TX 75090

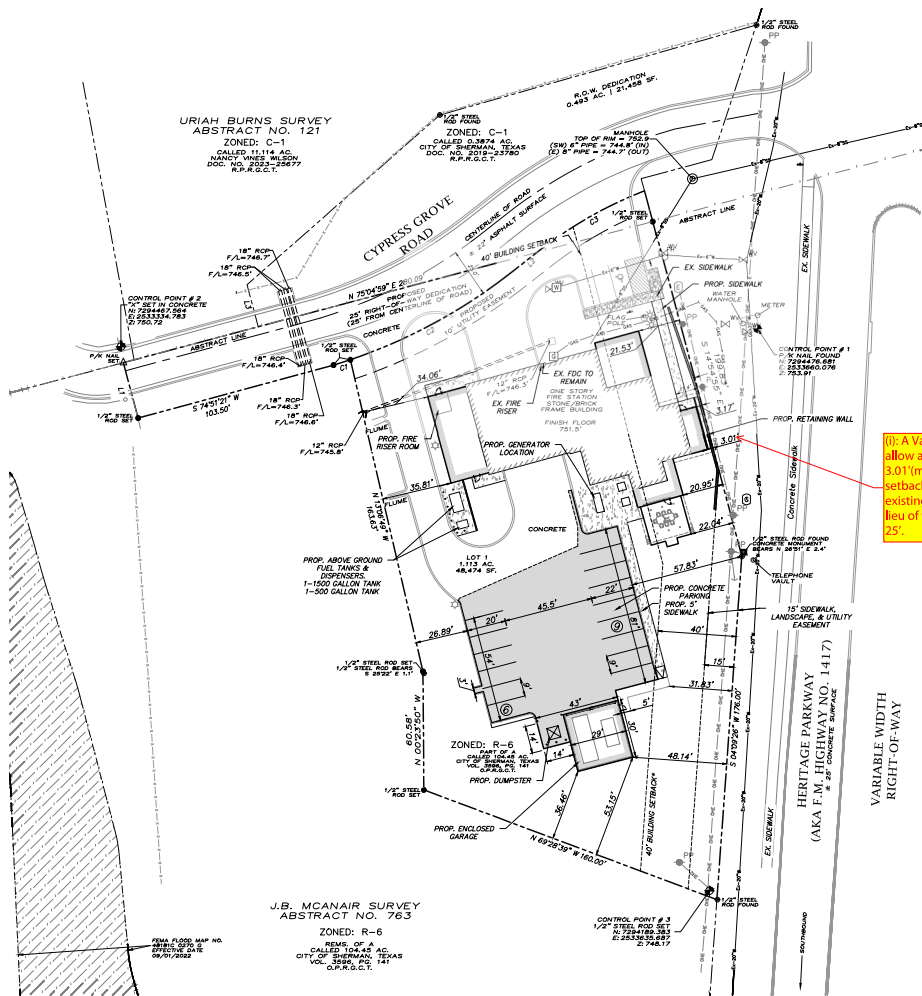
Variance / Special Exception

Project Narrative

Reference the included Site Plan layout as developed by Cross Engineering, dated 08/06/2025.

Variance request – 3200 N FM 1417(Heritage Parkway)

The west wall of the existing structure is located less than 25'-0" from the easternmost property line. The set back varies from 3.01' to 22.04'. This is less than the 25 ft. setback required for the property line facing a thoroughfare street defined major arterial. Applicant is requesting a variance to allow the existing 3.01' (minimum) feet setback.



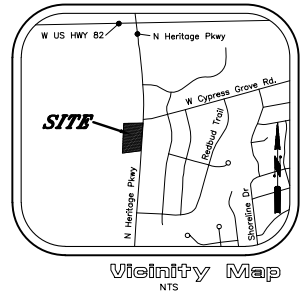
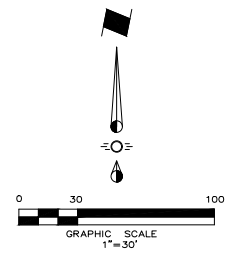
URIAH BURNS SURVEY
ABSTRACT NO. 121
ZONED: C-1
CALLED: 11-114 AC.
NANCY WHEELER
DOC. NO. 2012-23782
R.P.R.C.T.

ZONED: C-1
CALLED: 13.874 AC.
CITY OF SHERMAN, TEXAS
DOC. NO. 2012-23782
R.P.R.C.T.

J.B. MCANIR SURVEY
ABSTRACT NO. 763
ZONED: R-6
REAR OF A
CALLED: 104.45 AC.
CITY OF SHERMAN, TEXAS
DOC. NO. 2012-23782
R.P.R.C.T.

(i): A Variance to allow an 3.01' (minimum) setback for the existing structure in lieu of the required 25'.

*VARIANCE TO BE REQUESTED FOR ENCROACHMENT INTO BUILDING SETBACK



SITE DATA TABLE	
Name of Project/Development	Sherman Fire Station #3
Proposed Use:	Fire Station
Zoning District:	R-6
Lot Area Gross:	1,113 Acres (48,474 SF)
Impervious Surface Area:	26410,000 (SF)
Pervious Surface Area:	22084,000 (SF)
Open Space:	22064,000 (20,000 SF Min.)
BUILDING DATA	
Total Gross Intensity (FAR)	0.147 -1
Square Footage	
Ex. Building	5,186 SF
Prop. Building	7,116 SF
Total Square Footage	7,116 SF
Percent Lot Coverage	14.7%
Setbacks	
Front Setback	40'
Side Interior Setback	0'
Rear Setback	0'
Maximum Structure Height	35'
Provided Structure Height	25'-6"
Max No. Stories/Floors	1-Storeys
PARKING & ACCESS	
Parking Required:	
1 Spaces per 400 SF Gross Floor Area	18
Total Parking Required	18
Parking Provided:	18
# Disabled Parking	1

- LEGEND**
- Proposed Concrete Pavement
 - Proposed Sidewalk (Private)
 - Existing FEMA Floodplain
 - Proposed Dumpster
 - ADA Parking
 - Parking Count
 - Barrier Free Ramp

ARCHITECT
Hidell Associates Architects
3033 Kellway Drive, Suite 120
Carrallton, Texas 75006
Phone (972) 416-4666
Email: ababcock@hidell.com
Contact: Aaron Babcock

ENGINEER:
Cross Engineering Consultants, Inc.
1720 W. Virginia Street
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jonathan D. Hake, P.E.

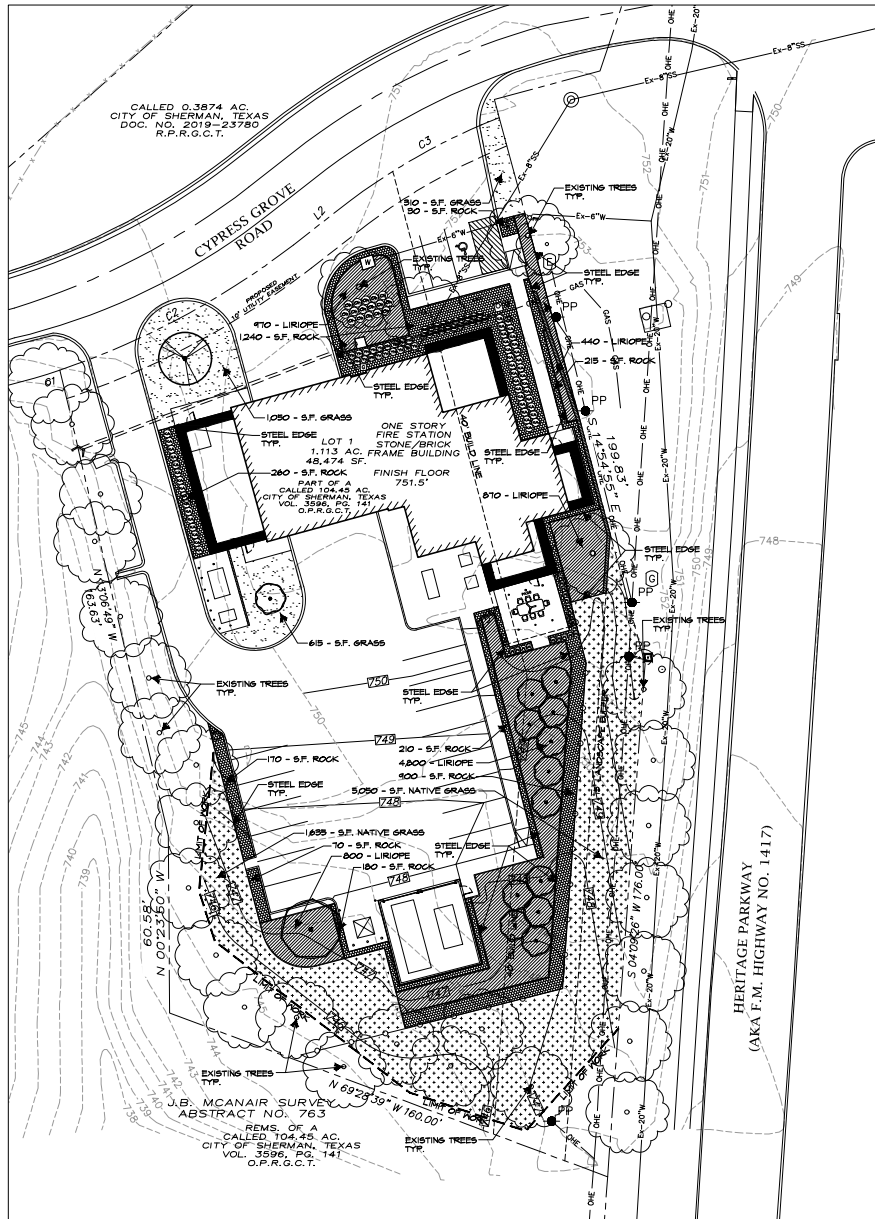
SURVEYOR:
Underwood Drafting & Surveying
3404 Interurban Road,
Denison, TX, 75021
Phone (903) 465-2151
Email: dwu@underwoodsurveying.com



NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY. (at least 72 hours prior to digging)

Issue Date	Description	 1720 W. Virginia Street • McKinney, Texas 75069 972.562.4409 • Texas P.E. Firm No. F-9135	THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF JONATHAN D. HAKE, P.E. ON 08/06/2025 IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.	SITE PLAN SHERMAN FIRE STATION #3 HIDELL ASSOCIATES ARCHITECTS CITY OF SHERMAN, TEXAS	Sheet No.
1	8/06/2025				SP
2					
3					
4					
5					
6			Project No. 25041		

25041 SHERMAN FIRE STATION #3



LARGE TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
1		CEDAR ELM	<i>Ulmus crassifolia</i>	8' caliper, 10'-12' Ht./ 4'-6" spread DBH, straight trunk.
1		CHINESE PISTACHE	<i>Quercus nimbargii</i>	8' caliper, 10'-12' Ht./ 4'-6" spread DBH, straight trunk.

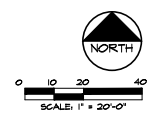
ORNAMENTAL TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
15		NATCHEZ GRAPE MYRTLE	<i>Lagerstroemia indica 'Natchez'</i>	8' Ht. 8" spread min., 80 gallon 3' trunk min. full, bushy tree formed specimen.

SHRUBS				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE AND CONDITION
18		BORNEO YAUNON HOLLY	<i>Actinodaphne 'Condour'</i>	5 gallon, 14" Ht. 18" D. 20" spread, full, bushy specimen
14		NERVEGRASS	<i>Bouteloua curtipendula</i>	3 gallon, 12" Ht. 14" D. 12" spread, bushy, full to ground
45		KALEIDOSCOPE ABELIA	<i>Abelia grandiflora 'Kaleidoscope'</i>	3 gallon, 12" Ht. 14" D. 12" spread, bushy, full to ground
16		FIRE TREE OAKLEAF HYDRANGEA	<i>Hydrangea paniculata 'Fire Tree'</i>	3 gallon, 18" Ht. 18" D. 24" spread, full, bushy specimen
21		NORTHERN SEA OATS	<i>Chenopodium leptophyllum</i>	3 gallon, 12" Ht. 14" D. 12" spread, bushy, full to ground

TURF GRASS				
QTY	SYMBOL	S.F. GRASS	SCIENTIFIC NAME	CONDITION
1475		S.F. GRASS BERMUDA GRASS	<i>Cynodon dactylon</i>	Solid sod
6495		S.F. NATIVE GRASS SHADE MIX	Shade Tolerant mix	Hydroponic or seed

GROUNDCOVER / MISCELLANEOUS				
QTY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	CONDITION
7880		LIRIOPE SPICATA	<i>Liriope spicata</i>	4" pots @ 8" on center, bushy, full to ground
9,275		NATIVE RIVER ROCK	5"-4" DIA. MIN. BROWN / TAN IN COLOR	4" Depth of River Rock over filter fabric.
000		RYERSON COMMERCIAL GRADE STEEL EDGE		

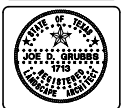
ALL LANDSCAPE BEDS SHALL BE EXCAVATED 2" IN DEPTH AND SOIL REMOVED, THEN FILLED WITH 2" OF PROFESSIONAL BEDDING SOIL FROM LIVING EARTH TECHNOLOGY AND TILLED TO THE DEPTH OF 4".
 ALL LANDSCAPE BEDS AND TREE WELLS SHALL RECEIVE A TOP DRESSING OF 3" DEEP FINE SHREDDED HARDWOOD MULCH FROM LIVING EARTH TECHNOLOGY.
 LANDSCAPE CONTRACTOR TO VERIFY ALL QUANTITIES



Date	Revisions

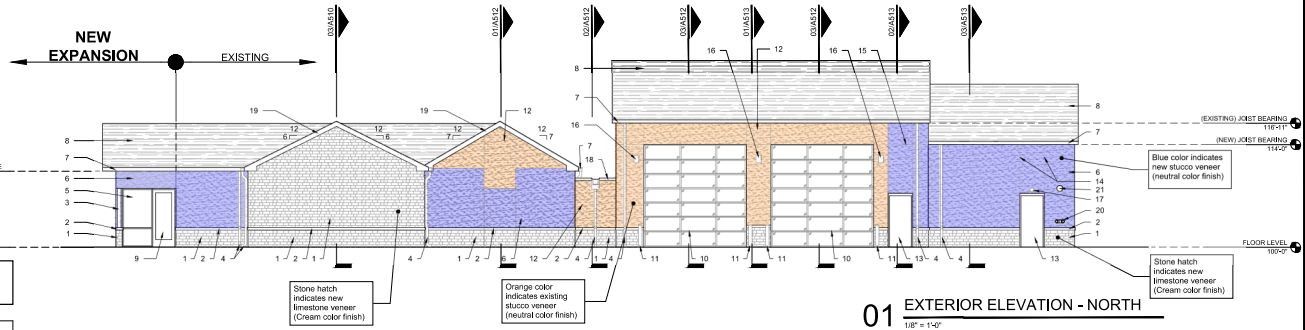
Issued For:
CONSTRUCTION
 Job No:
 25123
 Scale:
 1" = 20'-0"
 Drawn By:
 JDS
 Date:
 08-06-2025

Sherman Fire Station No. 3 Sherman Texas

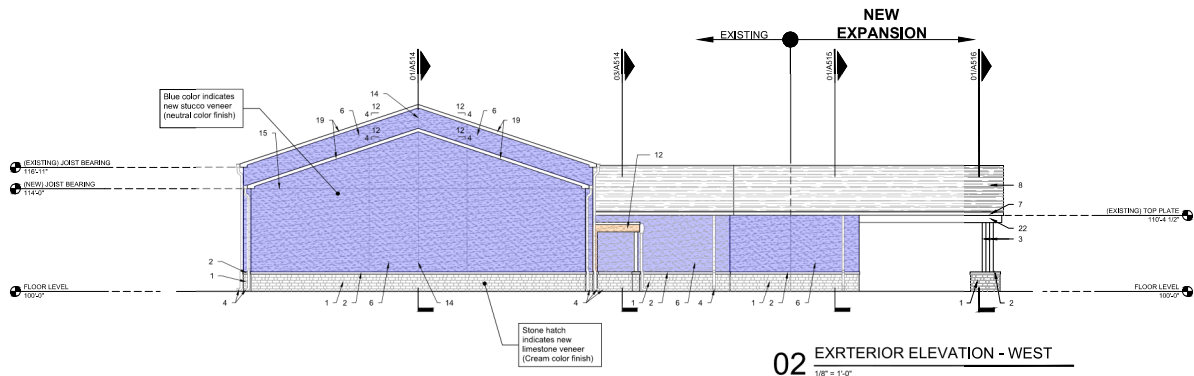


Landscape Plan

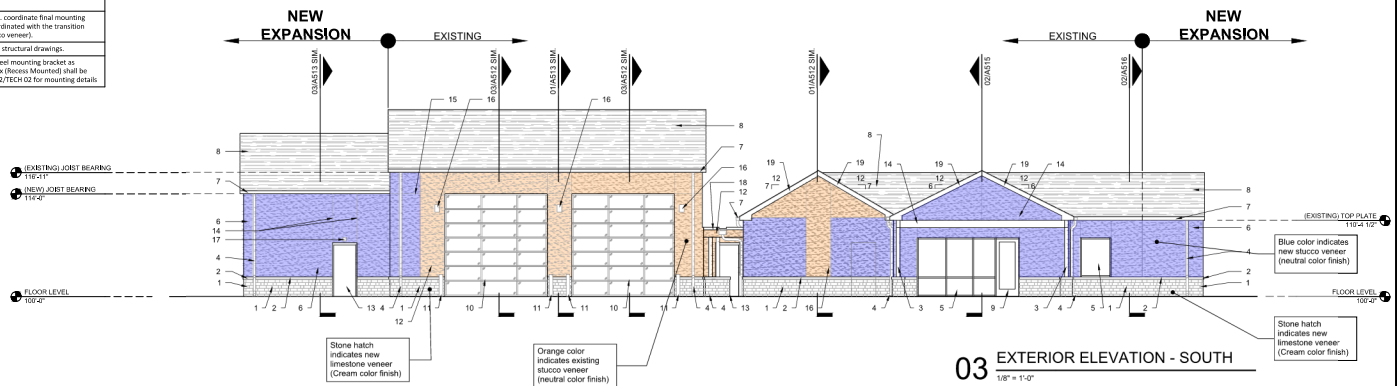
Sheet Title:
 Sheet Number:
 L1
 of L2 Sheets



01 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



02 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



03 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"

PROPOSED MATERIAL NOTE: REFERENCE SHEET A302 FOR EXTERIOR ELEVATION HATCHINGS WHICH INDICATE A PROPOSED MATERIAL FINISH OF STUCCO AND STONE VENEER

EXTERIOR ELEVATION NOTES		
EQ#	ITEM	DESCRIPTION
1	NEW MANUFACTURED THIN STONE VENEER	Manufactured thin stone veneer shall be installed over existing vapor barrier / sheathing and/or new vapor barrier and sheathing over wood stud framing.
2	CAST STONE ACCENT BAND	New 4" tall cast stone accent band. Band shall be set in equal panels over total length. Final color TBD.
3	STEEL COLUMN	Painted steel column.
4	ALUMINUM DOWNSPOUT	Provide and install 6" downsput (Prefinished Aluminum).
5	NEW ALUMINUM STOREFRONT SYSTEM	New 1" insulated glass in anodized aluminum storefront system. Equal to Kawneer trf4b-631.
6	NEW STUCCO FINISH	(Blue Poché) New cementitious stucco finish over metal lath on water resistant membrane on wall construction as specified. Stucco finish shall match profile of existing concrete roof structure. Final stucco color TBD.
7	ALUMINUM GUTTER	Provide and install 6" gutter (Prefinished Aluminum).
8	NEW ASPHALT SHINGLE ROOF	New asphalt shingle roof on water resistant membrane over existing vapor barrier / sheathing and/or new vapor barrier and sheathing over wood framing.
9	NEW ALUMINUM / GLASS DOOR (TYPE 7)	New anodized aluminum storefront door with manual hand crank operation. Opening shall receive new metal trim over sides of masonry opening.
10	NEW OVERHEAD DOOR (TYPE 7)	New aluminum / glass overhead door with manual hand crank operation. Opening shall receive new metal trim over sides of masonry opening.
11	STEEL BOLLARD	8" steel bollard with PVC bollard cover. Post Guard 8.7/8" marlex high density poly cover (Grey PMS 621) with red reflective tape inserts.
12	EXISTING STUCCO FINISH	(Orange Poché) Existing cementitious stucco finish over metal lath on water resistant membrane on wall construction as specified. Stucco finish shall be painted to match new stucco finish. Final stucco color TBD.
13	HOLLOW METAL DOOR	New hollow metal door in hollow metal frame. Door and frame shall be painted.
14	VERTICAL STUCCO CONTROL JOINT	New vertical stucco control joint to align with opening jamb or as noted otherwise.
15	HORIZONTAL STUCCO CONTROL JOINT	New horizontal stucco control joint to align with opening or as noted otherwise.
16	SURFACE MOUNTED LIGHT FIXTURE	Surface mounted light fixture (Center fixture on door. Install at 12'-0" a.f.f. Reference light fixture schedule.
17	SURFACE MOUNTED LIGHT FIXTURE	Surface mounted light fixture (Center fixture on door. Install at 8'-0" a.f.f. Reference light fixture schedule.
18	PRE-FINISHED METAL COPING	Prefinished metal coping.
19	NEW FIBER CEMENT FASCIA	New fiber cement fascia (painted).
20	NEW FDC CONNECTION	Exterior (flush/concealed) mounted fire riser department connection (FDC). coordinate final mounting height/ location with ahj. Note: typical mounting height is 4'-7" aff to centerline of valve. This height shall be coordinated with the transition between the various exterior wall materials (stucco and the thin stone veneer).
21	NEW FDC ALARM BELL	Exterior mounted fire riser department alarm bell. coordinate final mounting height/ location with ahj. This height shall be coordinated with the transition between the various exterior wall materials (stucco and the thin stone veneer).
22	NEW EXPOSED STEEL TUBE	Exposed steel tube to be painted (color TBD). Ref. structural drawings.
23	NEW WALL MOUNTED SECURITY CAMERA	New wall mounted camera. Provide and install steel mounting bracket as required for type of camera. Waterproof back box (Recess Mounted) shall be located adjacent to steel mounting bracket. Ref. OUYTEN23 for mounting details.

SHERMAN FIRE STATION NO. 3

SHERMAN, TX

**HIDELL
ASSOCIATES
ARCHITECTS**

3033 KELLWAY DRIVE, SUITE 120
CARRINGTON, TEXAS 75006 (972) 416-4666
E-MAIL: ahbeck@hidell.com



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SHERMAN, TX 75091
PHONE: (903) 895-7200

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CROSS ENGINEERING CONSULTANTS
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FAX: (972) 562-4471
jpc@crossengineering.biz

MEP
KJE
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LANDSCAPE ARCHITECT
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SITE PLAN REVIEW

EXTERIOR ELEVATIONS
TITLE

REVISIONS

JOB NO. 20295

Issue Date: JULY 1, 2024

Drawn By: AB

Checked By: AB

SHEET NO.

A300

SITE PLAN REVIEW

SHERMAN FIRE STATION NO. 3

SHERMAN, TX

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SITE PLAN REVIEW

EXTERIOR ELEVATIONS
NEW BUILDING

REVISIONS

JOB NO. 20295

Issue Date: JULY 1, 2024

Drawn By: AB

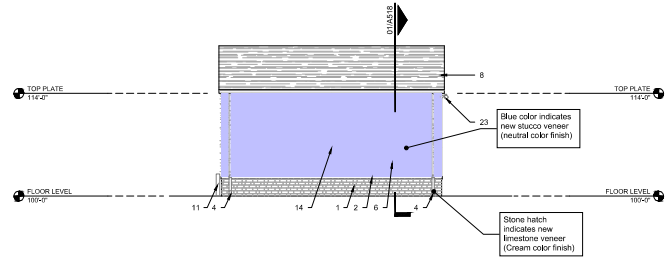
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SHEET NO.

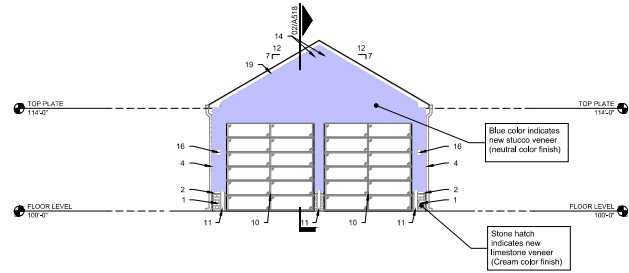
A301

SITE PLAN REVIEW

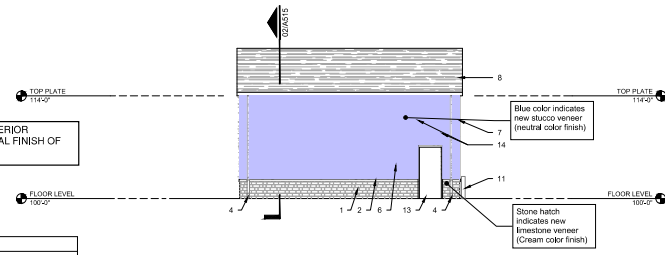
02 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



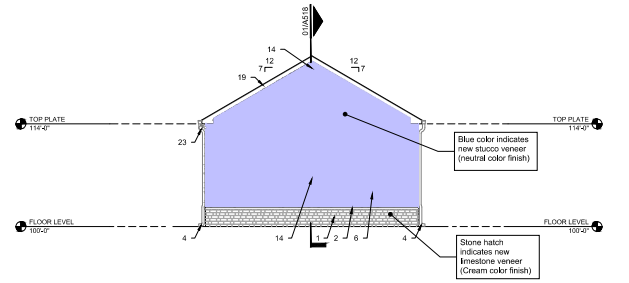
01 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



04 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



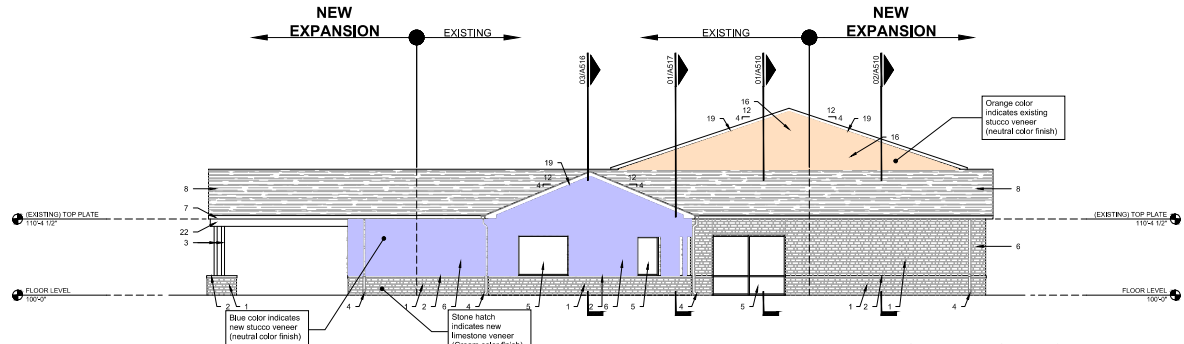
03 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



PROPOSED MATERIAL NOTE: REFERENCE SHEET A302 FOR EXTERIOR ELEVATION RENDERINGS WHICH INDICATE A PROPOSED MATERIAL FINISH OF STUCCO AND STONE VENEER

EXTERIOR ELEVATION NOTES		
EQ#	ITEM	DESCRIPTION
1	NEW MANUFACTURED THIN STONE VENEER	Manufactured thin stone veneer shall be installed over existing vapor barrier / sheathing and/or new vapor barrier and sheathing over wood stud framing.
2	CAST STONE ACCENT BAND	New 1/4" cast stone accent band. Band shall be set in equal panels over total length. Final color TBD.
3	STEEL COLUMN	Painted steel column.
4	ALUMINUM DOWNSPOUT	Provide and install 6" downspout (Prefinished Aluminum).
5	NEW ALUMINUM STOREFRONT SYSTEM	New 1" Insulglaz glass in anodized aluminum storefront system. Equal to Kawneer Intell 651.
6	NEW STUCCO FINISH	(Blue Poché) New cementitious stucco finish over metal lath on water resistant membrane or wall construction as specified. Stucco finish shall match profile of existing concrete roof structure. Final stucco color TBD.
7	ALUMINUM GUTTER	Provide and install 6" gutter (Prefinished Aluminum).
8	NEW ASPHALT SHINGLE ROOF	New asphalt shingle roof on water resistant membrane over existing vapor barrier / sheathing and/or new vapor barrier and sheathing over wood framing.
9	NEW ALUMINUM / GLASS DOOR (TYPE 7)	New anodized aluminum storefront door with offset pull. Door assembly type A (TYPE 7).
10	NEW OVERHEAD DOOR (TYPE 7)	New aluminum / glass overhead door with manual hand crank operation. Opening shall receive new metal trim from sides of masonry opening.
11	STEEL BOLLARD	8" steel bollard with PVC bollard cover. Post Guard 8 3/8" marlex high density poly cover (Qty PMS 423) with red reflective tape inserts.
12	EXISTING STUCCO FINISH	(Orange Poché) Existing cementitious stucco finish over metal lath on water resistant membrane on wall construction as specified. Stucco finish shall be painted to match new stucco finish. Final stucco color TBD.
13	HOLLOW METAL DOOR	New hollow metal door in hollow metal frame. Door and frame shall be painted.
14	VERTICAL STUCCO CONTROL JOINT	New vertical stucco control joint to align with opening jamb or as noted otherwise.
15	HORIZONTAL STUCCO CONTROL JOINT	New horizontal stucco control joint to align with opening or as noted otherwise.
16	SURFACE MOUNTED LIGHT FIXTURE	Surface mounted light fixture (Center fixture on door. Install at 12'-0" a.f.f. Reference light fixture schedule.
17	SURFACE MOUNTED LIGHT FIXTURE	Surface mounted light fixture (Center fixture on door. Install at 8'-0" a.f.f. Reference light fixture schedule.
18	FINISHED METAL COPING	Prefinished metal coping.
19	NEW FIBER CEMENT FASCIA	New fiber cement fascia (painted).
20	NEW FDC CONNECTION	Exterior (Rully) concealed mounted fire riser department connection (RDC), coordinate final mounting height/location with city. Note: Typical mounting height is 42" aft to centerline of valve. This height shall be coordinated with the transition between the various exterior wall materials (stucco and the thin stone veneer).
21	NEW FDC ALARM BELL	Exterior mounted fire riser department alarm bell. coordinate final mounting height/location with city. This height shall be coordinated with the transition between the various exterior wall materials (stucco and the thin stone veneer).
22	NEW EXPOSED STEEL TUBE	Exposed steel tube to be painted (color TBD). See structural drawings.
23	NEW WALL MOUNTED SECURITY CAMERA	New wall mounted camera. Provide and install metal mounting bracket as required for type of camera. Waterproof back box (Recess Mounted) shall be located adjacent to steel mounting bracket. Ref. 02/TECH 02 for mounting details.

NEW EXPANSION EXISTING EXISTING NEW EXPANSION



05 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



Limestone (Cream) veneer

REVISED PUBLIC ENTRY

NEW STONE VENEER

Neutral Stucco finish

Limestone (Cream) veneer

01 ARTIST RENDERING - NORTH ELEVATION
N.T.S.



REVISED PUBLIC ENTRY

Neutral Stucco finish

Retaining Wall with Limestone (Cream) veneer

Neutral Stucco finish

NEW STONE VENEER

Limestone (Cream) veneer

02 ARTIST RENDERING - EAST ELEVATION
N.T.S.



NEW BUILDING ADDITION

Neutral Stucco finish

Limestone (Cream) veneer

NEW SINGLE STORY GARAGE STRUCTURE

Neutral Stucco finish

Limestone (Cream) veneer

03 ARTIST RENDERING - STAFF PARKING
N.T.S.

**SHERMAN
FIRE STATION
NO. 3**

SHERMAN, TX

**HIDELL
ASSOCIATES
ARCHITECTS**

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CROSS ENGINEERING CONSULTANTS
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LANDSCAPE ARCHITECT
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SITE PLAN REVIEW

EXTERIOR ELEVATIONS
NEW BUILDING

REVISIONS

JOB NO. 20295

Issue Date: JULY 1, 2024

Drawn By: AB

Checked By: AB

SHEET NO.

A302

SITE PLAN REVIEW



Planning & Zoning Commission Development Services

Agenda Item No. 13.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

2000 BLOCK EAST IDA ROAD AND 3501-3701 BLOCK SOUTH DEWEY AVENUE (Project No. 000140-2025)

The request of Austin College (Owner), Robert E. Tesch (Applicant), Pape Dawson (Engineer) and Copley Land Surveying (Surveyor) concerning the property located in the 2000 Block East Ida Road and 3501-3701 Block South Dewey Avenue, consisting of 212.1 acres, being a part of John Kitchen Survey, Abstract No.673 and a part of the Robert Thompson Survey, Abstract No. 1200, and currently located in the ETJ (Extraterritorial Jurisdiction), as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from an R-A (Residential Agricultural) District to PD (Planned Development) District.

Background:

The property is located in the 2000 Block East Ida Road and 3501-3701 Block South Dewey Avenue. The owner is requesting a Zone Change from an R-A (Residential Agricultural) District to PD (Planned Development) District.

Post Oak Village is visioned as a vibrant master planned community to provide various types of retail and commercial development transitioning to residential areas that consist of multi-family and several types of single-family residences. The overall development is approximately 212.1 acres. Multiple trails and walkways throughout will connect the different areas of development culminating at the amenity area. Amenities will include sports fields, a series of trails, and pedestrian amenities that will eventually connect to the proposed Southeast Trail B that runs along Post Oak Creek. Post Oak Village will have retail & commercial uses and a variety of residential land uses, as shown in the Zoning District Boundary Exhibit. Residential is the primary land use at different densities that support different lifestyles and income levels.

Origination:

Austin College (Owner), Robert E. Tesch (Applicant), Pape Dawson (Engineer) and Copley Land Surveying (Surveyor)

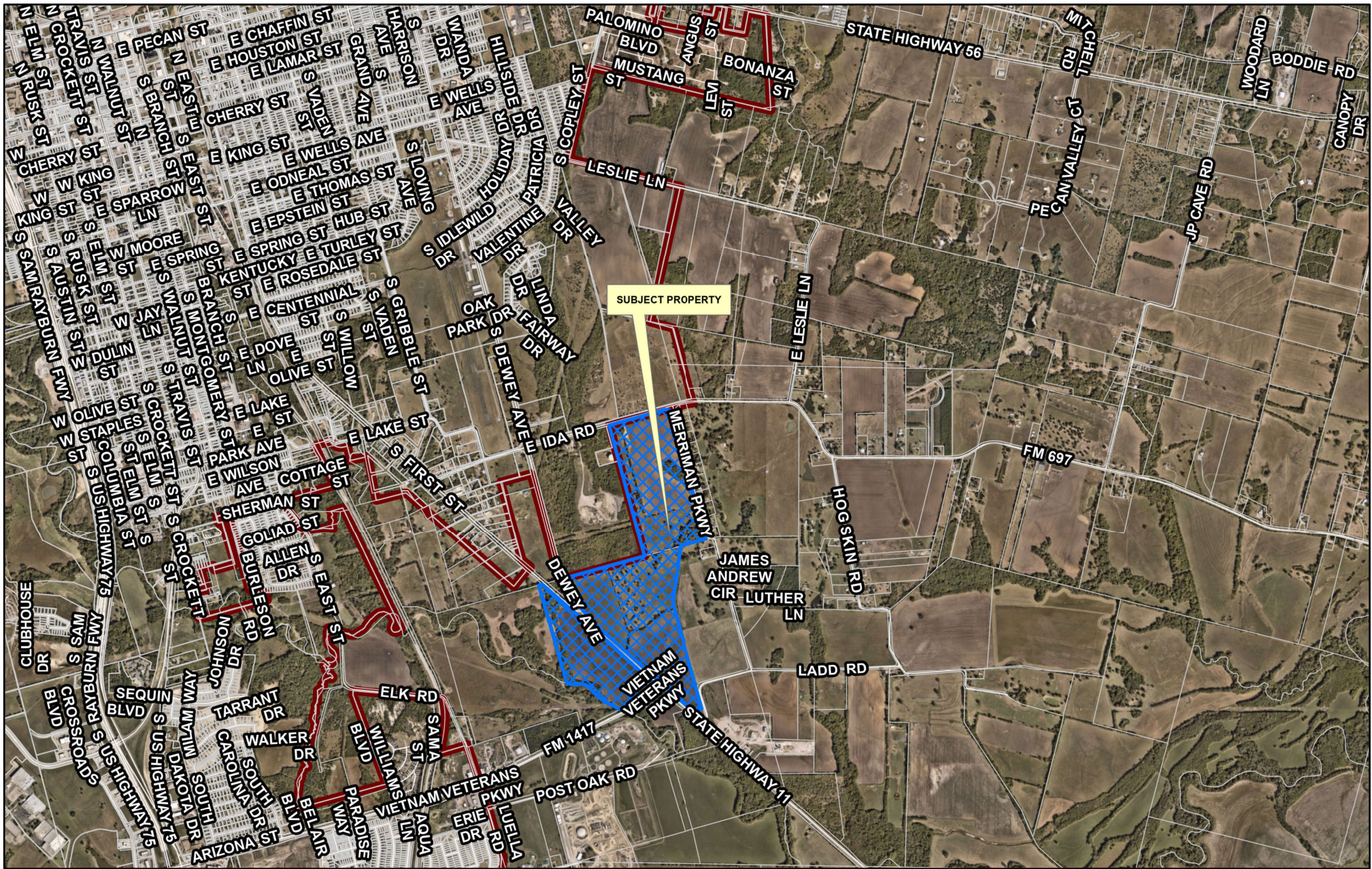
Staff Recommendation:

Staff has no recommendation for this zone change request.

Attachments:

1. Location Map
2. Zoning Map

3. Future Land Use Map
4. Property Notification Sign
5. Survey
6. Narrative
7. PD Development Standards
8. Zoning Exhibit
9. Staff Review Letter



Sherman
CLASSIC TOWN. BROAD HORIZON.

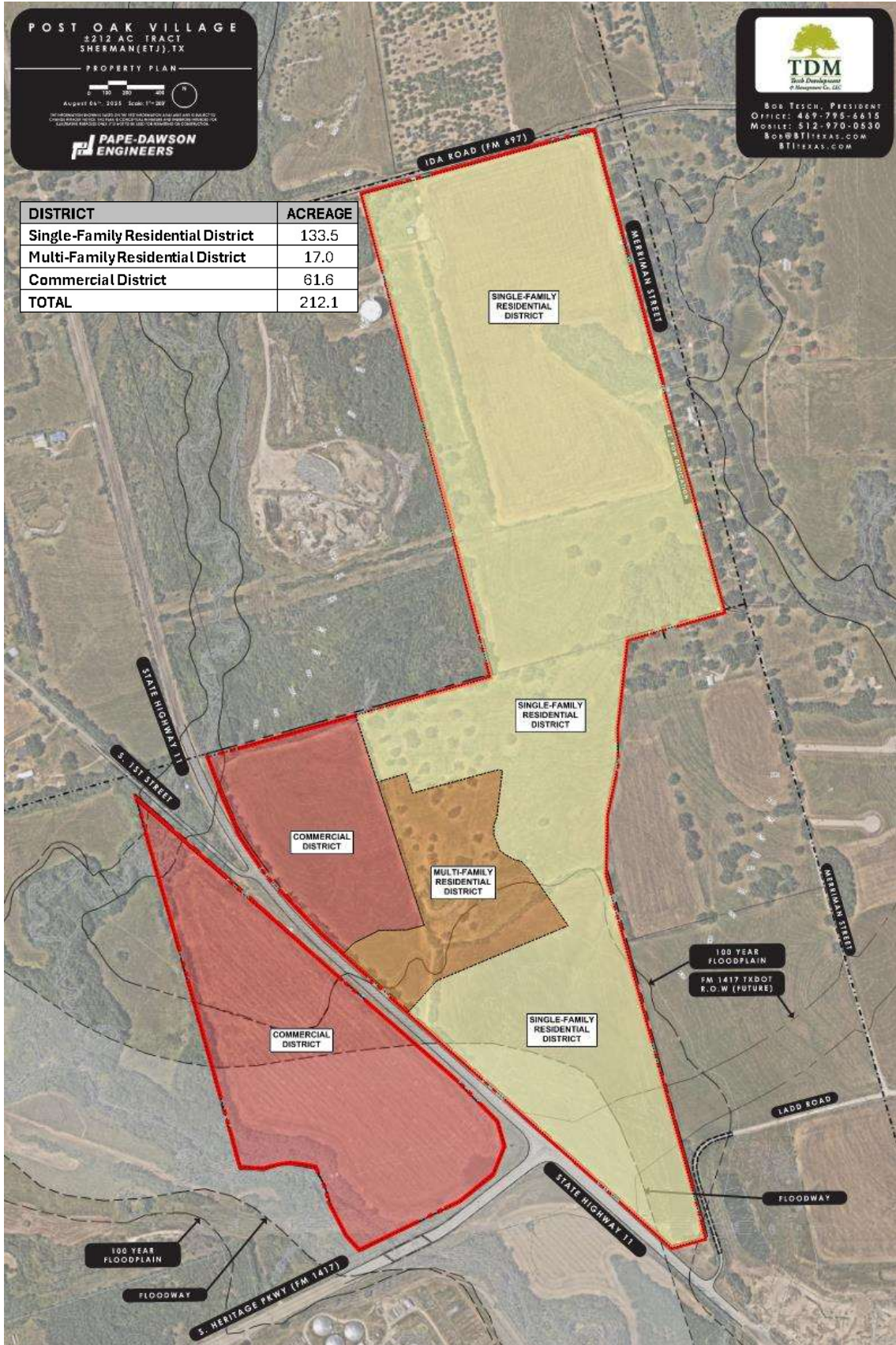
Development Services Department

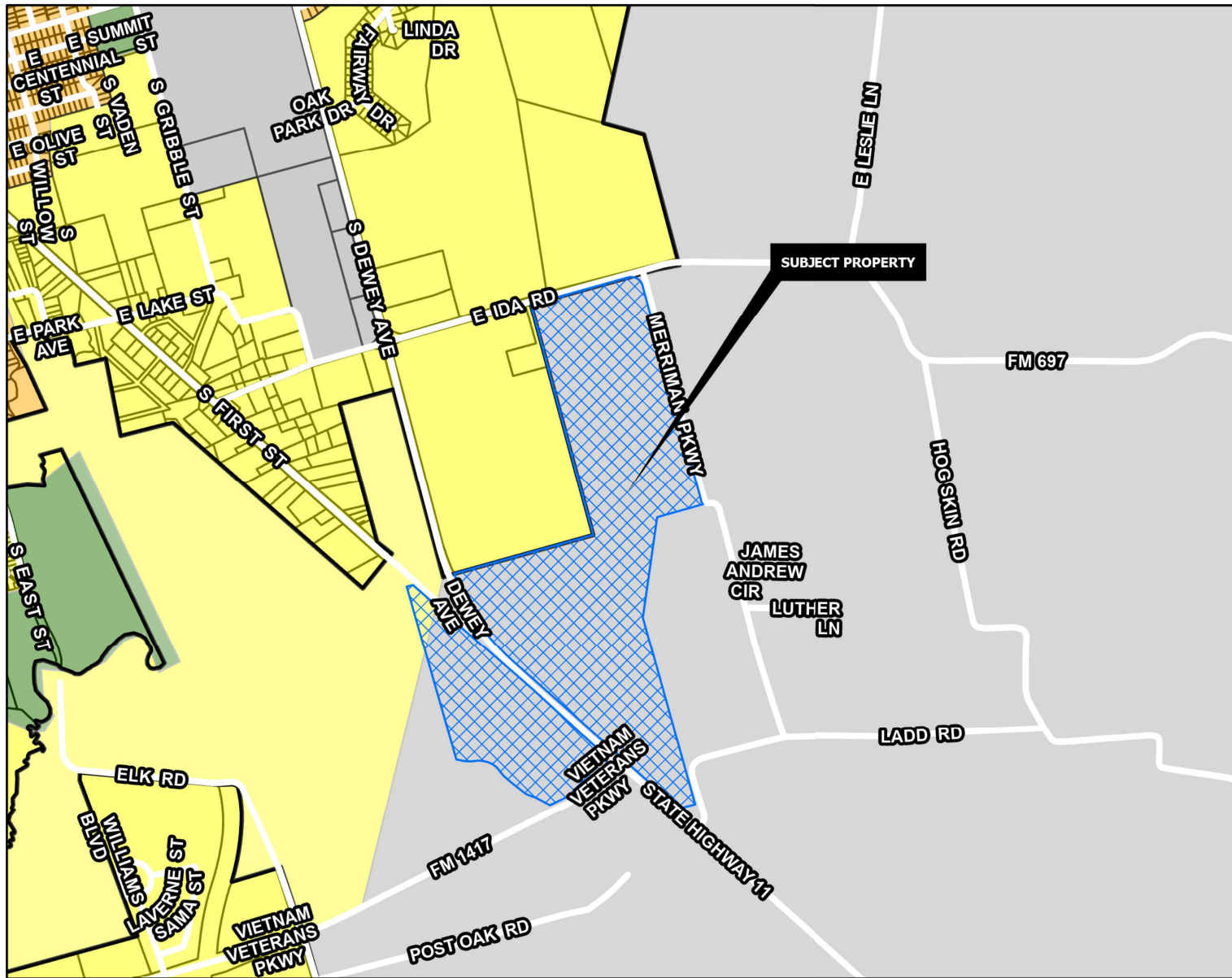
CITY OF SHERMAN
LOCATION MAP
2000 BLK E IDA RD &
3501-3701 BLK S DEWEY AVE



PAPE-DAWSON

Post Oak Village Zoning District Boundary Exhibit





AGRICULTURE/RURAL

Intent & Character

The Agriculture/Rural category is intended for areas of Sherman that are not anticipated for development within the next ten years. These areas are generally located in the ETJ and do not have adequate utilities planned to serve development. Development in this category will generally be served by well water and on-site sewer facilities. It is intended that as development and utilities move further out, these areas should be re-evaluated and assigned an appropriate Future Land Use category during the next comprehensive plan update (or sooner, if needed).

Appropriate Land Use Types

- Large lot residential
- Farming and agriculture

Compatible Zoning Districts

- Residential Agricultural
- Estate Residential

Considerations

- Since a majority of this category is located in the ETJ, use cannot be controlled through the application of zoning. Because of this, the subdivision ordinance should be evaluated to ensure quality subdivision regulations.



2000 Block East Ida Road and 3501-3701 Block South Dewey – Property Notification Sign

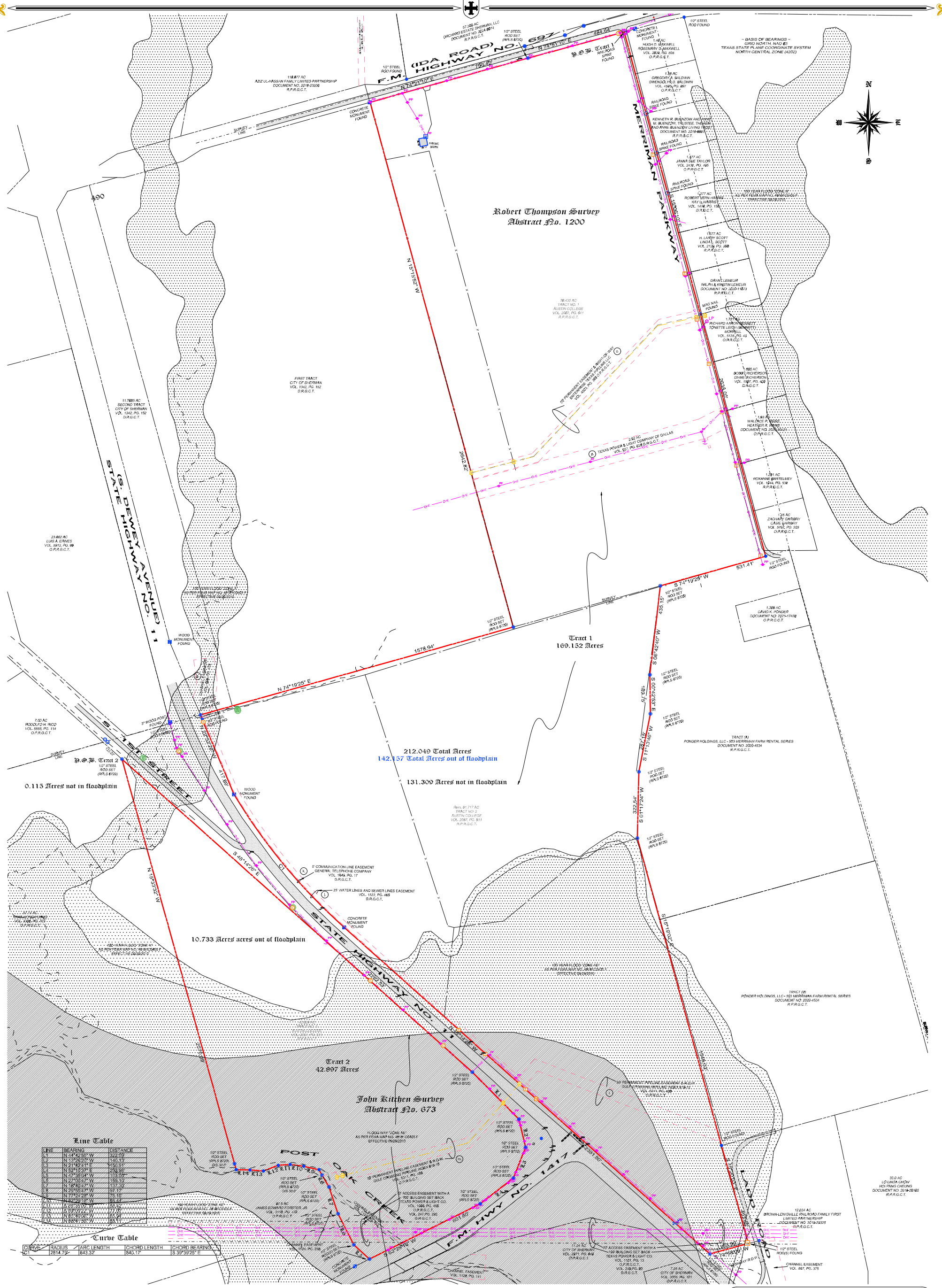


2000 Block East Ida Road and 3501-3701 Block South Dewey – Property Notification Sign



2000 Block East Ida Road and 3501-3701 Block South Dewey – Property Notification Sign



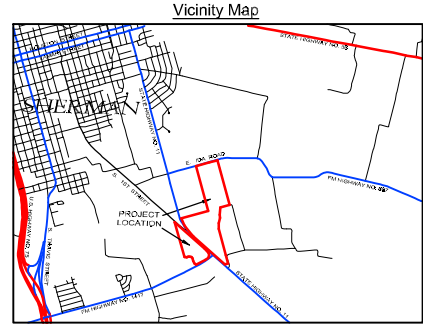


Line Table

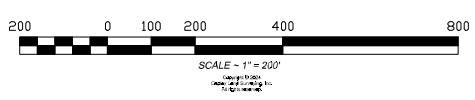
LINE	BEARING	DISTANCE
L1	N 14° 25' 00" W	125.35
L2	N 74° 19' 25" E	1578.94
L3	N 21° 42' 51" E	1180.91
L4	N 14° 25' 00" W	228.35
L5	N 27° 33' 14" W	103.00
L6	N 27° 33' 14" W	185.10
L7	N 14° 25' 00" W	137.00
L8	N 21° 42' 51" E	67.17
L9	N 21° 42' 51" E	76.10
L10	N 21° 42' 51" E	100.00
L11	S 40° 11' 25" E	531.41
L12	S 74° 19' 25" W	425.00
L13	M 07° 42' 08" S	189.15
L14	S 00° 42' 35" E	322.54
L15	M 12° 11' 11" S	177.00
L16	S 17° 17' 24" E	322.54
L17	S 74° 19' 25" W	425.00
L18	N 14° 25' 00" W	125.35
L19	N 14° 25' 00" W	125.35
L20	N 14° 25' 00" W	125.35
L21	N 14° 25' 00" W	125.35
L22	N 14° 25' 00" W	125.35
L23	N 14° 25' 00" W	125.35
L24	N 14° 25' 00" W	125.35

Curve Table

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
CT	2814.75'	1843.32'	1840.17'	S 39° 32' 25" E



- Legend**
- RENER MONUMENT
 - GAS MARKER
 - ELECTRICAL TRANSFORMER
 - ELECTRIC VALVE
 - CATV PILEDRAL
 - UNDERGROUND CABLE MARK
 - TELEPHONE PILEDRAL
 - IRIG MONUMENT
 - FIBER OPTIC CABLE
 - BOUNDARY LINE
 - OVERHEAD ELECTRIC UNDERGROUND LINE
 - STANDARD PILEDRAL
 - CHANNEL EASEMENT
 - BRICK WALL FENCE
 - EIGHT POLE
 - POWER POLE
 - WATER VALVE
 - GUY WIRE
 - STOP SIGN
 - FOUR POLE
 - CONCRETE EQUIPMENT
 - TRANSFORMER



ALTA/NSPS Survey

Copley Land Surveying
 5004 Texanna Parkway, Sherman, Texas 75076
 TX 903-415-0643
 john@copleylandsurveying.com
 TX Firm #24, 10104429, © R. C. A. 2020, 8270

Project Name: Austin College
Prepared For: 871 CAPITAL, LLC

TBD, S. Dewey Ave & Hwy 11
 Sherman, Texas 75020

Drawn by: JSC **Checked by:** JCC
Date of Survey: 3-8-2024 **Scale:** 1" = 200' **Sheet:** 1 of 3

Legal Description Tract 1

Situated in the County of Grayson, State of Texas, being a part of the John Kitchen Survey, Abstract No. 673 and a part of the Robert Thompson Survey, Abstract No. 1200, and being all of the 78.430 acre Tract No. 1, and the Remainder of the 91.717 acre Tract No. 2 conveyed to Austin College by deed of record in Volume 2057, Page 611, Real Property Records, Grayson County, Texas and being more particularly described by metes and bounds as follows:

Beginning at a railroad spike found at the intersection of the south line of F.M. Highway No. 697 called (Old Road) and the center line of Merriman Parkway maintaining the northeast corner of said 78.430 acre Tract No. 1 and the northwest corner of a 1.48 acre tract of land conveyed to Hugh D. Maxwell and Rosemary D. Maxwell by deed of record in Volume 2839, Page 505, Official Public Records, Grayson County, Texas;

Thence South 15°08'10" East, along the Centerline of said Merriman Parkway and the east line of said 78.430 acre Tract No. 1, passing railroad spikes found at distances of 408.88 feet, 810.07 feet and 810.12 feet, and passing a mag nail found at a distance of 1,420.23 feet, continuing for a total distance of 2,639.00 feet to a 1/2" steel rod found in the north line of Tract (A) conveyed to Ponder Holdings, LLC - 503 Merriman Farm Rental Series by deed of record in Document No. 2020-4534 of said Real Property Records, and being in the south line of said Robert Thompson Survey, said rod maintaining the southeast corner of said 78.430 acre Tract No. 1;

Thence South 74°19'25" West, along the south line of said 78.430 acre Tract No. 1 and the north line of said Tract (A), a distance of 531.41 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 for the northeast corner of said 91.717 acre Tract No. 2 and the northwest corner of said Tract (A);

Thence southerly along the east line of said 91.717 acre Tract No. 2 and the west line of said Tract (A) the following calls and distances:

South 06°42'40" West, a distance of 435.15 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

South 08°42'33" East, a distance of 189.75 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

South 11°13'48" West, a distance of 287.15 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

South 01°17'24" West, a distance of 322.54 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

South 15°19'02" East, passing the southwest corner of said Tract (A), and the northwest corner of Tract (B) conveyed to Tract (A) conveyed to Ponder Holdings, LLC - 503 Merriman Farm Rental Series by deed of record in Document No. 2020-4534 of said Real Property Records, continuing along the west line of said Tract (B), for a total distance of 1,548.03 feet to a 1/2" steel rod found in the north line of Ladd Road maintaining the southwest corner of said Tract (B), an angle point in the east line of said 91.717 acre Tract No. 2 and the northwest corner of a 12.034 acre tract of land conveyed to Brown-Lewisville Railroad Family First Limited Partnership by deed of record in Document No. 2019-29325 of said Real Property Records;

Thence South 15°20'03" East, continuing along the east line of said 91.717 acre Tract No. 2, the west line of said Ladd Road and the west line of said 12.034 acre tract, a distance of 493.58 feet to a 1/2" steel rod found in a north right-of-way line of State Highway No. 11, maintaining the southeast corner of the herein described tract and an angle point in the west line of said 12.034 acre tract;

Thence South 74°59'09" West, along the north right-of-way line of said State Highway No. 11, a distance of 193.89 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 for the southwest corner of the herein described tract and an angle point in the east right-of-way line of said State Highway No. 11;

Thence along the east right-of-way line of said State Highway No. 11 and the west line of said 91.717 acre Tract No. 2 the following calls and distances:

North 48°14'28" West, a distance of 2,381.82 feet to a concrete monument found with a curve to the right having a radius of 2,814.79 feet (chord bears North 39°39'31" West, a distance of 840.34 feet) an arc length of 843.50 feet to a wood monument found;

North 22°52'28" West, passing a 1/2" steel rod found at a distance of 396.50 feet, continuing for a total distance of 417.88 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 for the northwest corner of said 91.717 acre Tract No. 2 and the southwest corner of a 11.7685 acre Second Tract conveyed to the City of Sherman by deed of record in Volume 1342, Page 152, Deed Records, Grayson County, Texas said point being Station 454+26.3 - 78.8' in the north line of said John Kitchen Survey;

Thence North 74°19'25" East, along the north line of said 91.717 acre Tract No. 2 and the south of said 11.7685 acre Second Tract, passing the southeast corner of said 11.7685 acre Second Tract and the southwest corner of a tract of land called First Tract conveyed to the City of Sherman by deed of record in Volume 1342, Page 152 of said Deed Records, for a total distance of 1,578.94 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 for the southwest corner of said 78.430 acre Tract No. 1 and the southeast corner of said First Tract to the City of Sherman;

Thence North 15°15'52" West, along a barbed wire fence row, the west line of said 78.430 acre Tract No. 1 and the east line of said First Tract to the City of Sherman, a distance of 2,842.82 feet to a concrete monument found in the south right-of-way line of said F.M. Highway No. 697 maintaining said south right-of-way line of said F.M. Highway No. 697, the northwest corner of said 78.430 acre Tract No. 1 and the northeast corner of said First Tract to the City of Sherman;

Thence along the south right-of-way line of said F.M. Highway No. 697 and the north line of said 78.430 acre Tract No. 1 the following two calls and distances:

North 74°21'10" East, a distance of 798.49 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

North 74°59'10" East, a distance of 484.64 feet to the Point-of-Beginning and containing 189.152 acres of land.

Legal Description Tract 2

Situated in the County of Grayson, State of Texas, being a part of the John Kitchen Survey, Abstract No. 673 and being all of the 42.829 acre Tract No. 3 conveyed to Austin College by deed of record in Volume 2057, Page 611, Real Property Records, Grayson County, Texas and being more particularly described by metes and bounds as follows:

Beginning at a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 in the west line of E. 1st Street for the most northerly corner of said 42.829 acre Tract No. 3 and an angle point in the east line of a 57.14 acre tract of land conveyed to Ming-Hong Huang by deed of record in Volume 3368, Page 703, Official Public Records, Grayson County, Texas;

Thence South 48°14'28" East, along the west line of said E. 1st Street, the east line of said 42.829 acre Tract No. 3, with the west right-of-way line of State Highway No. 11, a distance of 2,282.53 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 for an angle point in the east line of said 42.829 acre Tract No. 3 and point of intersection of the west right-of-way line of said State Highway No. 11 and the north right-of-way line of F.M. Highway No. 1417;

Thence along the north right-of-way line of said F.M. Highway No. 1417 and the south line of said 42.829 acre Tract No. 3 the following calls and distances:

South 44°42'58" East, a distance of 322.09 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

South 13°26'20" East, a distance of 140.13 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

South 21°42'41" West, a distance of 180.91 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

South 52°10'37" West, a distance of 203.98 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

South 63°28'13" West, a distance of 601.60 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 for the southwest corner of said 42.829 acre Tract No. 3 and the southeast corner of a 97.5 acre tract of land conveyed to James Edward Forster, Jr. by deed of record in Volume 3118, Page 479 of said Official Public Records;

Thence northerly along the west line of said 42.829 acre Tract No. 3 the following calls and distances:

North 47°33'04" West, a distance of 103.00 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

North 27°00'47" West, a distance of 109.10 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

North 16°40'47" West, a distance of 137.30 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720;

North 29°55'42" West, passing a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 at a distance of 67.17 feet, continuing for a total distance of 97.17 feet to a point in the centerline of a creek;

Thence along the centerline of said creek, the west line of said 42.829 acre Tract No. 3 and the east line of said 97.5 acre tract the following calls and distances:

North 77°24'28" West, a distance of 78.18 feet to a point;

North 82°20'18" West, a distance of 88.44 feet to a point;

South 85°30'09" West, a distance of 58.42 feet to a point;

South 69°09'22" West, a distance of 77.07 feet to a point;

North 85°40'08" West, a distance of 85.94 feet to a point;

North 89°41'58" West, a distance of 86.11 feet to a point being the southeast corner of said 57.14 acre tract, the most westerly southwest corner of said 42.829 acre Tract No. 3 and an angle point in the east line of said 97.5 acre tract;

Thence North 15°33'32" West, along the east line of said 57.14 acre tract and the west line of said 42.829 acre Tract No. 3, passing a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 at a distance of 30.00 feet, continuing for a total distance of 2,070.09 feet to the Point-of-Beginning and containing 42.897 acres of land.

The property described herein is the same property described in Fidelity National Title Insurance Company Commitment No. GF No. 2412899-SMDF with an effective date of April 7, 2024 and issued date of April 15, 2024 and all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted herein or otherwise noted as to their effect on the subject property.

Schedule "B" Items

- a. Easement or Right-of-Way from R.A. Chapman to Texas Power & Light Company, of record in Volume 249, Page 80 of the Deed Records of Grayson County, Texas. AFFECTS THE SUBJECT TRACT
- b. Easement and Right-of-Way from R.A. Chapman, Jr. to Texas Power & Light Company, of record in Volume 515, Page 264 of the Deed Records of Grayson County, Texas. AFFECTS THE SUBJECT TRACT
- c. Easement from Mary M. Gutsch and Milton R. Gutsch to the State of Texas, of record in Volume 888, Page 479 of the Deed Records of Grayson County, Texas. AFFECTS SUBJECT TRACT AS SHOWN
- d. Easement and Right-of-Way from Mary Mayfield Gutsch and the Milton R. Gutsch and Mary Mayfield Gutsch Foundation, Inc. to Texas Power & Light Company, of record in Volume 1101, Page 13 of the Deed Records of Grayson County, Texas. AFFECTS SUBJECT TRACT
- e. Easement from The Milton R. Gutsch and Mary Mayfield Gutsch Foundation, Inc. to the State of Texas, of record in Volume 1127, Page 615 of the Deed Records of Grayson County, Texas. AFFECTS SUBJECT TRACT AS SHOWN
- f. Easement from The Milton R. Gutsch and Mary Mayfield Gutsch Foundation, Inc. to the City of Sherman, of record in Volume 1522, Page 489 of the Deed Records of Grayson County, Texas. AFFECTS SUBJECT TRACT AS SHOWN
- g. Easement from The Milton R. Gutsch and Mary Mayfield Gutsch Foundation, Inc. to the City of Sherman, of record in Volume 1849, Page 17 of the Deed Records of Grayson County, Texas. AFFECTS SUBJECT TRACT AS SHOWN
- h. Easement and Right-of-Way Agreement from Austin College to Gulf Crossing Pipeline Company, LLC, of record in Volume 5311, Page 488 of the Official Public Records of Grayson County, Texas. AFFECTS SUBJECT TRACT AS SHOWN
- i. Easement and Right-of-Way Agreement from Austin College to Gulf Crossing Pipeline Company, LLC, of record in Volume 5311, Page 478 of the Official Public Records of Grayson County, Texas. AFFECTS SUBJECT TRACT AS SHOWN
- j. Easement from Austin College to Enterprise Texas Pipeline, LLC, of record in Volume 4503, Page 369 of the Official Public Records of Grayson County, Texas. AFFECTS SUBJECT TRACT AS SHOWN
- k. Any and all rights associated with that easement granted to Texas Power and Light, for electric power line purposes, together with all terms and conditions as set forth in Volume 937, Page 628, Deed Records, Grayson County, Texas. AFFECTS SUBJECT TRACT AS SHOWN

Zoning Notes

Property is located in areas designated as:
"Not zoned" (Area Not yet zoned) by the City of Sherman Zoning Department or County of Grayson

Flood Zone Notes

By graphic plotting only, portions of this property lie within Zone "X, A, & AE" (areas not within the 100 yr. flood zone - no base point elevation) as defined by FEMA Flood Insurance Rate Map No. 48181C0405 F, which bears an effective date of September 29, 2010.

General Notes

1. The property has an area of 7,368,264 sq. ft. or 169.152 acre of land in Tract 1 and an area of 1,868,803 sq. ft. or 42.897 acre of land in Tract 2.
2. Basis of bearings is Grid North, NAD 83, Texas State Plane Coordinate System, North Central Zone.
3. There was no visible evidence of the use of the subject property as a solid waste dump, sump or sanitary landfill at the time of survey.
4. There are no visible signs of cemeteries.
5. All visible above ground indications of utilities are depicted hereon.
6. There was no visible evidence of staking at time of survey.
7. There was no visible evidence of parking spaces on surface parking areas, lots and in parking structures.

Surveyor Certification

The Undersigned, being a registered surveyor of the State of Texas certifies to:
BTI Capital, LLC

that:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7, 8, 9, 11(a), 13, 16, and 18 of Table A thereto. The field work was completed on May 8th, 2024.

Date of Plat or Map: May 8th, 2024

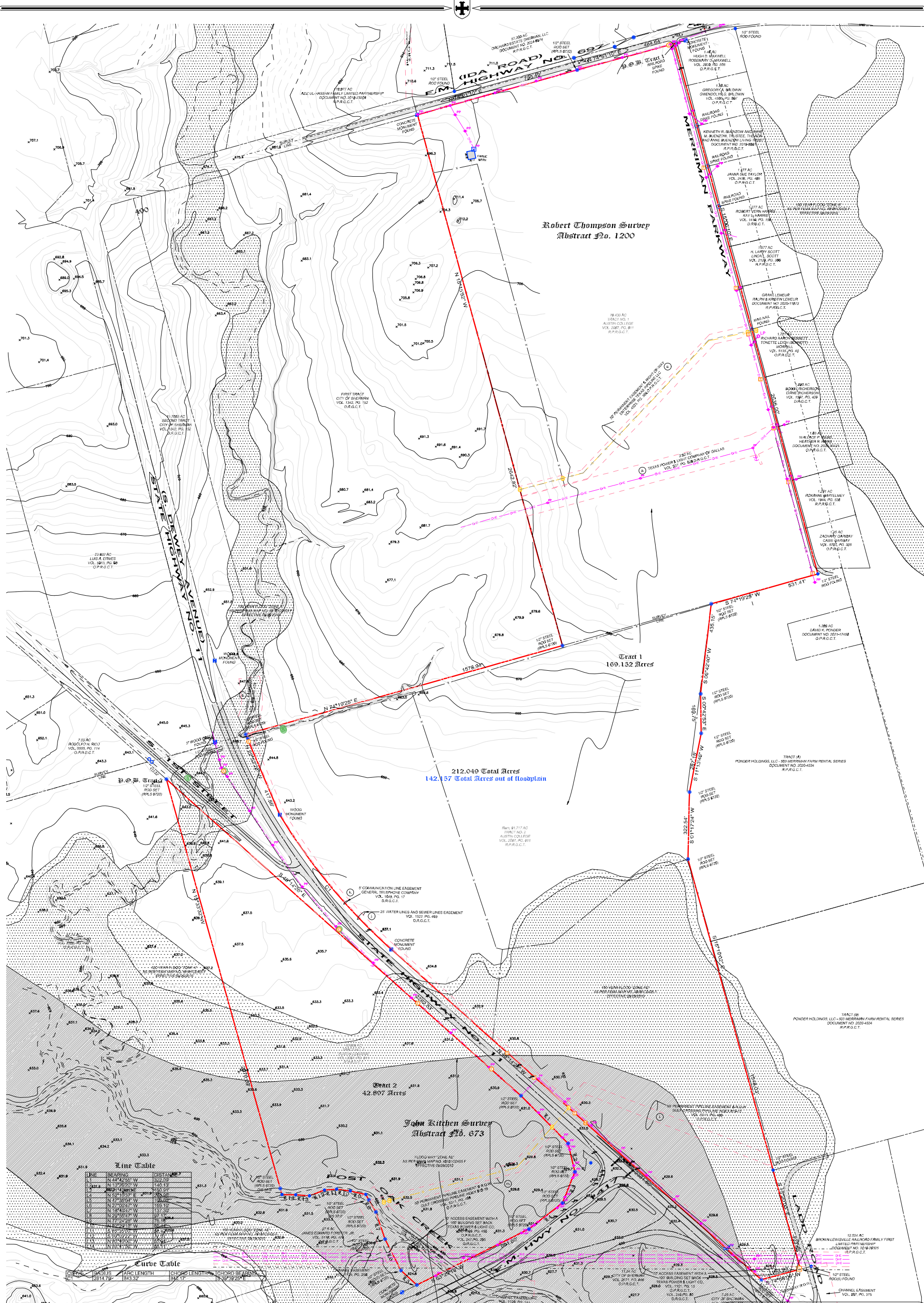
John C. Copley
State of Texas
Registered Professional
Land Surveyor # 6720



ALTA/NSPS Survey

Copley Land Surveying
5004 Texana Parkway, Sherman, Texas 75020
TX 903-415-0643
john@copleylandsurveying.com
TX Firm #20, 10104420, P.E. C.A. 920, 8270

Project Name: Austin College	
Project Address:	Prepared For: BTI CAPITAL, LLC
TBD, S. Dowey Ave & Hwy 11 Sherman, Texas 75020	
Drawn by: JCC	Checked by: JCC
Plot Date: 5-8-2024	Sheet: 2 of 3
Date of Survey: 3-8-2024	Scale: 1" = 200' E.S. Tab# 2203014922



Robert Thompson Survey
Abstract No. 1200

212.049 Total Acres
142.457 Total Acres out of Hoodplain

John Kitchen Survey
Abstract No. 673

LINE	BEARING	DISTANCE
1.1	N 41° 42' 25" W	120.70
1.2	N 41° 42' 25" W	120.70
1.3	N 41° 42' 25" W	120.70
1.4	N 41° 42' 25" W	120.70
1.5	N 41° 42' 25" W	120.70
1.6	N 41° 42' 25" W	120.70
1.7	N 41° 42' 25" W	120.70
1.8	N 41° 42' 25" W	120.70
1.9	N 41° 42' 25" W	120.70
1.10	N 41° 42' 25" W	120.70
1.11	N 41° 42' 25" W	120.70
1.12	N 41° 42' 25" W	120.70
1.13	N 41° 42' 25" W	120.70
1.14	N 41° 42' 25" W	120.70
1.15	N 41° 42' 25" W	120.70
1.16	N 41° 42' 25" W	120.70
1.17	N 41° 42' 25" W	120.70
1.18	N 41° 42' 25" W	120.70
1.19	N 41° 42' 25" W	120.70
1.20	N 41° 42' 25" W	120.70

CURVE	STARTS	ENDS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
1	834.00	843.37	9.37	9.37	90.00

- Legend**
- SEWER MANHOLE
 - GAS MANHOLE
 - ELECTRICAL TRANSFORMER
 - ELECTRICAL VAULT
 - CITY POLICE
 - UNDERGROUND CABLE MARK
 - TELEPHONE POLE
 - POWER POLE
 - WATER VALVE
 - GUY WIRE
 - STOP SIGN
 - POLE SIGN
 - CONCRETE EQUIPMENT
 - TRAFFIC LIGHT
 - BOUNDARY LINE
 - OVERLAPPING LINE
 - UNDERGROUND PIPE
 - STANDARD PIPE
 - CHANNEL FENCE
 - BRAVEY FENCE



0 100 200 400 800
SCALE = 1" = 200'

**CITY OF SHERMAN
TOPOGRAPH OVERLAY
2' CONTOURS (LIMITED)**

ALTA/NSPS Survey

Copley Land Surveying
5004 Texama Parkway, Sherman, Texas 75076
TX 903-415-0643
john@copleylandsurveying.com
TX Firm #20, 1010-4420, 08, C.A. 920, 8270

Project Name: Austin College
Prepared For: 871 CAPITAL, LLC

**TBD, S. Dowe Ave & Hwy 11
Sherman, Texas 75020**

Drawn by: JCC **Checked by:** JCC

Date of Survey: 3-8-2024 **Scale:** 1" = 200'

PLANNED DEVELOPMENT DISTRICT

PROJECT NARRATIVE

POST OAK VILLAGE





Prepared For:
City of Sherman
220 West Mulberry Street
Sherman, TX 75090

Applicant/Developer:
Tesch Development & Management Co. LLC
Contact: Robert E. Tesch
2001 Auburn Hills Parkway
McKinney, TX, 75071

Engineering Consultant:
Pape-Dawson
6105 Tennyson Parkway, Ste. 210
Plano, TX 75024

Architecture Consultant:
Richard Brown Associates
521 W. Wilshire Blvd. Ste. 150
Oklahoma City, Oklahoma 73116

PAPE-DAWSON



PAPE-DAWSON

Richard Brown Associates



Purpose and Guiding Principles:

Post Oak Village is visioned as a vibrant master planned community to provide various types of retail and commercial development transitioning to residential areas that consist of multi-family and several types of single-family residences. The overall development is approximately 212.1 acres. Multiple trails and walkways throughout will connect the different areas of development culminating at the amenity area. Amenities will include sports fields, a series of trails, and pedestrian amenities that will eventually connect to the proposed Southeast Trail B that runs along Post Oak Creek. Post Oak Village will have retail & commercial uses and a variety of residential land uses, as shown in the Zoning District Boundary Exhibit. Residential is the primary land use at different densities that support different lifestyles and income levels. Several of the guiding principles are as follows:

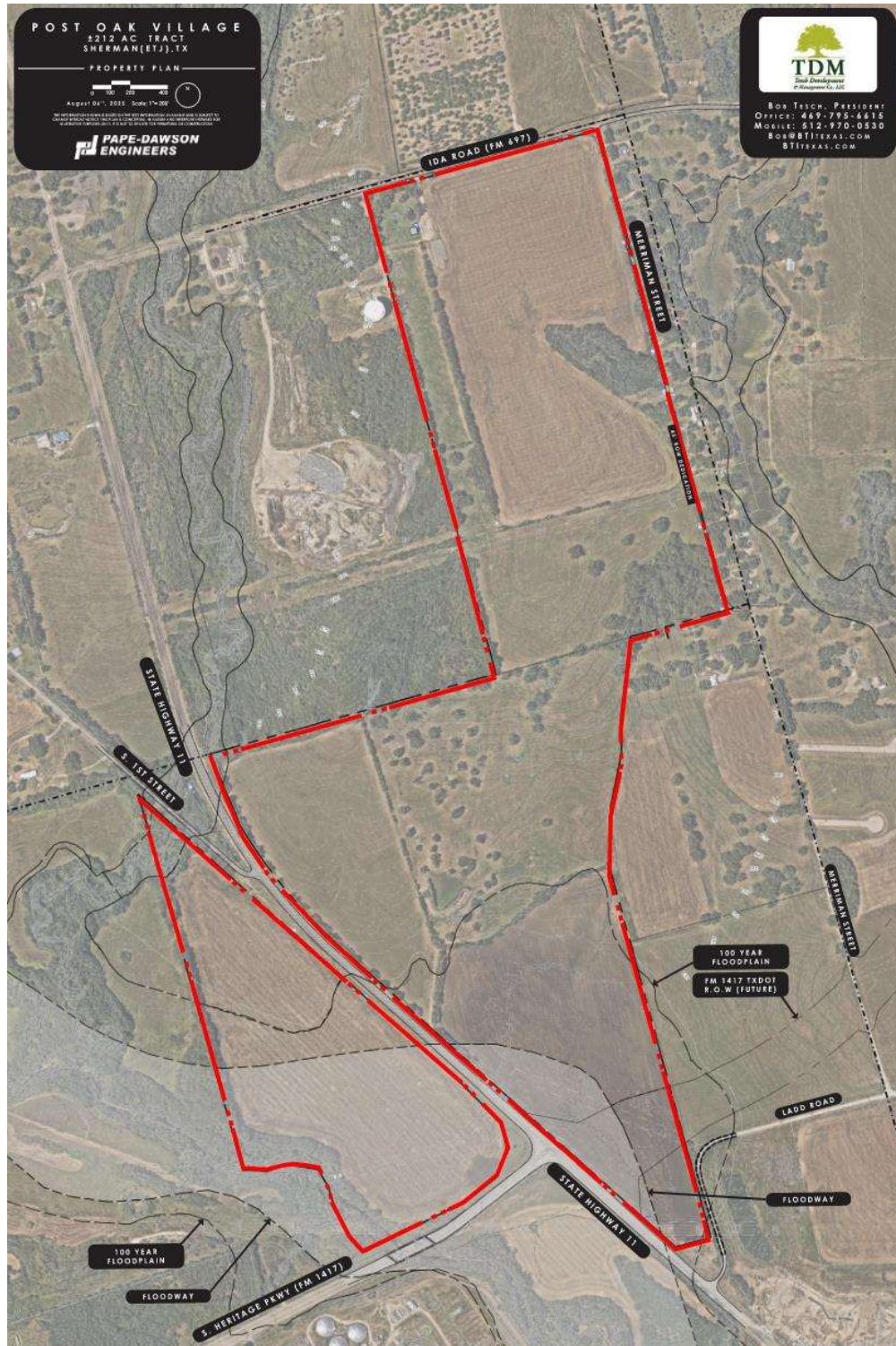
Pedestrian access throughout the community.

Preservation of natural areas.

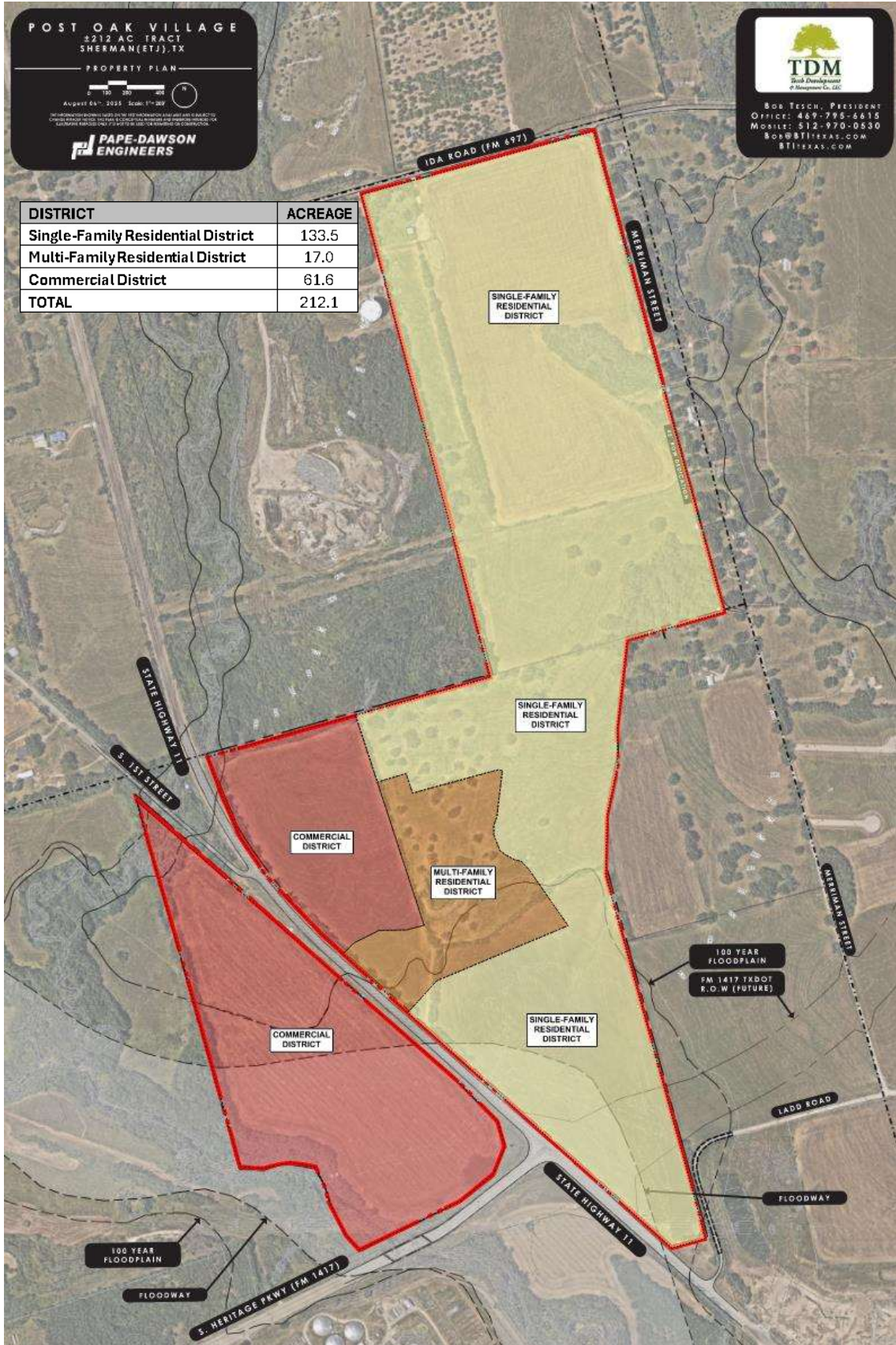
Residential and commercial developed in harmony with overall community.

Location:

The development is bordered on the west by Post Oak Creek and State Highway 11, on the north by Ida Road, on the south by Ladd Road, and on the east by a portion of Merriman Street. The community is presently located within the ETJ of the City of Sherman and is in the process of annexing into City limits.



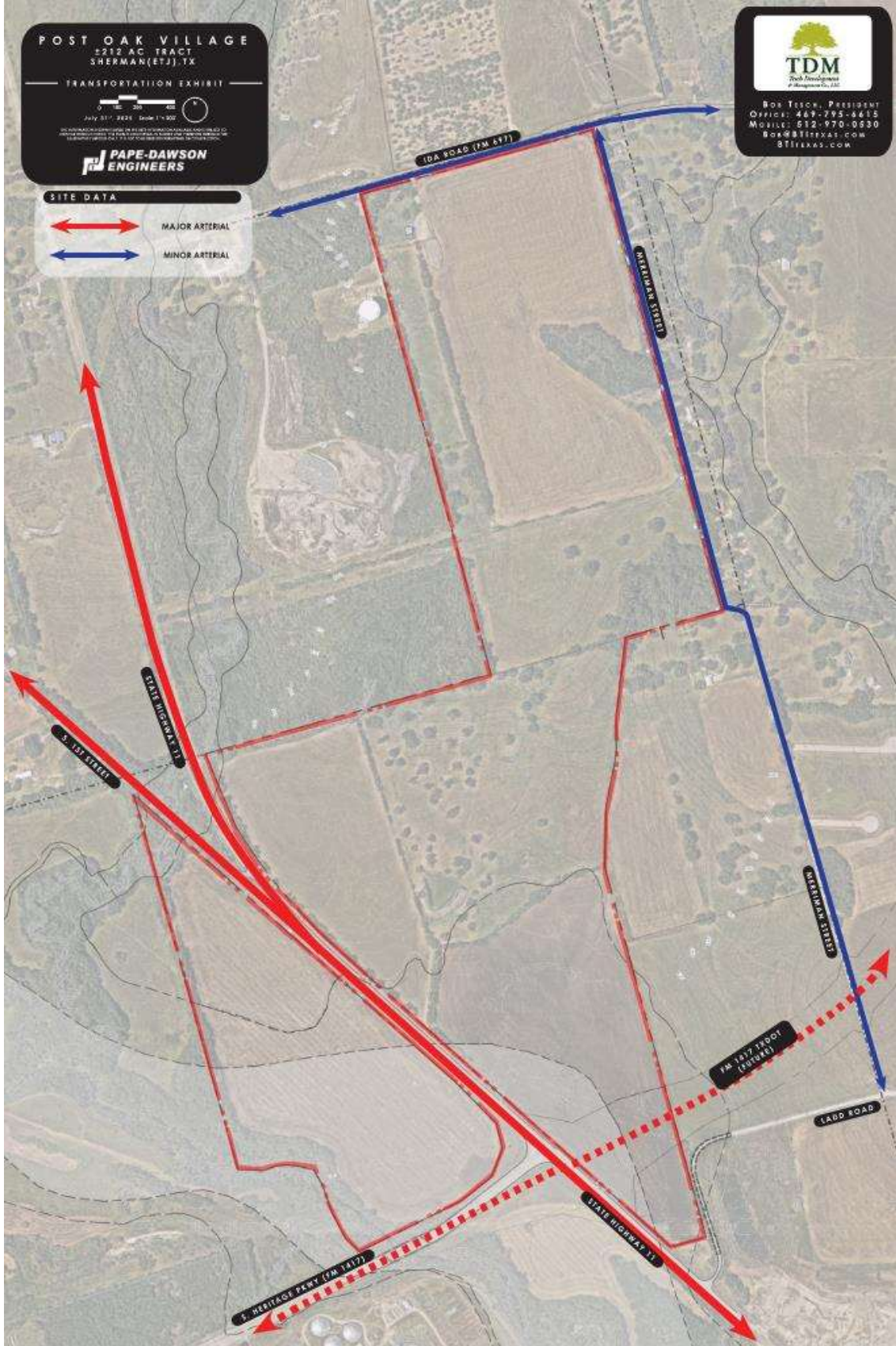
Zoning District Boundary Exhibit



Conceptual Land Plan



Transportation Exhibit



Conceptual Open Space Exhibit





PROPOSED POST OAK VILLAGE PD ZONING DISTRICT CLASSIFICATIONS

Post Oak Village will have retail & commercial uses and a variety of residential land uses, as shown in the Zoning District Boundary Exhibit. Residential is the primary land use at different densities that support different lifestyles and income levels. The sections below list the regulations to be followed in this proposed Planned Development.

ZONING CLASSIFICATION TABLE

DISTRICT	ACREAGE
Single-Family Residential District	133.5
Multi-Family Residential District	17.0
Commercial District	61.6
TOTAL	212.1

*All acreages listed in the Proposed Zoning Classification Table are approximate and will be finalized at the time of Site Plan and/or Plat approval.

SITE AND BUILDING STANDARDS

Single-Family Residential District Standards:

The Single-Family Residential District will include lots which follow the R-4, R-5, and R-6 regulations as published on the date of the approval of this PD application, without variances. The relevant regulations can be found in Section 14.02.006, 14.02.007, 14.02.008 of the Sherman Zoning Ordinance.

This District is restricted to a maximum of 25% R-4 lots and a minimum of 10% R-6 lots by lot count; there is no restriction on lots following the R-5 regulations.

Characteristics of the District are intended to follow zoning regulations as written for lot width, open space provisions, and parking requirements. Parking and Open Space for each District is anticipated to be provided separately by use.

Multi-Family Residential District Standards:

Multi-Family MF-30 lots are intended to follow the zoning restrictions as described in Section 14.02.012 of the City of Sherman Zoning Ordinance.

Multi-Family building areas and open space areas will be determined at time of development and are not determined directly within this PD. The amount of open space provided shall meet the criteria set forth in the City of Sherman Zoning Ordinance at the time of approval of this PD application.

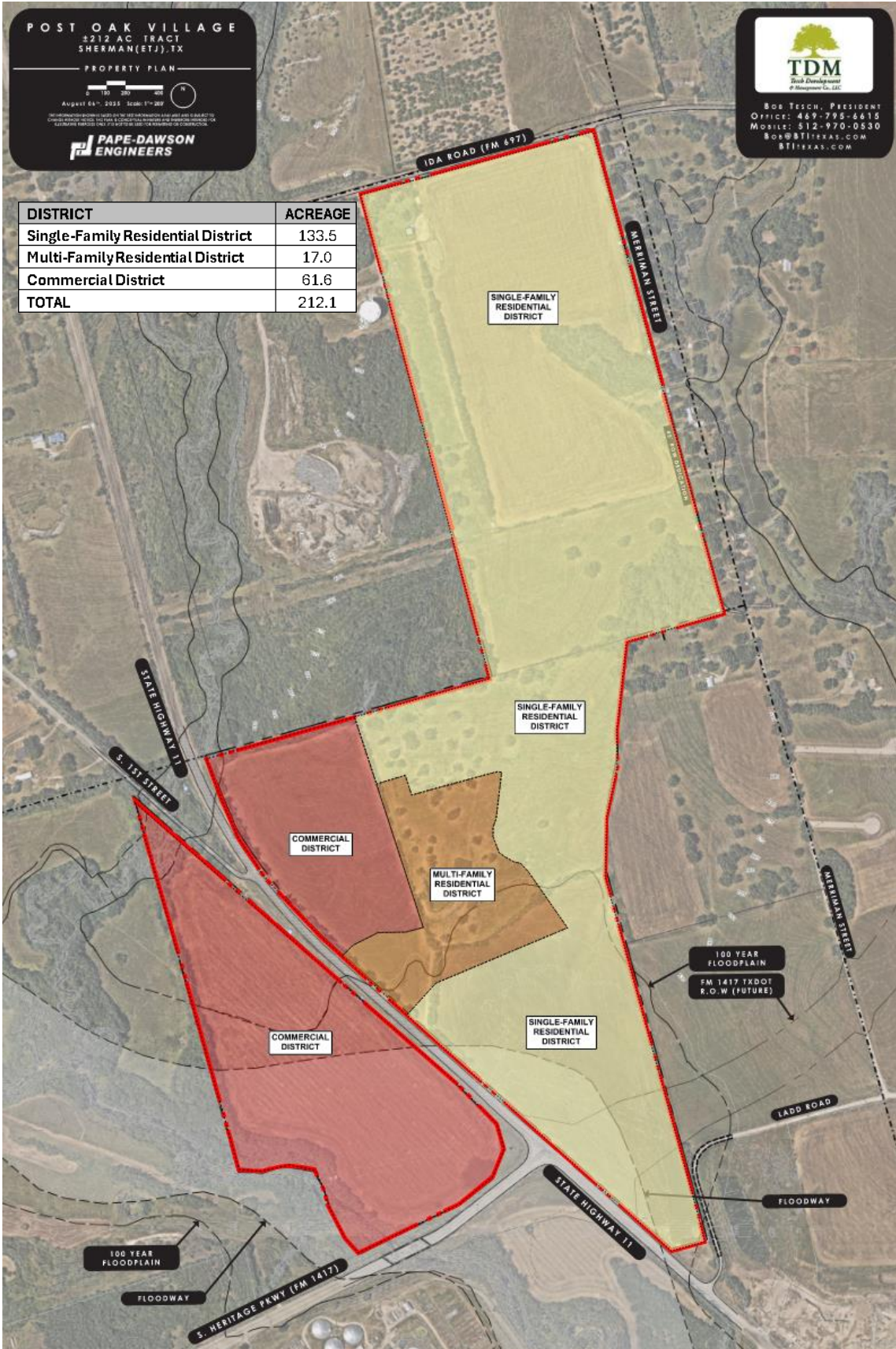
Commercial District Standards:

Commercial C-1 lots are intended to follow the zoning restrictions as described in Section 14.02.012 of the Sherman Zoning Ordinance.

Commercial building areas and open space areas will be determined at time of development and are not determined directly within this PD. The amount of open space provided shall meet the criteria set forth in the City of Sherman Zoning Ordinance.

PAPE-DAWSON

Post Oak Village Zoning District Boundary Exhibit



STAFF REVIEW LETTER

September 9, 2025

Sent via Email

Parnell Jones
900 N Grand Ave, Suite 6F
Sherman, TX 75090

Robert E. Tesch
2001 Auburn Hills Pkwy
Mckinney, TX 75071

Dear Applicants,

The request of a Public Hearing and Zone Change from an R-A (Residential Agricultural) District to PD (Planned Development) District located in the 2000 Block East Ida Road and 3501-3701 Block South Dewey Avenue has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, September 16, 2025 at 5:00 P.M. in the City Council Chambers at 220 W. Mulberry.

City staff has reviewed your request, and the following items need to be noted/addressed:

Zoning:

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Fire access, lanes and codes shall be coordinated with the Fire Marshal (903.892.7267). (*Code of Ordinances Chapter 3.02(c)*)
3. Fence Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Sec. 14.04.004*)
4. Sign Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
5. Impact fees will be required at the time of building permit application. (*Chapter 13, Article. 13.11*)
6. The use of the property must comply with all Federal and State Laws and Regulations and with all the Ordinances, Rules and Regulations of the City of Sherman.
7. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.
8. Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission.

Engineering

9. Platting of the property is required. *Code of Ordinances Chapter 10.01.005; Texas Local Government Code Title 1, Sec. 212.004*

10. Preliminary Plat required for each phase of development. *Code of Ordinances Chapter 10.02.002(c)(19)*
11. Design and construction of western half of Merriman Parkway along entire street frontage by developer may be required upon development. Merriman Parkway is on the City Thoroughfare Plan as a Minor Arterial. *Code of Ordinances 10.03.003(e)(1)*
12. Improvement of Ida Road along entire street frontage by developer or deposit of escrow funds by developer is required upon development. *Code of Ordinances 10.03.003(e)(1); 10.03.003(e)(2); 10.04.003(i)*
13. All requirements of the Floodplain Ordinance shall be followed. *Code of Ordinances Chapter 3, Article 3.12*
14. Privately owned and maintained detention in accordance with City criteria may be required. Engineering documentation shall be provided to the City of Sherman Engineering Department for review and approval. If detention is required, Ownership and Maintenance information to be shown on plat. *Code of Ordinances Chapter 10.03.006; Engineering Design Standards Manual Sec. 4.18*
15. Civil Engineering plans shall be provided to the Engineering Department for review and approval. Plat to reflect changes upon Engineering review. Civil Plan submittal requirements can be found in the Development Guide on the City of Sherman website. *Code of Ordinances Chapter 10.04; Engineering Design Standards Manual Sec. 1.9*

It is the policy of Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, contact Development Services by emailing planning@cityofsherman.com prior to the meeting.

Respectfully,



Rob Rae
Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager
Clint Philpott, Asst. City Manager
Wayne Lee, P.E., Director of Engineering
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney

Steven Davis, Asst. Fire Marshal
Amber Doan, Engineering Coordinator
Tom Pruitt, Utility Engineer



Planning & Zoning Commission Development Services

Agenda Item No. 14.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

801, 805, 809 EAST LAMAR STREET (Project No. 000142-2025)

The request of Alicia Barron (Owner) concerning the property located in the 801, 805, 809 East Lamar Street, consisting of 0.4063 acres, being a part of Chaffins 1st Addition, Block 11, Lot 1 through 8, currently zoned R-6 (Single-Family Residential) District and C-2 (General Commercial) District, as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from an R-6 (Single-Family Residential) District and C-2 (General Commercial) District to C-1 (Retail Business) District.

Background:

The property is located in the 801, 805, 809 East Lamar Street. The owner is requesting a Zone Change from an R-6 (Single-Family Residential) District and C-2 (General Commercial) to C-1 (Retail Business).

This property has been operating as a commercial business for many decades; the property owner would like to request a zone change to be consistent with the current use.

Origination:

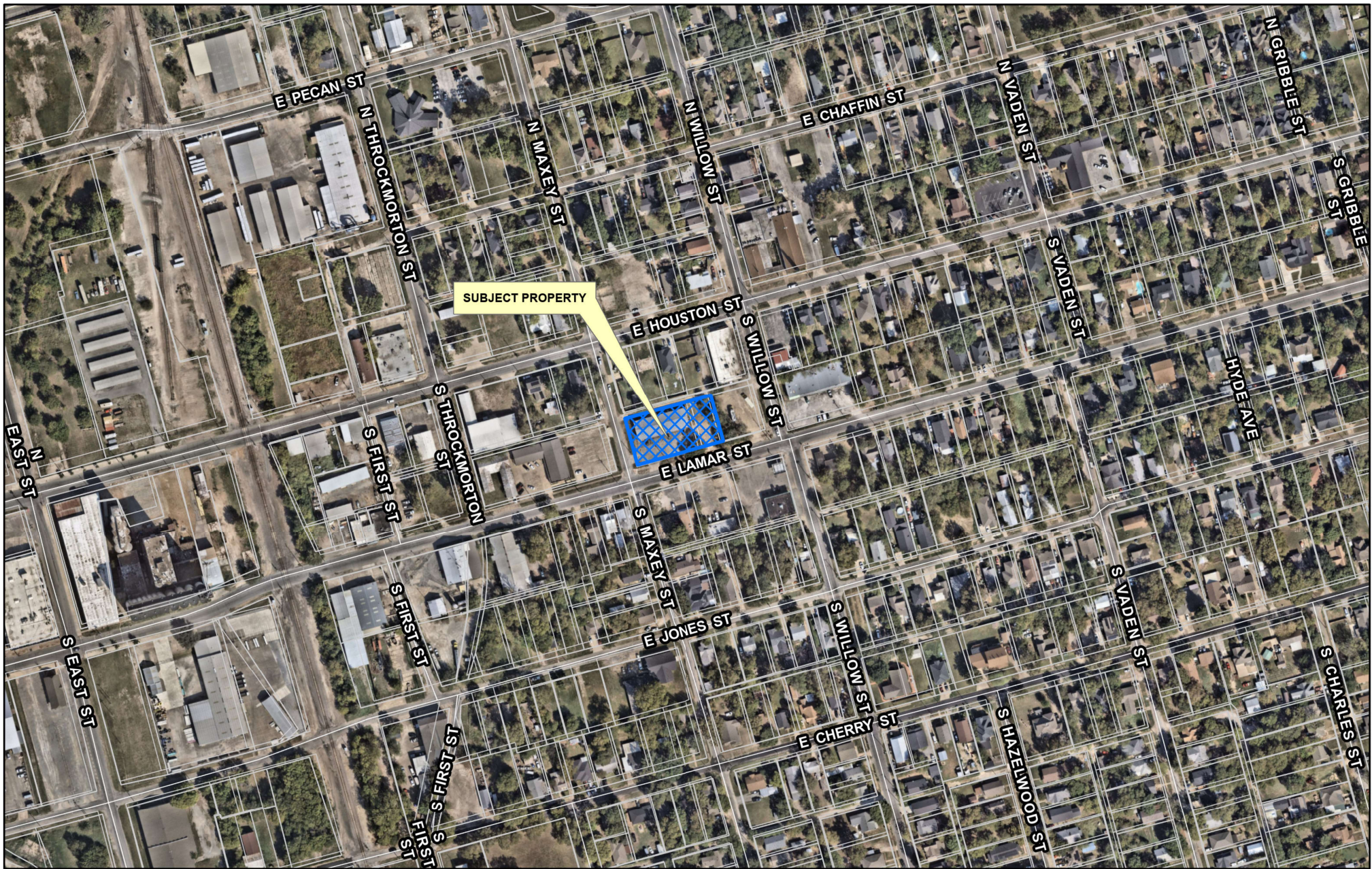
Alicia Barron (Owner)

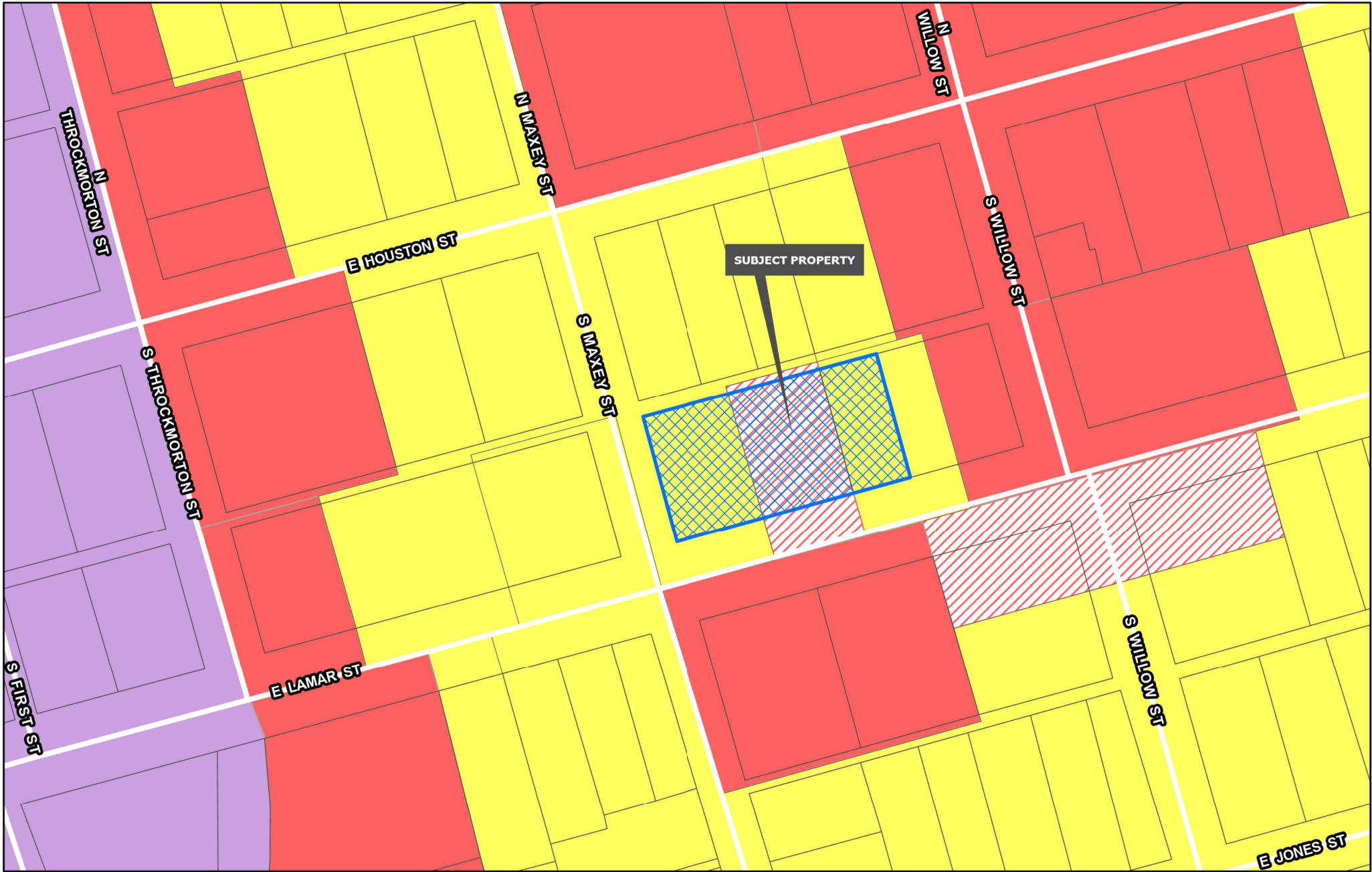
Staff Recommendation:

Staff recommends approval.

Attachments:

1. Location Map
2. Zoning Map
3. Future Land Use Map
4. Survey
5. Site Plan
6. Elevation

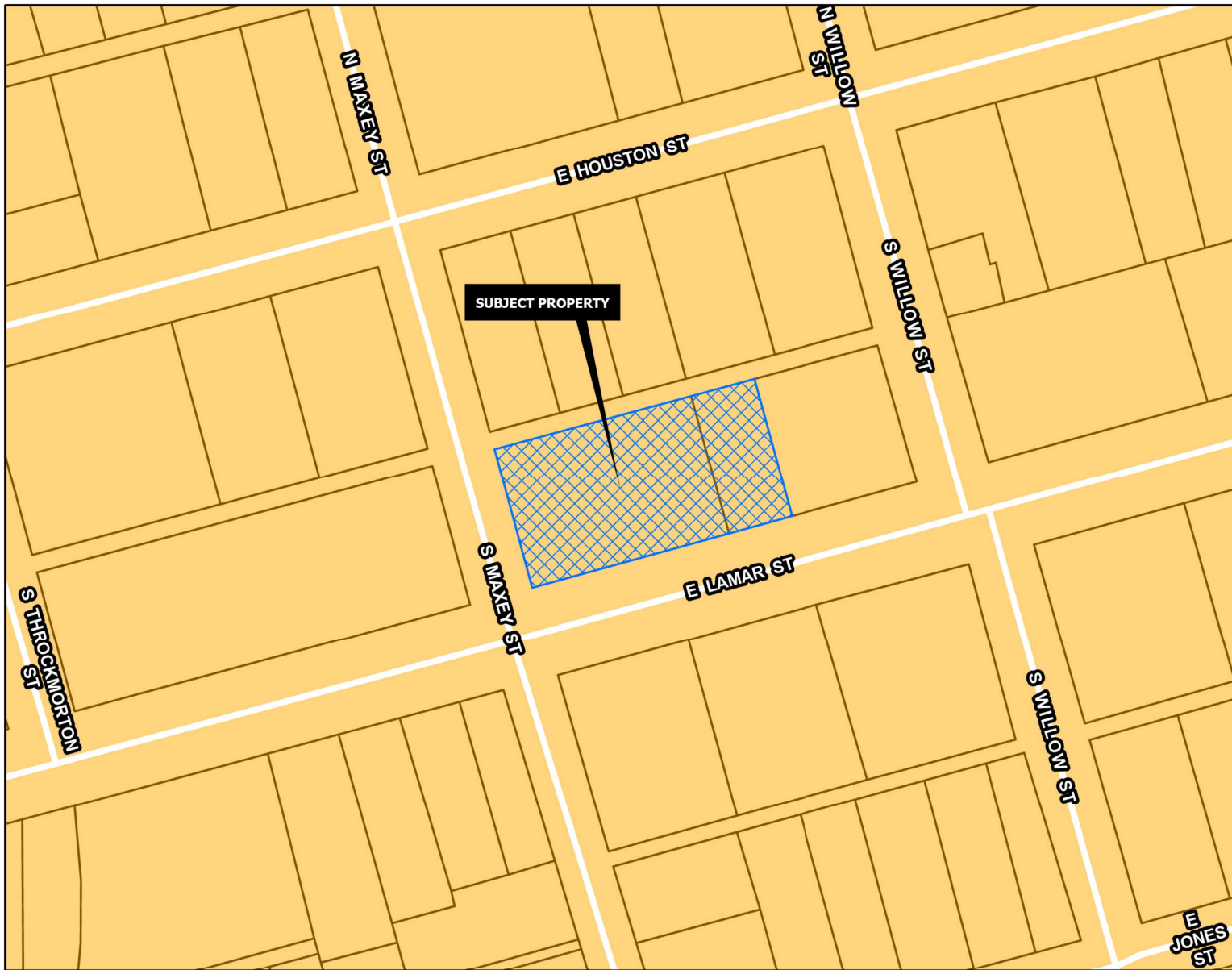




- | | | |
|--------------------------------|--------------------------------|----------------------------|
| Planning & Zoning | R-4 Patio Home Residential | C-O Office |
| R-A Residential Agricultural | R-2F Duplex Residential | C-1 Retail Business |
| R-E Estate Residential | R-TH Townhome Residential | C-2 General Commercial |
| R-12 Single Family Residential | MF-15 Multi-Family Residential | M-1 Light Manufacturing |
| R-6 Single Family Residential | MF-30 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-5 Single Family Residential | MH Manufactured Housing | M-2 Heavy Manufacturing |
| | C-N Neighborhood Commercial | PD Planned Development |

**CITY OF SHERMAN
 ZONING MAP
 801, 805, & 809 E LAMAR**





CORE NEIGHBORHOOD

Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

Appropriate Land Use Types

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

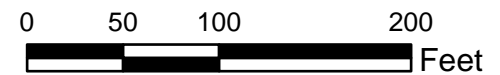
- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



801, 805, 809 E. Lamar







Planning & Zoning Commission Development Services

Agenda Item No. 15.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

818 SOUTH TRAVIS STREET (Project No. 000134-2025)

The request of Jermey Parnell (Owner), Felicitas Smith (Applicant) and Kate A. Wagner (Surveyor) concerning the property located at 818 South Travis Street, consisting of 0.487 acres, Lot 10, Block 4, of Hare and Randolph's Addition, currently zoned MF-30 (Multi-Family Residential) District, as follows:

Planning and Zoning Commission

Public Hearing, Site Plan and Specific Use Permit approval under Section 14.06.009 allow Schools; elementary, high, college and universities, public, private, or denominational in a MF-30 (Multi-Family Residential) District.

Background:

The property is located in the 818 South Travis Street. The owner is requesting a Specific Use Permit and Site Plan approval for schools; elementary, high, college and universities, public, private, or denominational in an MF-30 (Multi-Family Residential) District.

The applicant is seeking a Specific Use Permit for the property located at 818 S. Travis Street to allow its use as both a residence and a home-based private educational program operated by Rise Academy TX. This three-story home will serve as the applicant's primary dwelling and also house a small-scale, daytime education program designed for homeschool students.

Origination:

Jermey Parnell (Owner), Felicitas Smith (Applicant) and Kate A. Wagner (Surveyor)

Staff Recommendation:

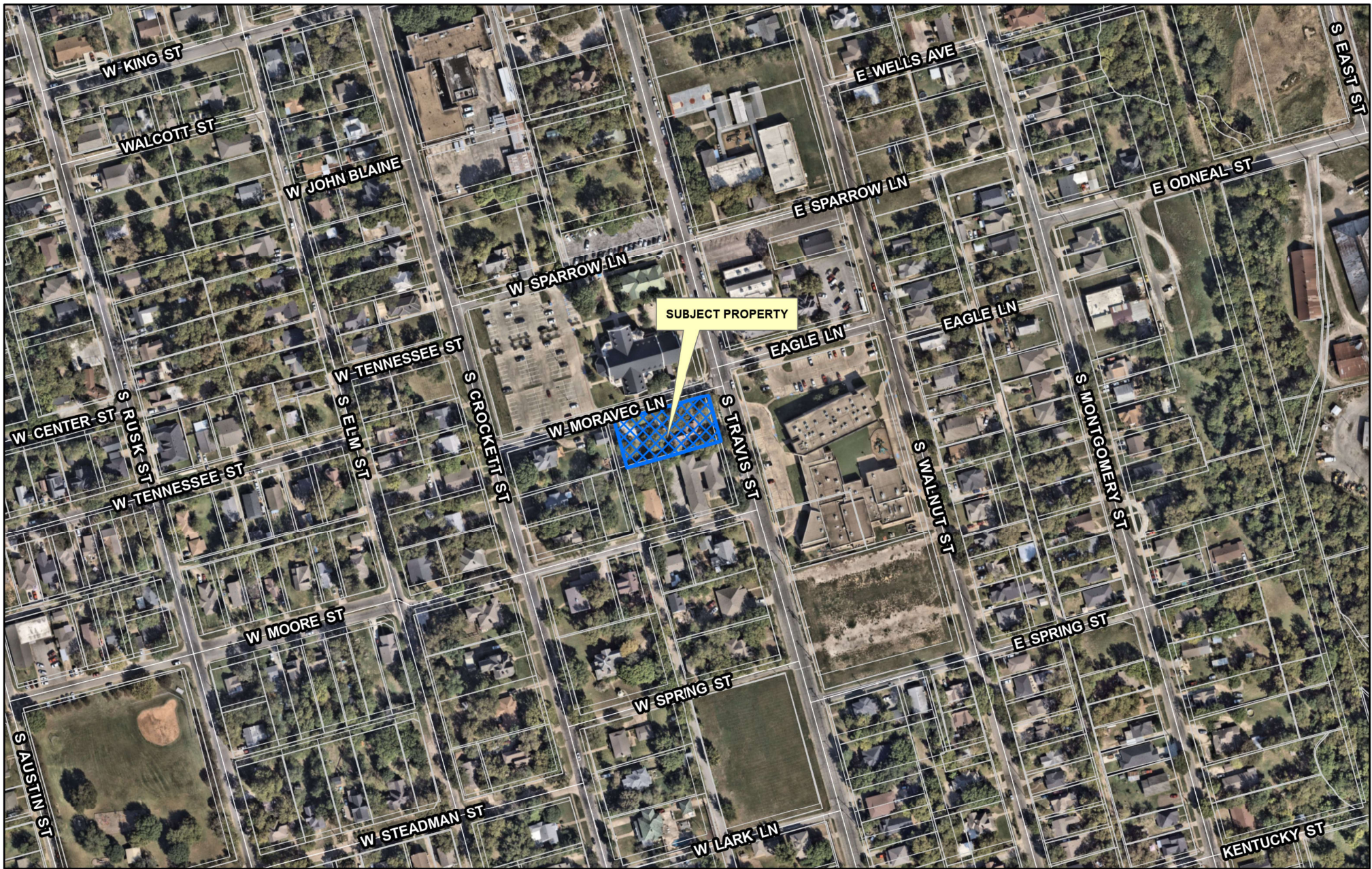
Staff requested the following items from the applicant, and did not receive additional information:

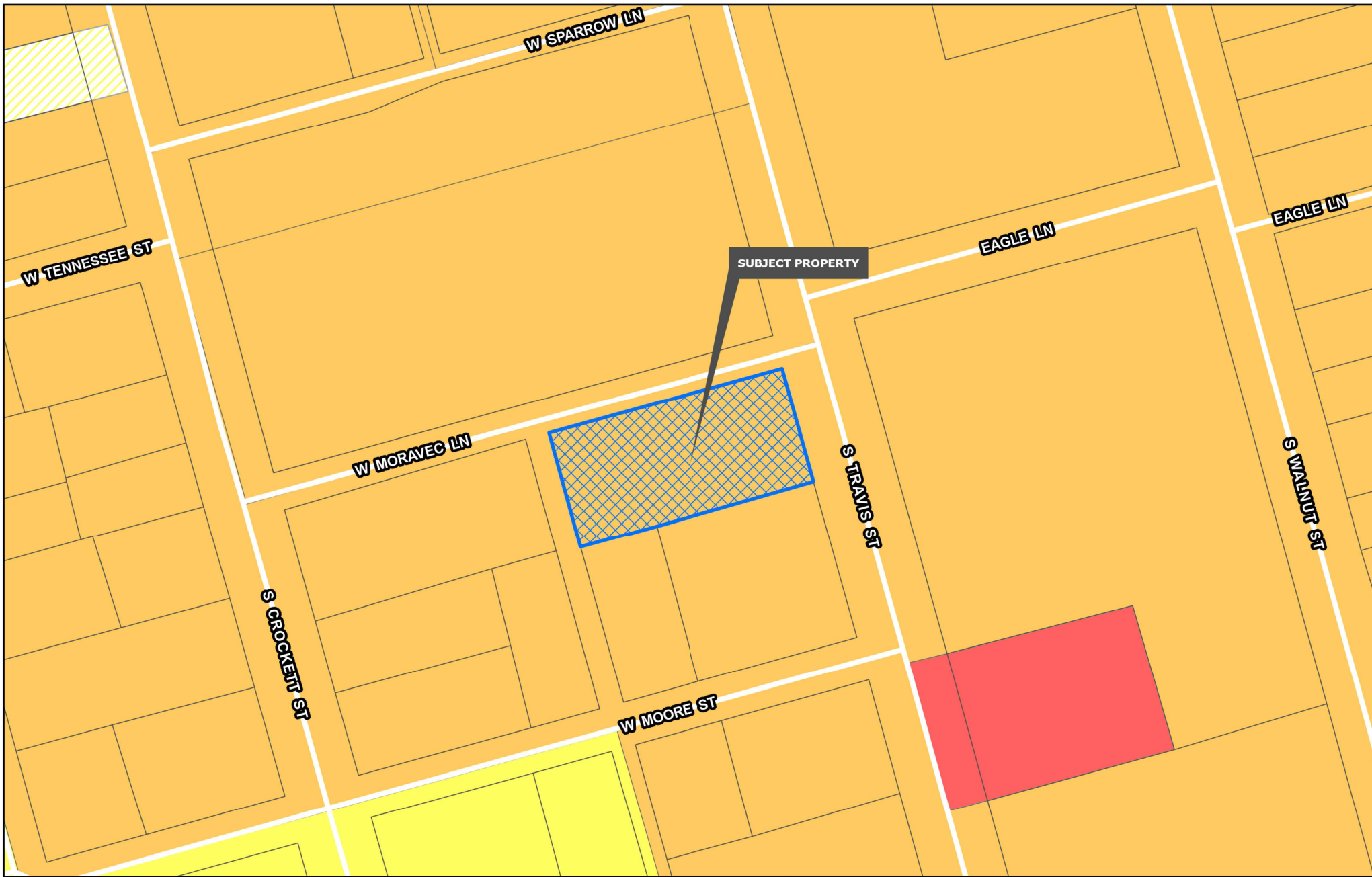
- Provide a floor plan and indicate the classrooms.
- Provide photos of the existing structure to demonstrate the elevation.
- A tabulation of the number of classrooms for each level of education.
- Adequate parking for employees and residents.
- Number of students.

Attachments:

1. Location Map
2. Zoning Map
3. Future Land Use Map

4. Property Notification Sign
5. Survey
6. Narrative
7. Site Plan
8. Staff Review Letter
9. Staff Email Correspondence

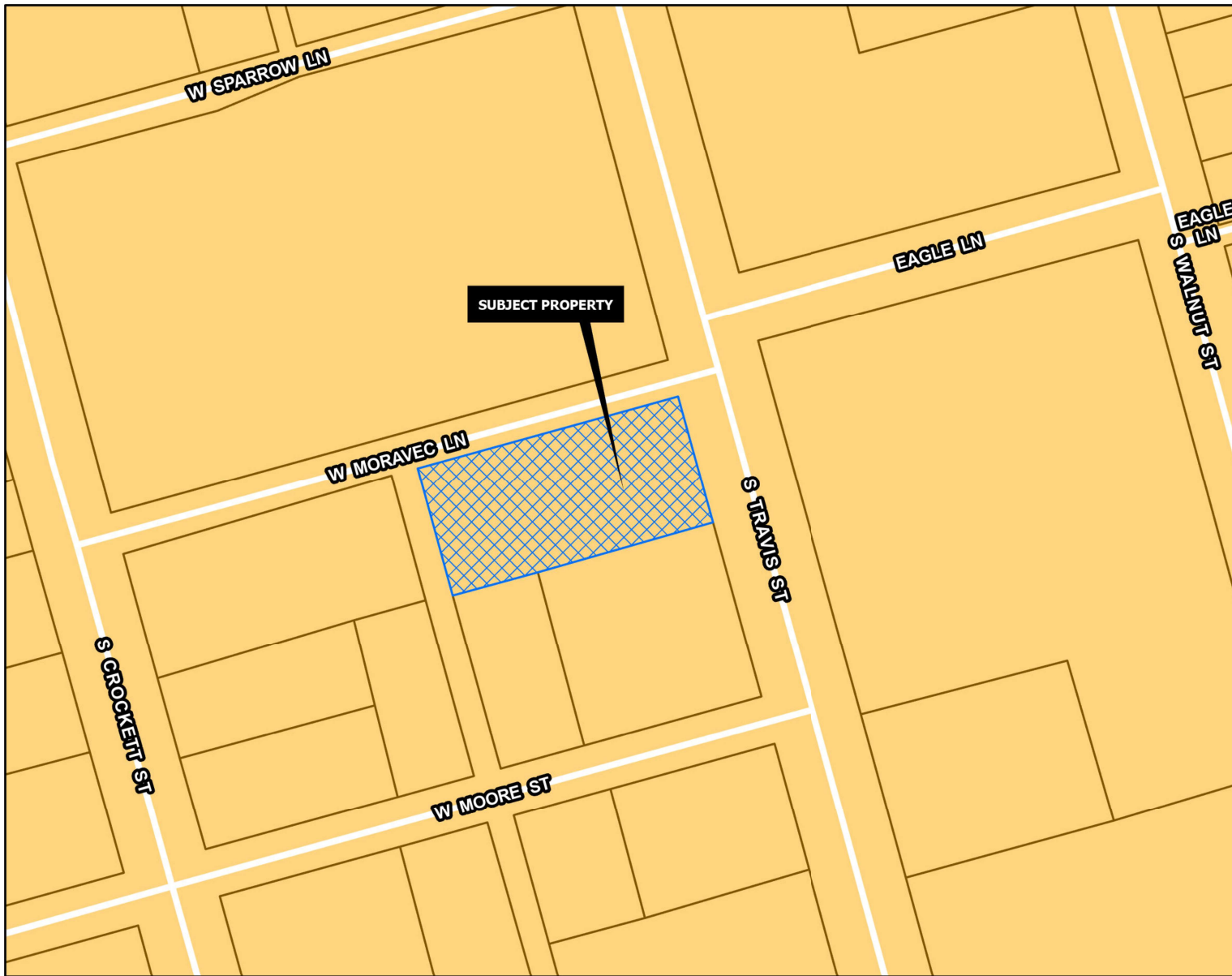




Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
 ZONING MAP
 818 S TRAVIS ST**





CORE NEIGHBORHOOD

Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

Appropriate Land Use Types

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

Considerations

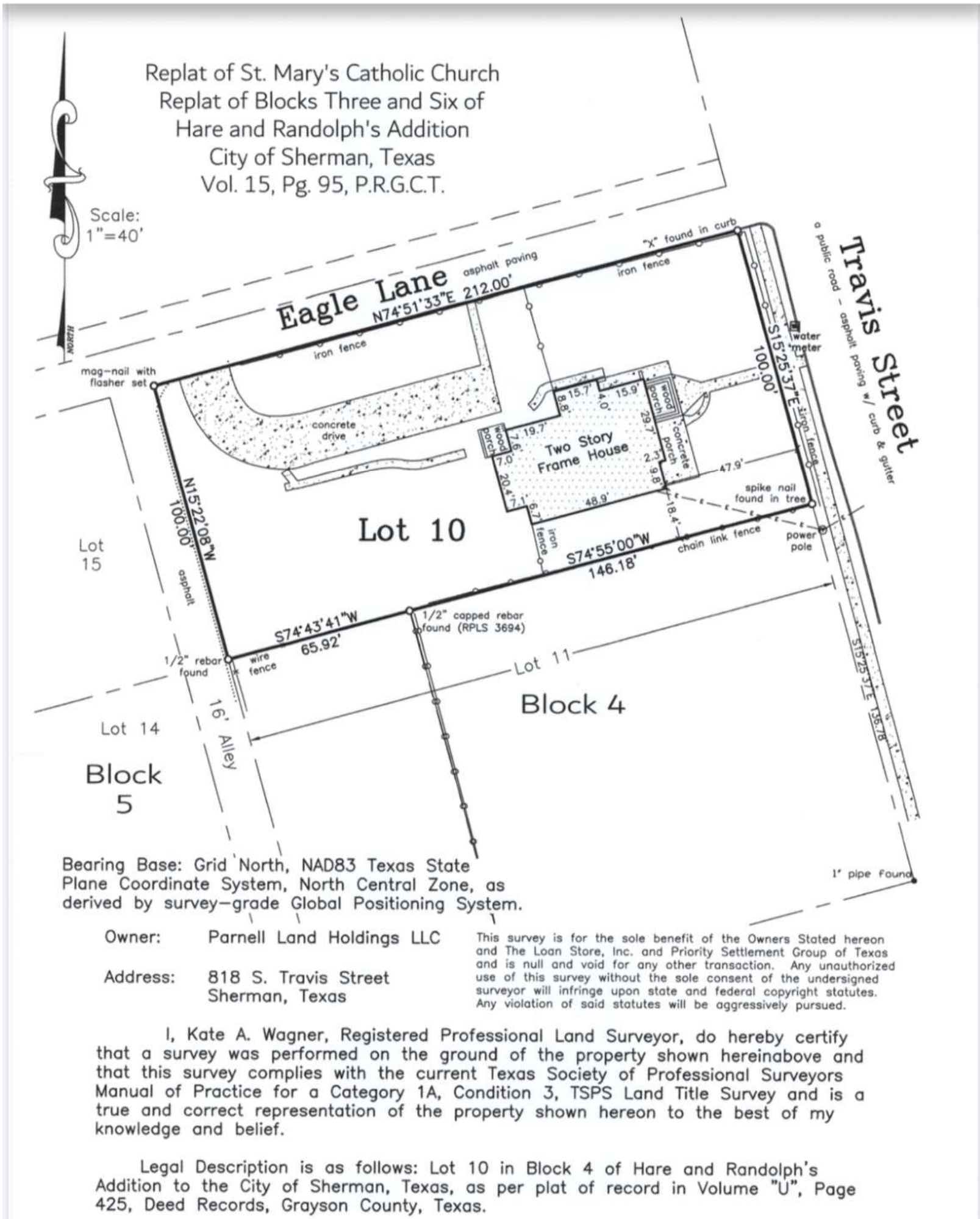
- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



818 SOUTH TRAVIS STREET – PROPERTY NOTIFICATION SIGN



Parnell survey Travis.p...



Project Narrative for Specific Use Permit Application

Property Address: 818 S Travis Street, Sherman, TX 75090

Legal Description: HARE & RANDOLPH ADDN, BLOCK 4, LOT 10

Applicant: Felicia Smith, Rise Academy TX

Request: Specific Use Permit (SUP) for Combined Residential and Home-Based Educational Use

Project Description:

The applicant seeks approval of a Specific Use Permit (SUP) for the property located at 818 S Travis Street to allow its use as both a residence and a home-based private educational program operated by Rise Academy TX. This three-story home will serve as the applicant's primary dwelling and also house a small-scale, daytime education program designed for homeschool students.

Educational Use Includes:

- Small group academic classes, Monday through Thursday, from 10:00 AM to 3:00 PM
- One-on-one tutoring sessions during early evening weekday hours

This use will remain entirely within the residential structure and involve a small number of students dropped off and picked up daily. There are no commercial deliveries, retail activity, or permanent employee traffic. The driveway can accommodate up to four vehicles, and the property includes parking on three sides, allowing for efficient and low-impact pick-up and drop-off.

Compatibility with Surrounding Area:

The property is located in a mixed-use area, where three of the four surrounding corners are already zoned or used for non-residential purposes:

- Two churches
- Washington Elementary School (public)

The proposed use aligns naturally with the educational tone of the area and will not materially change the neighborhood's character or increase traffic in a disruptive way.

Background on Rise Academy TX:

Rise Academy TX has been in operation since 2018, providing individualized and small group academic support, particularly for students with learning differences. The program has previously held a Specific Use Permit in a fully residential neighborhood in Sherman and maintained excellent standing with neighbors and city authorities.

The school's mission is to offer a calm, relationship-centered learning environment that allows children to thrive outside the constraints of traditional educational models.

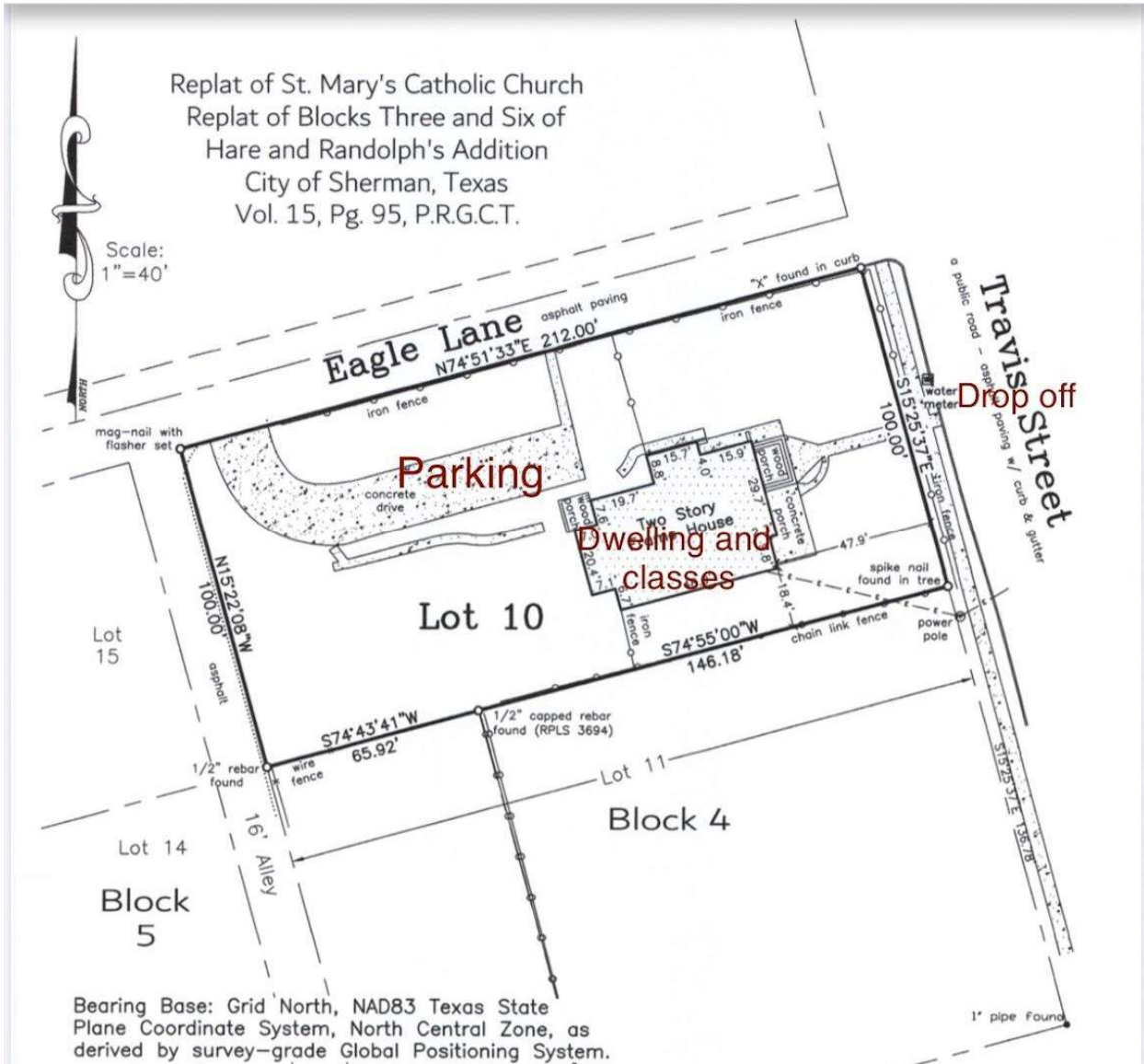
Permit Term:

The applicant is requesting this SUP for the duration of the current lease, from August 1, 2025, through May 31, 2026.

Conclusion:

This project is a low-impact, community-serving use that supports educational choice for families in Sherman while maintaining the residential integrity of the neighborhood. The applicant respectfully requests approval of this SUP in order to continue providing a valuable service to local homeschool families within a safe, well-managed, and appropriately scaled home environment.

Parnell survey Travis.p...



Bearing Base: Grid North, NAD83 Texas State Plane Coordinate System, North Central Zone, as derived by survey-grade Global Positioning System.

Owner: Parnell Land Holdings LLC
 Address: 818 S. Travis Street
 Sherman, Texas

This survey is for the sole benefit of the Owners Stated hereon and The Loan Store, Inc. and Priority Settlement Group of Texas and is null and void for any other transaction. Any unauthorized use of this survey without the sole consent of the undersigned surveyor will infringe upon state and federal copyright statutes. Any violation of said statutes will be aggressively pursued.

I, Kate A. Wagner, Registered Professional Land Surveyor, do hereby certify that a survey was performed on the ground of the property shown hereinabove and that this survey complies with the current Texas Society of Professional Surveyors Manual of Practice for a Category 1A, Condition 3, TSPS Land Title Survey and is a true and correct representation of the property shown hereon to the best of my knowledge and belief.

Legal Description is as follows: Lot 10 in Block 4 of Hare and Randolph's Addition to the City of Sherman, Texas, as per plat of record in Volume "U". Page

Site Plan Description – 818 S Travis Street, Sherman, TX

The property located at 818 S Travis Street is a corner lot totaling approximately 0.487 acres. The lot is generally rectangular in shape and contains a three-story residential structure situated near the center of the lot.

Building Placement:

- The main structure is a three-story home located centrally on the property.
- It is set back from the street with a fenced front yard, and there is a small yard space to the rear as well.

Access and Circulation:

- The property has vehicular access from three sides, with available parking around the perimeter.
- A long concrete driveway runs along one side of the home and leads to the back entrance, which is used as the primary drop-off and pick-up zone for students.
- Drop-offs occur during designated times and vehicles do not remain on-site, helping to maintain low traffic and minimal disruption.

Parking:

- The driveway can accommodate up to 4 vehicles.
- Additional short-term parking is available along the side and front streets, allowing for rare instances when multiple vehicles are briefly present.
- The applicant anticipates no more than 4 cars parked at any given time, and this would be rare due to staggered drop-off/pick-up for tutoring or classes.

Fencing and Outdoor Space:

- A black fence encloses the front yard along the street-facing side of the house
- No exterior structures, play equipment, or signage are planned or present.

Use of Structure:

- The building will continue to serve as a single-family residence.
- Certain interior spaces will be used during limited weekday hours for small group academic classes and one-on-one tutoring, operated by Rise Academy TX.
- All instruction will occur indoors, and no structural modifications are planned.

STAFF REVIEW LETTER

September 9, 2025

Sent via Email

Jeremy Parnell
6803 Cheswick Ct
Parker, TX 75002

Felicia Smith
818 South Travis Street
Sherman, TX 75090

Dear Applicants,

The request of a Public Hearing, Site Plan and Specific Use Permit approval under Section 14.06.009 allow Schools; elementary, high, college and universities, public, private, or denominational in a MF-30 (Multi-Family Residential) District located at 818 South Travis Street has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, September 16, 2025 at 5:00 P.M., in the City Council Chambers at 220 W. Mulberry.

City staff has reviewed your request, and the following items need to be noted/addressed:

Zoning:

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Fire access, lanes and codes shall be coordinated with the Fire Marshal (dillons@cityofsherman.com). (*Code of Ordinances Chapter 3.02(c)*)
3. Fence Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Sec. 14.04.004*)
4. Sign Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
5. The property must be properly maintained in a state of good repair and neat appearance.
6. The use of the property must comply with all Federal and State Laws and Regulations and with all the Ordinances, Rules and Regulations of the City of Sherman.
7. A complete survey must be provided.
 - a. The bottom half of the survey is not shown in the attachment.
8. A deed must be provided per the submittal checklist for a Specific Use Permit.
 - a. The owner that signed of on the Master Application Form must be the owner listed on the deed.
9. Off-street parking shall be prohibited from encroaching into the public right-of-way in any case (*Sec. 14.04.003(b)(1)*)
10. All vehicle maneuvering shall take place on-site. (*Sec. 14.04.003(b)(2)*)
11. Required parking spaces shall be a minimum of nine (9) feet wide and twenty (20) feet long. (*Sec. 14.04.003(d)(3)(A)*)
 - a. The size of the parking spaces must be shown on the Site Plan
12. No maneuvering shall take place in the right-of-way. (*Sec. 14.04.003(d)(5)(C)*)
13. A tabulation shall be provided on the Site Plan:
 - a. The number of classrooms for elementary, Junior high, and middles schools
 - i. There shall be 2.5 parking spaces for every classroom and a minimum of 10 stacking spaces in 1 pick-up/drop-off lane. (*Sec 14.04.003 (e)(1)*)
 - b. The number of High school classrooms

- i. There shall be 8 parking spaces for every high school classroom *(Sec. 14.04.003 (e)(1))*
 - c. The number of Nursery, Kindergarten, or daycare pupils
 - i. There shall be 1 parking space for every 8 Nursery, Kindergarten, or daycare pupils. *(Sec. 14.04.003(e)(1))*
 - 1. All vehicle maneuvering shall take place on-site. *(Sec. 14.04.003(b)(2))*
 - a. Pick-up and Drop Off lanes must be shown on site and not in the Right of Way
- 14. Provide photos of the existing structure to demonstrate the elevation.
- 15. Provide a floor plan and indicate the classrooms.
 - a. Provide a tabulation that shows the total square feet of the classrooms and the total square feet of the floor area of the entire structure.
- 16. A Certificate of Occupancy must be obtained before any business can be operated within the City of Sherman.
 - a. An inspection must be completed and approved by the Building Department and Fire Services before a Certificate of Occupancy can be issued. *(Sec. 14.06.003)*
- 17. A Specific Use Permit must be approved by the Planning and Zoning Commission and City Council. *(Sec. 14.06.009)*
- 18. The granting of the Specific Use Permit has no effect on the uses permitted as of right and does not waive the regulations of the underlying zoning district.
- 19. A Specific Use Permit is an amendment to the district regulations of the Zoning Ordinance that permits the establishment of a specific use within a zoning district in which such specific use may be established unless such use of land or structure is discontinued or abandoned for a period of thirty (30) consecutive days in which event such Specific Use Permit shall be void and such use may not thereafter be resumed unless a new Specific Use Permit is granted in accordance with this section. *(Chapter 14, Sec. 14.06.009(a)(1)(C))*
- 20. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.
- 21. Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission.

It is the policy of the Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, do not hesitate to contact Development Services by emailing planning@cityofsherman.com prior to the meeting.

Respectfully,



Rob Rae
Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager
Clint Philpott, Asst. City Manager
Wayne Lee, P.E., Director of Engineering
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney
Steven Davis, Asst. Fire Marshal
Amber Doan, Engineering Coordinator
Tom Pruitt, Utility Engineer

Turner, Kerri

From: Planning
Sent: Monday, June 16, 2025 10:58 PM
To: Felicia Smith; Planning
Cc: [REDACTED]
Subject: RE: Zoning and planning question

Temporary Use Permits are only utilized for operations that will occur more than 2 weeks and less than 6 months and TUP would have to be indicated on the Use Chart for this to be applicable. <https://ecode360.com/41405045>

Having more than one employee negates this use from a home occupation.

You will need an SUP.

Thank you.

*Kerri Turner, Development Services Planning Technician
City of Sherman
Development Services Department
Main Number: (903)892-7229
Direct Line: (903)892-7392
planning@cityofsherman.com
www.ci.sherman.tx.us*

Effective March 31st, 2025, Development Services will be using the [Self Service Portal](#) for building permits, engineering submittals and planning applications.



The City of Sherman is a public entity; therefore, this correspondence may be subject to disclosure under the Texas Public Records Act. Any views or opinions presented herein are solely those of the author and do not necessarily represent official City of Sherman policy.

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From: Felicia Smith <[REDACTED]>
Sent: Monday, June 16, 2025 12:21 PM
To: Planning <Planning@cityofsherman.com>
Cc: [REDACTED]
Subject: Re: Zoning and planning question

EXTERNAL EMAIL: -- Avoid clicking on links or files -- Be safe!

Dear Kerri,

I hope this message finds you well.

Thank you for the quick response, I am writing to ask whether a Temporary Use Permit (TUP) might be considered while I complete the process of obtaining a Specific Use Permit (SUP) for a homeschool co-op I plan to operate beginning in early August.

This would not be a traditional school, but rather a homeschool co-op that falls outside the realm of formal or conventional schooling. The environment is intentionally small and focused on individualized, experiential learning.

We plan to have three staff members on site, and there is already appropriate space for parking. Additionally, I will be living at the property and operating from it as a primary residence.

The location is especially well-suited for this type of use: it is directly surrounded by Washington Elementary School and two churches, making the immediate area a mixed-use zone that already accommodates educational and community functions.

I am hoping to move into the property in early August, but I will not have final rental documentation until July, which limits my ability to submit the full SUP application in advance.

Would a Temporary Use Permit be available or advisable in this situation to allow for a smooth and legal transition into the space while the SUP process is underway?

I appreciate your guidance on this and would be happy to provide any additional details or documentation needed.

Warmly,

Felicia Smith

On Mon, Jun 16, 2025 at 11:56 AM Planning <Planning@cityofsherman.com> wrote:

Felicia,

- Whether this proposed use would fall under current residential zoning allowances,
 - The definition of a School would be as follows:
 - [*Schools; elementary, high, college and universities, public, private, or denominational.*](#) Any public, parochial, private, charitable, or nonprofit school, junior college, or university, other than trade or business schools, **including instructional and recreational uses**, with or without living quarters, dining rooms, restaurants, heating plants, and other incidental facilities for students, teachers and employees.
- If a special use permit or other authorization is required
 - Yes, based on the definition of the use you are describing, a Specific Use Permit (SUP) would be required. <https://ecode360.com/41405045>
- Any steps we need to take to complete the move quickly and responsibly.
 - The submittal schedule is on page 7 of the [City-of-Sherman-Development-Guide](#) and the submittal requirements are on page 10 of the [City-of-Sherman-Development-Guide](#).

Your site plan will need to be able to accommodate parking for the use you are proposing.
<https://ecode360.com/41399437>

Thank you.

Kerri Turner, Development Services Planning Technician

City of Sherman

Development Services Department

Main Number: (903)892-7229

Direct Line: (903)892-7392

planning@cityofsherman.com

www.ci.sherman.tx.us

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From: Felicia Smith <[REDACTED]>
Sent: Saturday, June 14, 2025 1:09 PM

To: Planning <planning@cityofsherman.com>

Cc: [REDACTED]

Subject: Zoning and planning question

EXTERNAL EMAIL: -- Avoid clicking on links or files -- Be safe!

Felicia Smith

Founder & Director, Rise Academy

[REDACTED]
North TX and Palm Beach FL

Planning & Zoning Department

City of Sherman

[220 W Mulberry Street](#)

[Sherman, TX 75090](#)

To Whom It May Concern,

My name is Felicia Smith and I am the founder and director of Rise, a homeschool-based micro-school that currently operates in Denison in a house zoned for business that we have outgrown. We serve a small group of homeschooling families by offering structured support, enrichment lessons, and tutoring in a private, nurturing educational setting.

In the past, we operated out of a home I rented in Sherman and received a special use permit to provide tutoring services at that location. That process was smooth, and we appreciated the city's willingness to work with us to make educational opportunities available in a flexible setting.

We are now seeking to relocate Rise School into a larger two-story home, which would allow us to continue serving local families while accommodating our growth. The home is currently zoned for residential use, and we want to ensure we are in full compliance with any city requirements before proceeding.

As a micro-school serving homeschool families, we do not operate as a licensed private school or daycare facility. All of our students are registered as homeschoolers through their parents, and we simply provide daily academic support in a structured environment—similar in nature to a tutoring program or homeschool cooperative in small groups within the window of 8am-2pm Mon-Thurs.

We would like to request guidance on:

- Whether this proposed use would fall under current residential zoning allowances,
- If a special use permit or other authorization is required, and
- Any steps we need to take to complete the move quickly and responsibly.

Our intention is to move forward in a respectful, compliant, and timely manner, and we welcome the opportunity to work alongside the city again.

Please let me know what materials you need from us to initiate this process. I'm happy to provide a site plan, program summary, or attend any meetings required.

Warm regards,

Felicia Smith



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 16.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

4800 TEXOMA PARKWAY (Project No. 000137-2025)

The request of Star Midway, LLC (Owner) and Byron Equizabal (Applicant) concerning the property located in the 4800 Texoma Parkway, consisting of 42.8134 acres, in the John Hendrix Survey, Abstract No. 503, the W.F. Patterson Survey, Abstract No. 969, the Daniel Shelp Survey, Abstract No. 1097 and the T.J. Shannon Survey, Abstract No. 1136, Lots 1 and 3, Block 1, Midway Mall, currently zoned C-2 (General Commercial) District, as follows:

Planning and Zoning Commission

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow a Church or other place of worship in a C-2 (General Commercial) District.

Background:

The property is located in the 4800 Texoma Parkway. The owner is requesting a Specific Use Permit for a Church or other place of worship in a C-2 (General Commercial) District and Site Plan approval.

The applicant proposes to convert the former movie theater located in Midway Mall into a church for religious assembly. The facility will be used for weekly worship services, Bible study, community meetings, and related church activities.

The following has been approved for this location:

4800 Texoma Pkwy:

- September 9, 1986 - Specific Use Permit to allow a private club in a C-2 (General Commercial) District
- September 8, 1987 - Specific Use Permit to allow a private club in a C-2 (General Commercial) District
- February 13, 1969 - Specific Use Permit to allow a private club in a C-2 (General Commercial) District in Lease Space B-7-4
- February 22, 2022 - Temporary Use Permit to allow a Mobile COVID Testing Site in a C-2 (General Commercial) District/M-1 (Light Manufacturing) District
- March 21, 2023 - Public Hearing and Specific Use Permit under Section 14.06.009 to allow a School, commercial or trade in a M-1 (Light Manufacturing) District.
- April 18, 2023 - Public Hearing and Temporary Use Permit under Section 14.06.008 to allow Tents, seasonal retail (temporary) in a C-2 (General Commercial) District
- May 16, 2023 - Public Hearing and Zone Change, Tract One, consisting of 42.8134 acres in the John Hendrix Survey, Abstract No. 503, the W.F. Patterson Survey, Abstract No. 969, the Daniel Shelp Survey, Abstract No. 1097 and the T.J. Shannon Survey, Abstract No. 1136, Lots 1 and 3, Block 1, Midway Mall; Tract Two, consisting of 1.1255 acres in the John Hendrix Survey, Abstract No. 503 and the W.F. Patterson Survey, Abstract No. 969, Lots 5 and 7, Block 1, Midway Mall; Tract Four, consisting of 4.000 acres in the W.R. Patterson Survey, Abstract No. 969, Block 4, Midway Mall from a M-1 (Light Manufacturing) District and C-2 (General Commercial) District to a C-2 (General Commercial) District.

- May 16, 2023 - Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow a Mini-warehouse in a C-2 (General Commercial) District.
- May 16, 2023 - Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to
- allow Warehousing in a C-2 (General Commercial) District
- 06/20/2023 - Public Hearing and Zone Change from an M-1 (Light Manufacturing) District and C-2 (General Commercial) District to a C-2 (General Commercial) District.

Origination:

Star Midway, LLC (Owner) and Byron Equizabal (Applicant)

Staff Recommendation:

Staff has no objection to the approval of this Specific Use Permit.

Attachments:

1. Location Map
2. Zoning Map
3. Future Land Use Map
4. Property Notification Sign
5. Survey
6. Narrative
7. Site Plan
8. Elevations
9. Staff Review Letter

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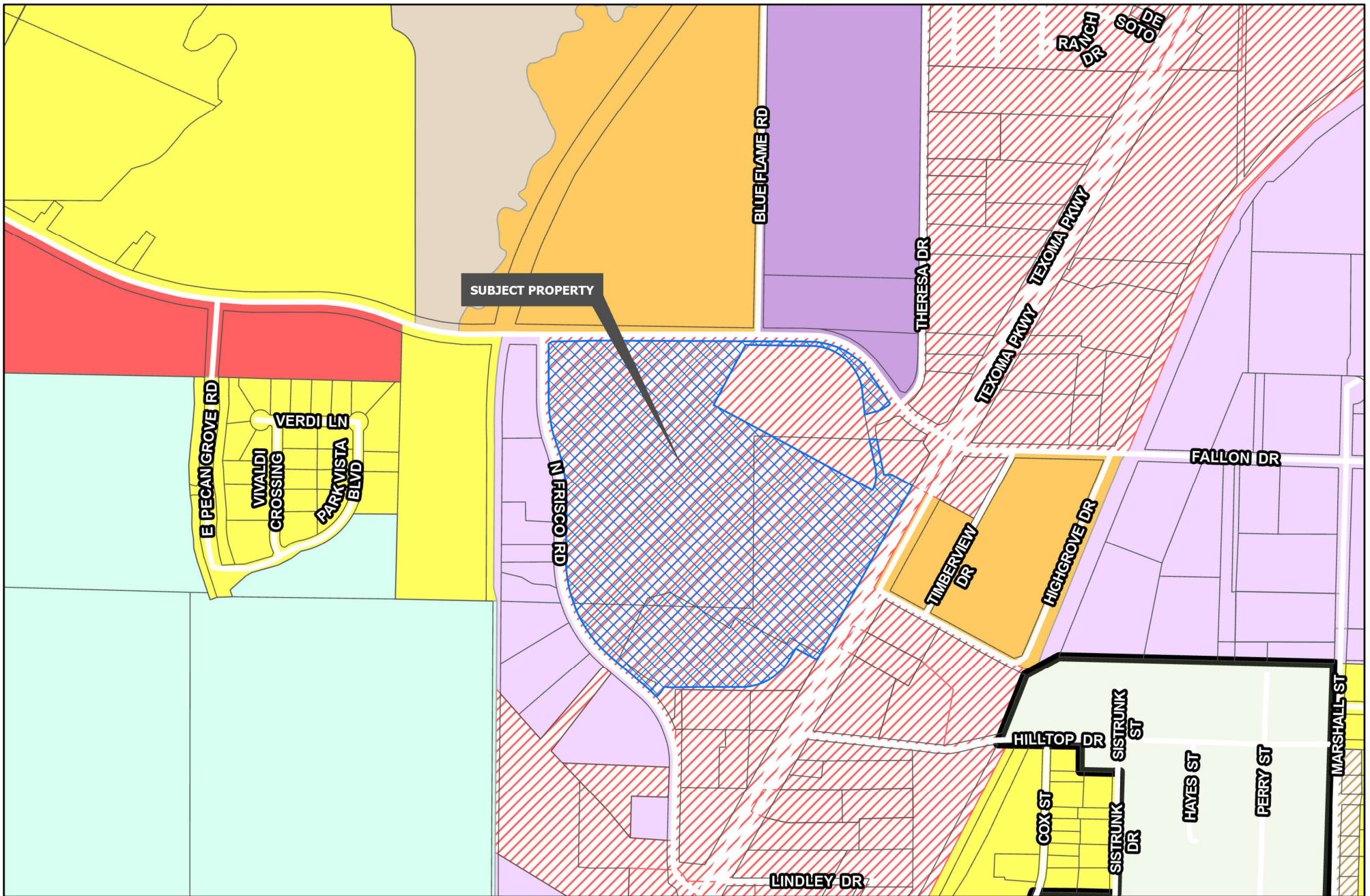


City of Sherman, Texas
 Development Services Department

CITY OF SHERMAN
 LOCATION MAP
 4800 TEXOMA PKWY



Date: 5/6/2023 9:55 AM



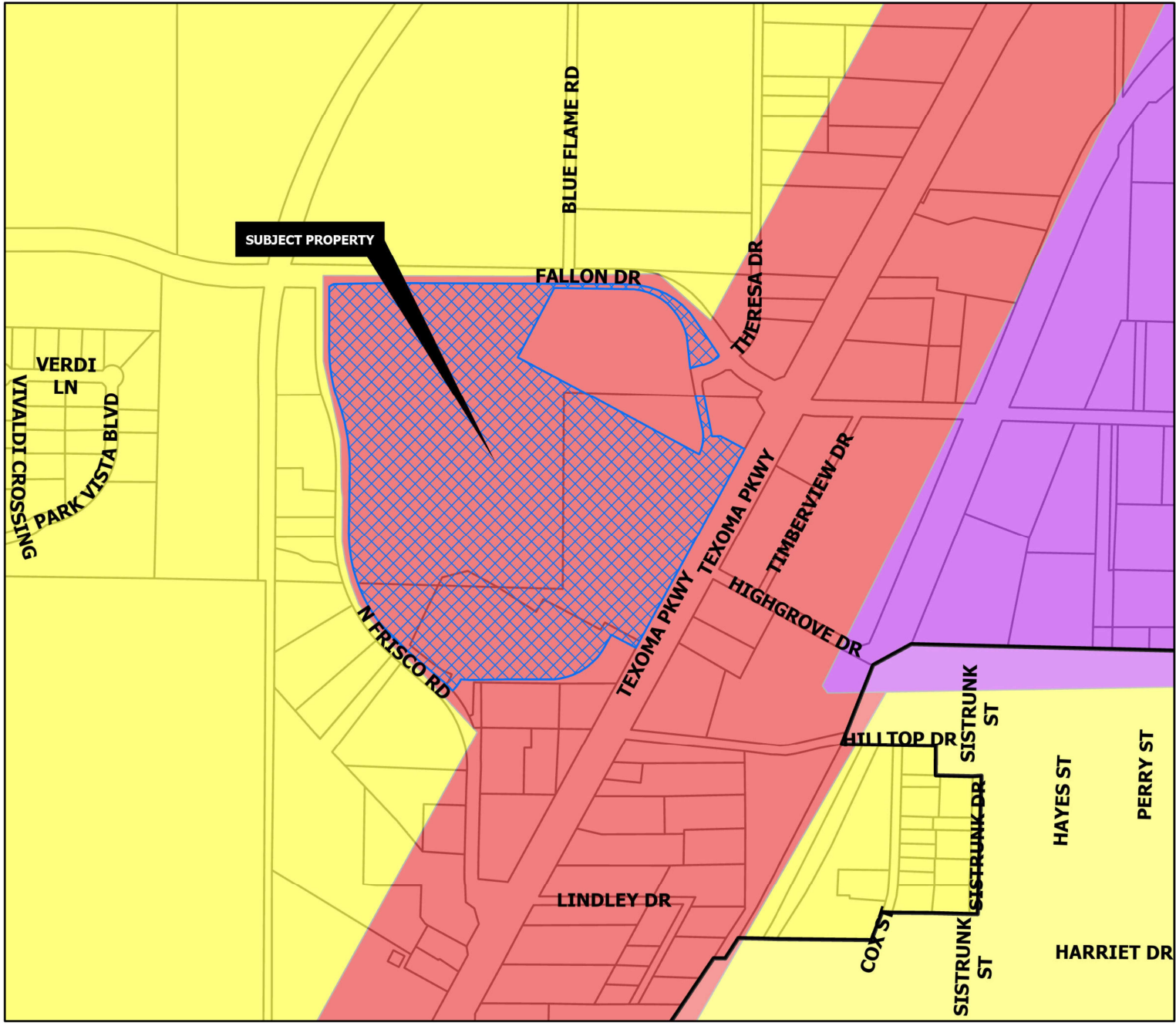
- | | | |
|--------------------------------|--------------------------------|----------------------------|
| R-A Residential Agricultural | MF-15 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-E Estate Residential | MF-30 Multi-Family Residential | M-2 Heavy Manufacturing |
| R-12 Single Family Residential | MH Manufactured Housing | PD Planned Development |
| R-6 Single Family Residential | C-N Neighborhood Commercial | Road Names All |
| R-5 Single Family Residential | C-O Office | Planning & Zoning |
| R-4 Patio Home Residential | C-1 Retail Business | |
| R-2F Duplex Residential | C-2 General Commercial | |
| R-TH Townhome Residential | M-1 Light Manufacturing | |



Development Services
Department

CITY OF SHERMAN
ZONING MAP
4800 TEXOMA PKWY





REGIONAL COMMERCIAL

Intent & Character

The Regional Commercial category is intended to promote large-scale commercial development along US-75, while promoting community character through design. US-75 serves as the major gateway to and through the community; therefore, aesthetics and design should be promoted in this corridor. This category should allow large-scale commercial uses that serve the region and the community alike. A mix of uses and inter-connectivity between parcels should be encouraged.

Appropriate Land Use Types

- Retail and Restaurants
- Multi-Family Living
- Office Complex
- Medical
- Mixed Use
- Indoor Entertainment

Compatible Zoning Districts

- Retail Business
- General Commercial
- Office
- Multi-Family Residential (MF-15 and MF-30)
- Planned Development (for larger tracts)

Considerations

- Site design considerations should be given to parking, landscaping, and building articulation.
- Where possible, parking should be screened from view or well-landscaped with native, drought-tolerant plants.
- All buildings facades fronting a public street or within significant public view should have aesthetically-pleasing horizontal and vertical articulation.
- Signage should be multi-tenant, where possible, and should match the character of the primary structure.
- High density residential should be included in mixed use developments.
- High density residential is appropriate behind commercial areas, with inter-connectivity.
- If high density is stand alone, the surrounding uses and connectivity should be considered to avoid an "island."



Development Services Department

Agriculture/Rural	Core Neighborhood	Technology Hub
Airport	Downtown	Planning & Zoning
City Parkland	Regional Commercial	
Community Commercial	Suburban Neighborhood	

CITY OF SHERMAN
FUTURE LAND USE MAP
4800 TEXOMA PKWY

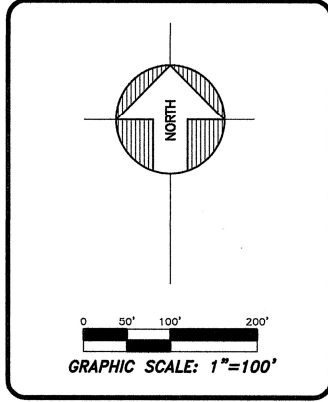
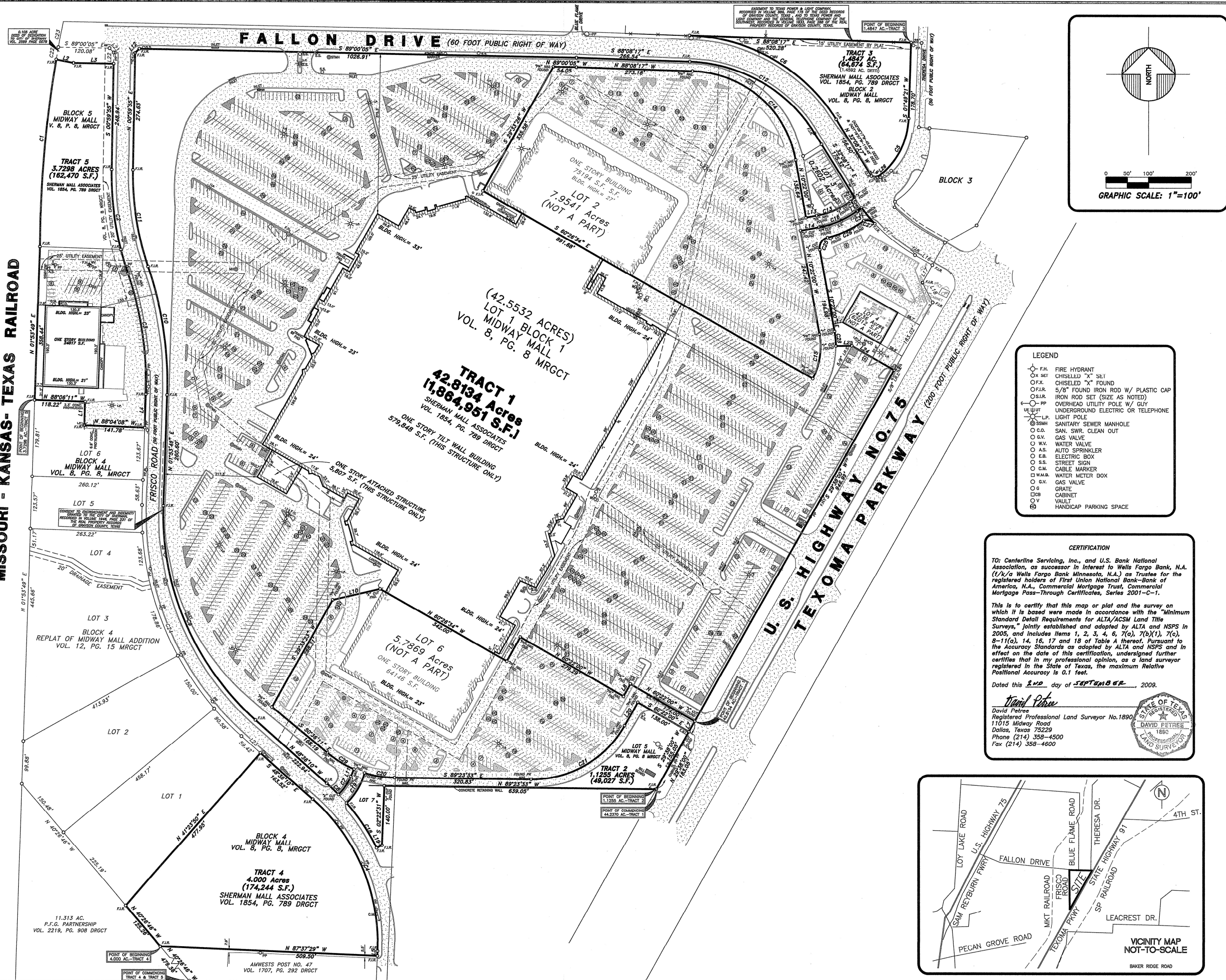


4800 TEXOMA PARKWAY – PROPERTY NOTIFICATION SIGN



EXHIBIT A

MISSOURI - KANSAS- TEXAS RAILROAD



- LEGEND**
- ⊙ F.H. FIRE HYDRANT
 - ⊙ CHISELED "X" SET
 - ⊙ CHISELED "X" FOUND
 - ⊙ 5/8" FOUND IRON ROD W/ PLASTIC CAP
 - ⊙ IRON ROD SET (SIZE AS NOTED)
 - ⊙ OVERHEAD UTILITY POLE W/ GUY
 - ⊙ UNDERGROUND ELECTRIC OR TELEPHONE
 - ⊙ LIGHT POLE
 - ⊙ SANITARY SEWER MANHOLE
 - ⊙ SAN. SWR. CLEAN OUT
 - ⊙ GAS VALVE
 - ⊙ WATER VALVE
 - ⊙ AUTO SPRINKLER
 - ⊙ ELECTRIC BOX
 - ⊙ STREET SIGN
 - ⊙ CABLE MARKER
 - ⊙ WATER METER BOX
 - ⊙ GAS VALVE
 - ⊙ GRATE
 - ⊙ CABINET
 - ⊙ VAULT
 - ⊙ HANDICAP PARKING SPACE

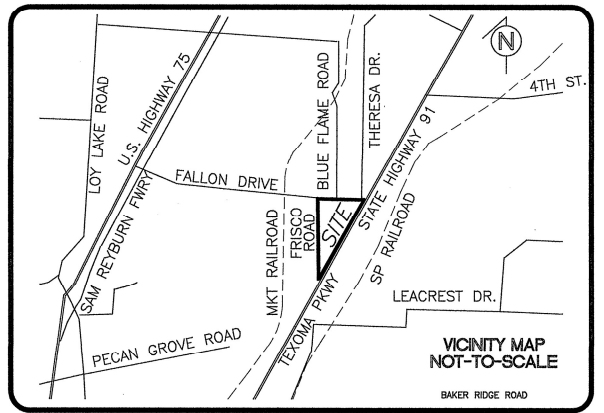
CERTIFICATION

TO: Centaline Servicing, Inc., and U.S. Bank National Association, as successor in interest to Wells Fargo Bank, N.A. (1/10th Wells Fargo Bank Minnesota, N.A.) as Trustee for the registered holders of First Union National Bank-Bank of America, N.A., Commercial Mortgage Trust, Commercial Mortgage Pass-Through Certificates, Series 2001-C-1.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2005, and includes items 1, 2, 3, 4, 6, 7(a), 7(b)(1), 7(c), 8-11(a), 14, 16, 17 and 18 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Texas, the maximum Relative Positional Accuracy is 0.1 feet.

Dated this 2ND day of SEPTEMBER, 2009.

David Petree
 David Petree
 Registered Professional Land Surveyor No. 1890
 11015 Midway Road
 Dallas, Texas 75229
 Phone (214) 358-4500
 Fax (214) 358-4600



DRAWN BY: BVN
CHECKED BY: DRP

NO.	DATE	REVISION
1.	7/20/09	REVISIONS PER COMMENTS FULLBRIGHT & JAWORSKI
2.	8/23/09	ADDED PLAT REFERENCE TO TRACT 5 EASEMENT
3.	9/02/09	REV3/LINE1 REMOVE LOT 4
4.		REV4/LINE1
5.		REV5/LINE1

ALTA/ACSM LAND TITLE SURVEY

SHERMAN MALL ASSOCIATES, L.P.

MIDWAY MALL SITE

CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

OLD REPUBLIC
A MEMBER OF THE OLD REPUBLIC TITLE INSURANCE GROUP

17330 Preston Road, Suite 150A
 Dallas, Texas 75252
 P: (469) 737-7000 F: (469) 737-7070

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SHEET
1 OF 3

PROJECT NUMBER
 OR090362

Project Narrative – Conversion of Former Movie Theater to Church Use

Project Address:
Midway Mall
4800 Texoma Pkwy
Sherman, TX 75090

Applicant / Tenant: Byrone Eguizabal
Owner Authorization: Midway Mall Sherman Texas

Proposed Use:

The applicant proposes to convert the existing former movie theater located in Midway Mall into a church for religious assembly.

The facility will be used for weekly worship services, Bible study, community meetings, and related church activities.

Building & Site Details:

- Existing building will remain with no major structural changes.
- Interior renovations will include:
 - Removal of old theater seating as needed
 - Minor finish upgrades for worship area and classrooms
 - Installation or verification of exit signage and lighting
- Estimated occupancy: ~~100-250~~ attendees per service
- Hours of operation: Primarily evenings and weekends
- Existing parking will accommodate attendees (no expansion anticipated).

Compliance & Safety:

- The church will comply with all applicable fire, building, and ADA requirements.
- Fire Marshal inspection will be coordinated for exit and safety verification.
- Any signage changes will comply with city regulations.

Community Impact:

- The proposed church use is a low-traffic, low-impact community use.
- Activities are primarily limited to weekends and evenings, minimizing traffic and noise.

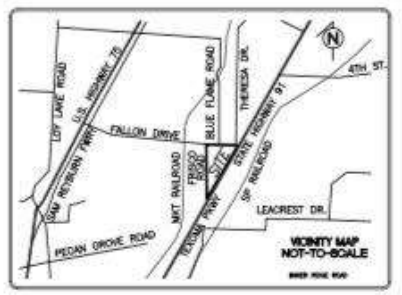
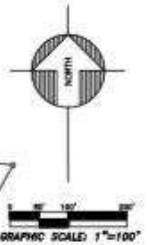
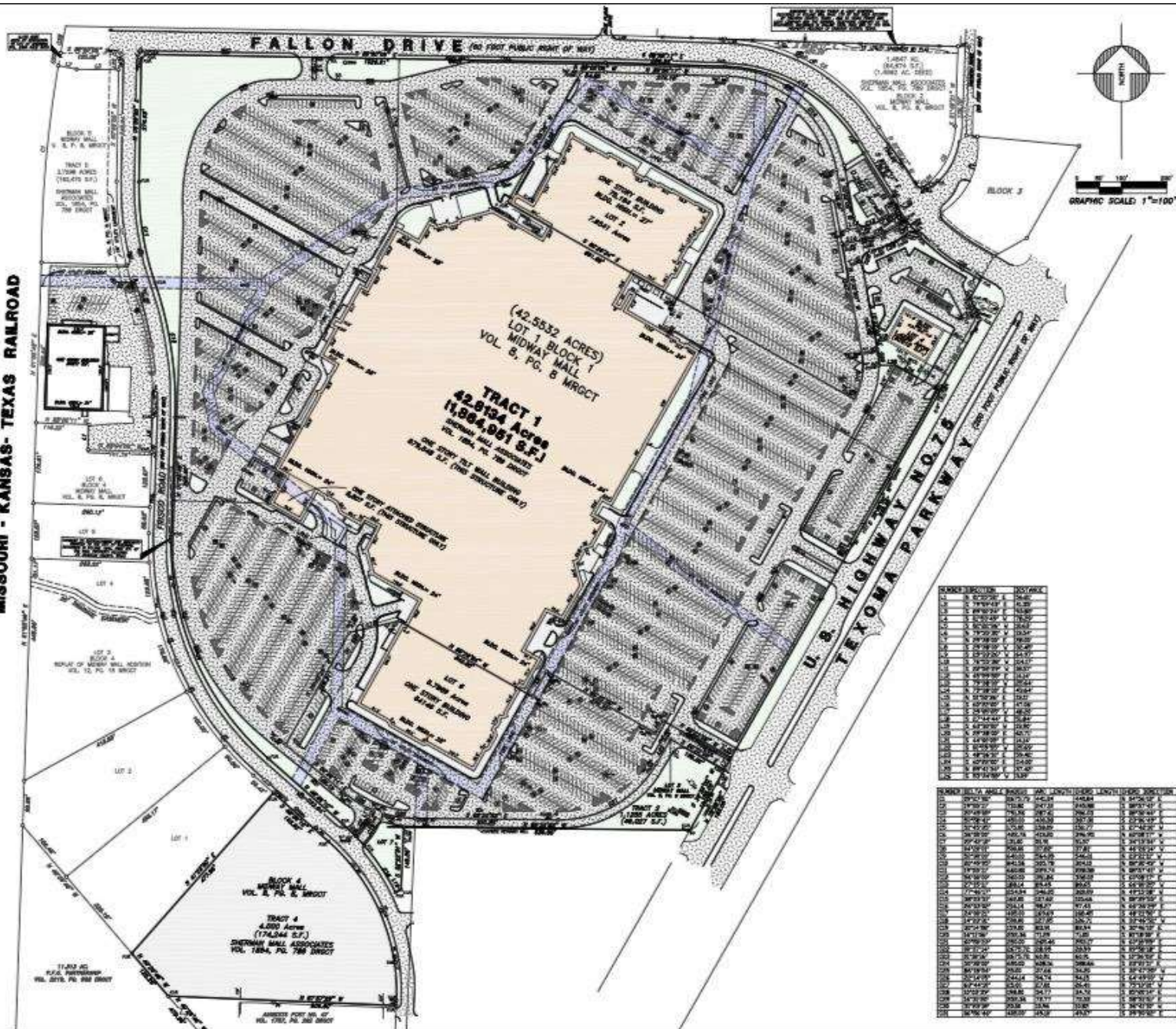
Conclusion:

This project will repurpose an existing vacant building into a positive community use without significant alterations to the site or adverse impact to surrounding properties.

Submitted By: Byrone Eguizabal

Date: 7/1/2025

MISSOURI - KANSAS-TEXAS RAILROAD



PROPERTY IS ZONED COMMERCIAL, RETAIL AND CENTRAL BUSINESS DISTRICT. CONTACT SCOTT SWANSON, DIRECTOR OF DEVELOPMENT SERVICES, PLANNING AND ZONING DEPARTMENT, 310 S. 201 W. ST., SHERMAN TEXAS 75081. PHONE: 903-882-2888 FAX: 903-882-2274

PARKING TABULATION
 REQUIRED PARKING = N/A
 NORMAL PARKING = 3,432
 MAXIMUM PARKING = 60
 TOTAL PARKING = 3,492

PAVING AREAS
 PREVIOUS AREA: 522,128 S.F.
 IMPROVED AREA: 2,526,674 S.F.

BUILDING AREAS
 TOTAL STRUCTURES: 733,625 S.F.

- (1) Floor area: The total floor area of any building or buildings on a lot in the C-2 District shall not exceed the number of square feet in the lot.
- (2) Height regulations: No building shall exceed 30 feet or 2 stories in height.
- (3) Minimum requirements for lot area, width and setbacks.
- (4) Lot Area = 8,000 SF
- (5) Lot Width = 50'
- (6) Setback Front = 15'
- (7) Setback Side = 0'
- (8) Where the side yards of lots in the C-2 District are abutting a residential district, the side yard setback shall not be less than 10 feet.
- (9) Rear yard: Where the rear yard of lots in the C-2 District are abutting a residential or C-1 District, the rear yard setback shall not be less than 10 feet.

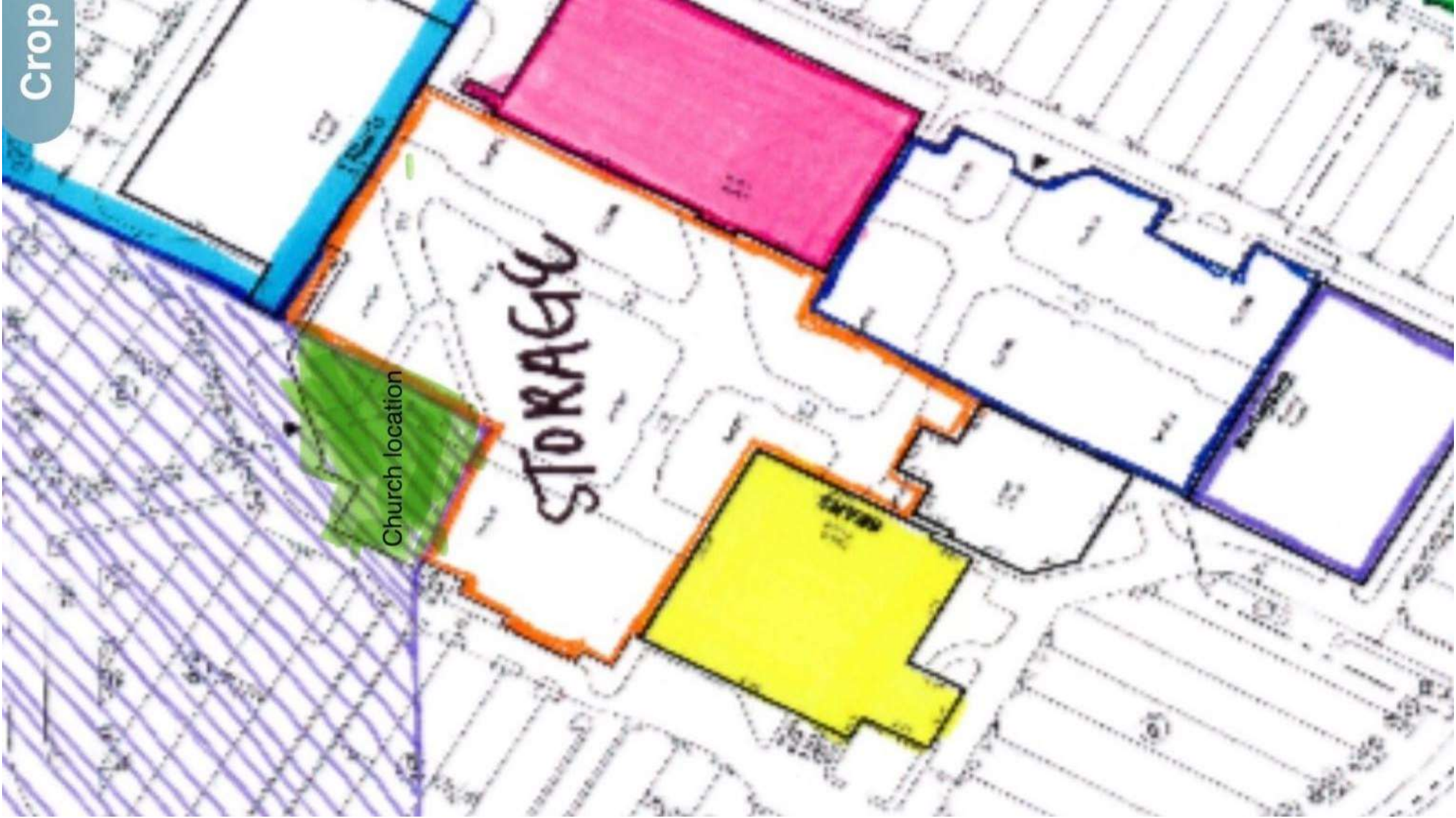
LOT NO.	AREA	REMARKS
1	1,200	LOT 1
2	1,200	LOT 2
3	1,200	LOT 3
4	1,200	LOT 4
5	1,200	LOT 5
6	1,200	LOT 6
7	1,200	LOT 7
8	1,200	LOT 8
9	1,200	LOT 9
10	1,200	LOT 10
11	1,200	LOT 11
12	1,200	LOT 12
13	1,200	LOT 13
14	1,200	LOT 14
15	1,200	LOT 15
16	1,200	LOT 16
17	1,200	LOT 17
18	1,200	LOT 18
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88	1,200	LOT 88
89	1,200	LOT 89
90	1,200	LOT 90
91	1,200	LOT 91
92	1,200	LOT 92
93	1,200	LOT 93
94	1,200	LOT 94
95	1,200	LOT 95
96	1,200	LOT 96
97	1,200	LOT 97
98	1,200	LOT 98
99	1,200	LOT 99
100	1,200	LOT 100

TRACT	AREA	REMARKS
1	42,812.4	TRACT 1
2	1,200	TRACT 2
3	1,200	TRACT 3
4	4,000	TRACT 4

SITE PLAN
MIDWAY MALL SITE
 SHERMAN MALL ASSOCIATES, L.P.
 CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

8:00 AM - 5:00 PM
 1000 S. 201 W. ST.
 SHERMAN, TEXAS 75081
 PHONE: 903-882-2888
 FAX: 903-882-2274

DATE: APRIL 14, 2021
 SCALE: 1" = 100'
 SHEET NO. 1 OF 1





STAFF REVIEW LETTER

September 9, 2025

Sent via Email

Star Midway, LLC
900 Linden Ave, Suite 100
Rochester, NY 14625

Byron Eguizabal
120 E Mulberry Street
Sherman, TX 75090

Dear Applicants,

The request of a Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow a Church or other place of worship in a C-2 (General Commercial) District located at 4800 Texoma Parkway, Suite 300 has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, September 16, 2025 at 5:00 P.M., in the in the City Council Chambers at 220 W. Mulberry.

City staff has reviewed your request, and the following items need to be noted/addressed:

Zoning:

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Fire access, lanes and codes shall be coordinated with the Fire Marshal (dillons@cityofsherman.com). (*Code of Ordinances Chapter 3*)
3. Sign Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
4. The property must be properly maintained in a state of good repair and neat appearance.
5. The use of the property must comply with all Federal and State Laws and Regulations and with all the Ordinances, Rules and Regulations of the City of Sherman.
6. The granting of the Specific Use Permit has no effect on the uses permitted as of right and does not waive the regulations of the underlying zoning district.
7. A Specific Use Permit is an amendment to the district regulations of the Zoning Ordinance that permits the establishment of a specific use within a zoning district in which such specific use may be established unless such use of land or structure is discontinued or abandoned for a period of thirty (30) consecutive days in which event such Specific Use Permit shall be void and such use may not thereafter be resumed unless a new Specific Use Permit is granted in accordance with this section. (*Chapter 14, Sec. 14.06.009(a)(1)(C)*)
8. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.
9. Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission.

It is the policy of the Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, do not hesitate to contact Development Services by emailing planning@cityofsherman.com prior to the meeting.

Respectfully,



Rob Rae

Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager
Clint Philpott, Asst. City Manager
Wayne Lee, P.E., Director of Engineering
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney
Steven Davis, Asst. Fire Marshal
Amber Doan, Engineering Coordinator
Tom Pruitt, Utility Engineer



Planning & Zoning Commission Development Services

Agenda Item No. 17.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

606 EAST LAMBERTH ROAD (Project No. 000138-2025)

The request of Remington Sherman Automotive, LLC (Owner), Shane Donohue (Applicant) and Texas Heritage Surveying, LLC (Surveyor) concerning the property located in the 606 East Lamberth Road, consisting of 1.99 acres, Lots 2 & 3, Block 4 DR., J.H. Caraway's Addition, currently zoned C-1 (Retail Business) District/US Highway 75&82 Overlay District, as follows:

Board of Adjustment

A. Public Hearing and Variance under Section 14.03.001 to allow a metal building in lieu of the required masonry, or masonry veneer, or concrete siding for the existing structure.

B. Public Hearing and Variance under Section 14.03.001 to allow a metal building in lieu of the required masonry, or masonry veneer, or concrete siding for the proposed structure.

Planning and Zoning Commission

C. Public Hearing, Site Plan and Specific Use Permit under Section 14.08.001 to allow an Automobile Repair, Body Work, Painting in a C-2 (General Commercial) District

D. Public Hearing and Zone Change from a C-1(Retail Business) District to a C-2 (General Commercial) District.

Background:

The property is located in the 606 East Lamberth Road. The owner is requesting a Specific Use Permit for an Automobile Repair and Site Plan approval for the Sherman Chevrolet Quick Lube. The owner is requesting a variance to allow a metal building in lieu of the required masonry, or masonry veneer, or concrete siding for the existing structure. The owner is also requesting a Zone Change from a C-1 (Retail Business) District to a C-2 (General Commercial) District.

The following has been approved:

- 2/16/2016 - To allow full height EFIS (Exterior Finish Insulation System) on the front and the north 50' on the east and west façade in lieu of the required masonry requirements for an addition to Earl Owen Supply, Inc. in a C-1 (Retail Business) District/O-1 (75 & 82) Overlay District.

Origination:

Remington Sherman Automotive, LLC (Owner), Shane Donohue (Applicant) and Texas Heritage Surveying, LLC (Surveyor)

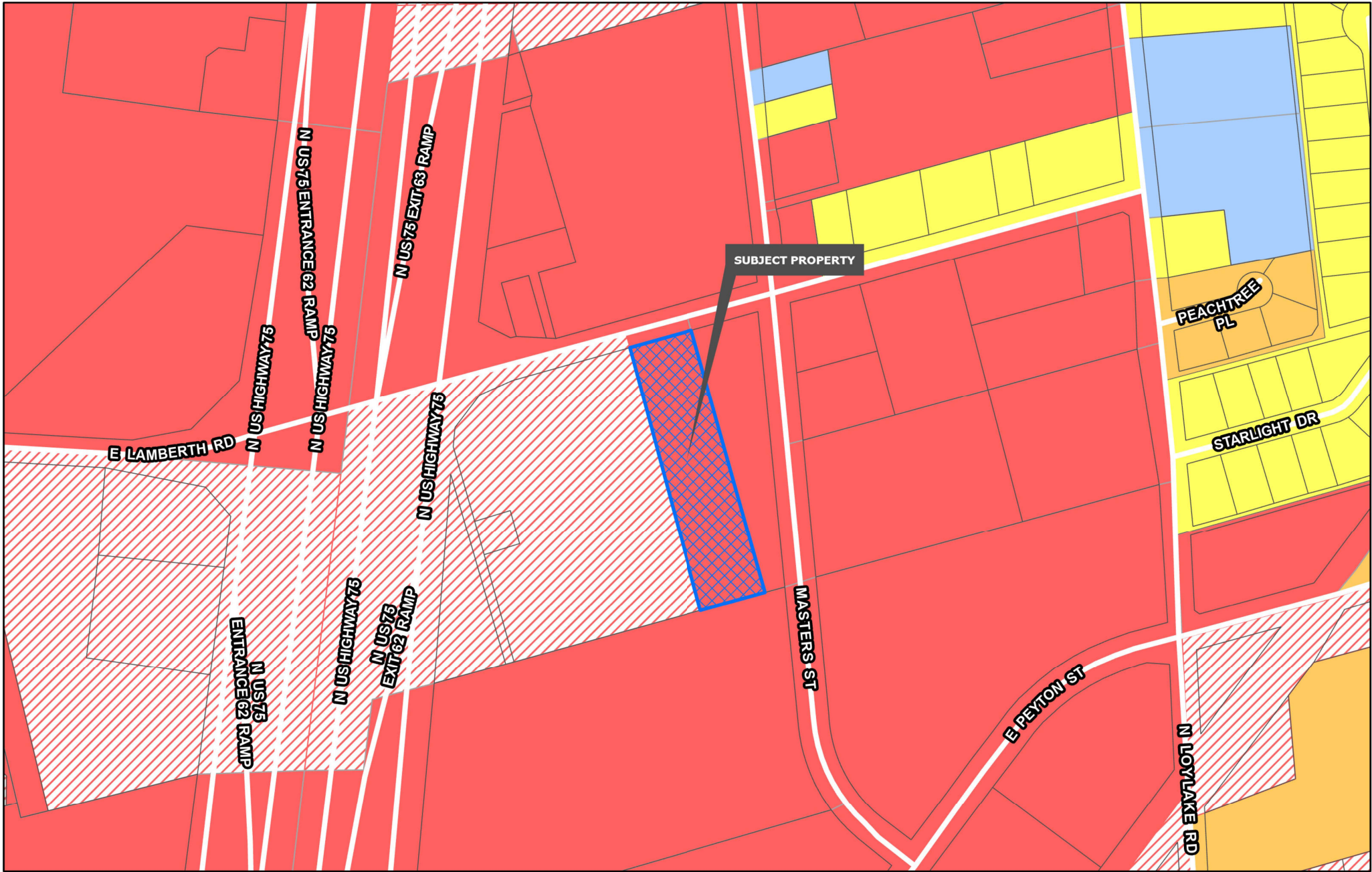
Staff Recommendation:

Staff has no objection to the approval of these requests.

Attachments:

1. Location Map
2. Zoning Map
3. Future Land Use Map
4. Property Notification Sign
5. Survey
6. Narrative
7. Comment Response Letter
8. Site and Landscape Plan
9. Elevations
10. Staff Review Letter

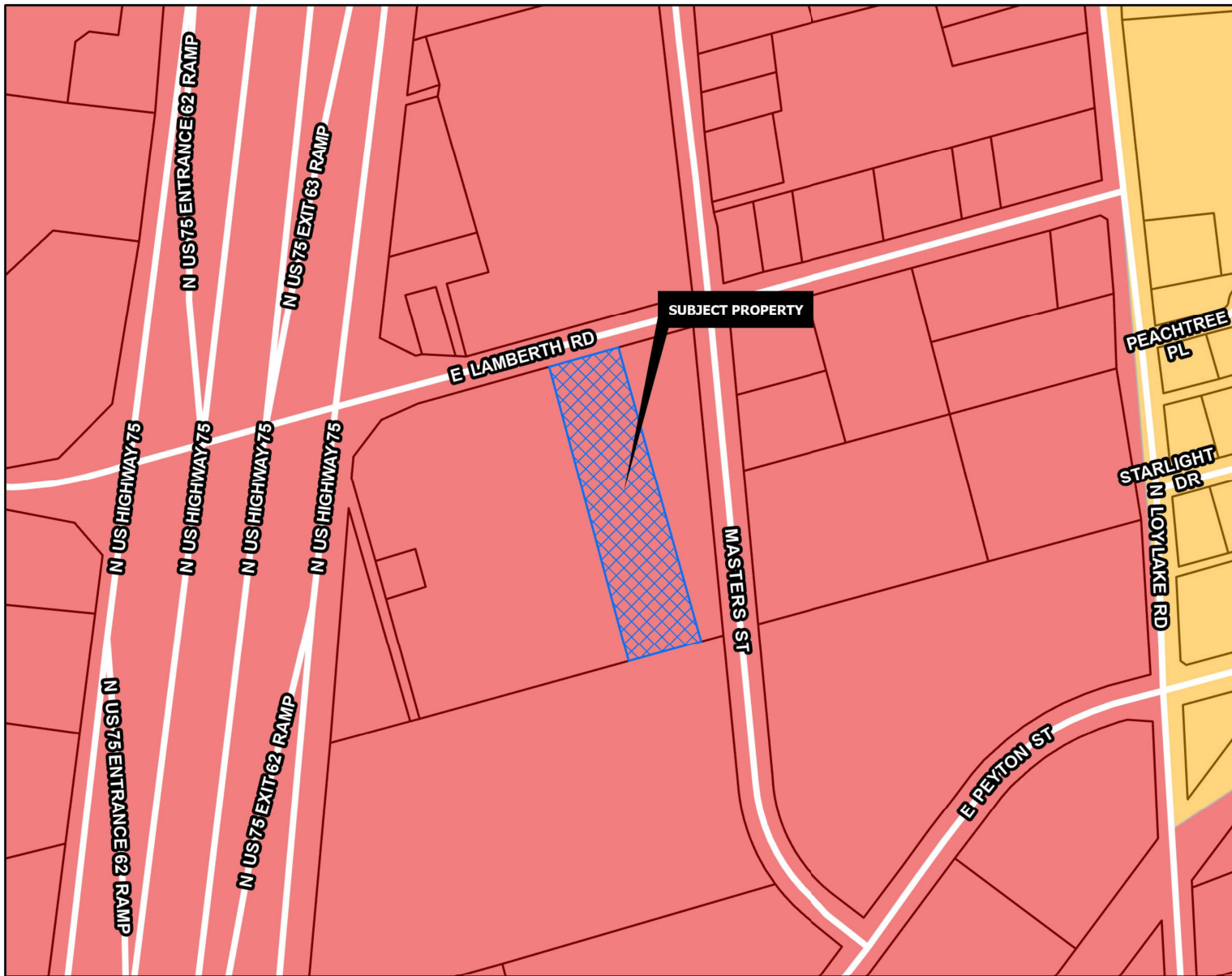




- | | | |
|--------------------------------|--------------------------------|----------------------------|
| Planning & Zoning | R-4 Patio Home Residential | C-O Office |
| R-A Residential Agricultural | R-2F Duplex Residential | C-1 Retail Business |
| R-E Estate Residential | R-TH Townhome Residential | C-2 General Commercial |
| R-12 Single Family Residential | MF-15 Multi-Family Residential | M-1 Light Manufacturing |
| R-6 Single Family Residential | MF-30 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-5 Single Family Residential | MH Manufactured Housing | M-2 Heavy Manufacturing |
| | C-N Neighborhood Commercial | PD Planned Development |

**CITY OF SHERMAN
 ZONING MAP
 606 E LAMBERTH RD**





REGIONAL COMMERCIAL

Intent & Character

The Regional Commercial category is intended to promote large-scale commercial development along US-75, while promoting community character through design. US-75 serves as the major gateway to and through the community; therefore, aesthetics and design should be promoted in this corridor. This category should allow large-scale commercial uses that serve the region and the community alike. A mix of uses and inter-connectivity between parcels should be encouraged.

Appropriate Land Use Types

- Retail and Restaurants
- Multi-Family Living
- Office Complex
- Medical
- Mixed Use
- Indoor Entertainment

Compatible Zoning Districts

- Retail Business
- General Commercial
- Office
- Multi-Family Residential (MF-15 and MF-30)
- Planned Development (for larger tracts)

Considerations

- Site design considerations should be given to parking, landscaping, and building articulation.
- Where possible, parking should be screened from view or well-landscaped with native, drought-tolerant plants.
- All buildings facades fronting a public street or within significant public view should have aesthetically-pleasing horizontal and vertical articulation.
- Signage should be multi-tenant, where possible, and should match the character of the primary structure.
- High density residential should be included in mixed use developments.
- High density residential is appropriate behind commercial areas, with inter-connectivity.
- If high density is stand alone, the surrounding uses and connectivity should be considered to avoid an "island."



606 EAST LAMBERTH ROAD – PROPERTY NOTIFICATION SIGN





2 September 2025

City of Sherman, Texas
317 S Travis Street
Sherman, TX 75090

Sub: **Sherman Chevrolet Quick Lube Remodel**
606 Lamberth Rd.
Sherman, Texas 75090

This submittal pertains to the property located at 606 Lamberth Road in Sherman, Texas, legally described as "All of Lot Two(2) and Lot Three (3) in block Four (4), Dr. J.H. Carraway's Addition to the City of Sherman, Grayson County, Texas, As per plat recorded in Volume 414, Page 125 of the Deed Records of Grayson County, Texas and as recorded in those certain Warranty Deeds filed for records on April 30, 1985 in Volume 1746 at Pages 731 and Volume 1786, Page 734 of the Deed Records of Grayson County, Texas".

The existing property consists of approximately 1.99 acres and includes an existing 5,725 SF pre-engineered metal building that was formerly used for automotive parts and accessories sales.

We are requesting Zoning and Specific Use Permit (SUP) approval to allow the property to be repurposed for Automotive Service use. The proposed development will support the relocation of quick service operations from the neighboring Sherman Chevrolet dealership to this dedicated facility, enhancing operational efficiency and improving customer experience.

When customers arrive at the Service Canopy, they are welcomed by service staff, who complete the check-in process and move the vehicle from the drop-off canopy into the service area. Once service is complete, staff return the vehicle to the canopy where customers complete check-out and pick-up. During this time, customers may either wait in the designated lounge or drop off their vehicle and return later for retrieval.

The scope of work includes interior renovations to accommodate vehicle service lifts, office areas, and a customer lounge. In addition, we propose the construction of a new 1,482 SF service canopy and a 297 SF equipment canopy, along with associated site improvements.

Regards,

Jason Otero, AIA
President
LOMA Architecture



2 September 2025

City of Sherman
317 S Travis Street
Sherman, TX 75090

Sub: **Sherman Chevrolet Quick Lube Remodel**
606 Lamberth Road
Sherman, Texas 75090

Project Number: 000138-2025

The following are responses to your permit review comments.

Reviewer (Brian Frenger)

- Comment:** 1) Identify the setback line around the entire property (Sec. 14.06.004(b)(1)(B))
- a. The Side setback in the C-2 (General Commercial) District is 15' (Sec. 14.02.017(1))
Response: Address
 - b. The Rear setback in the C-2 (General Commercial) District is 25' (Sec. 14.02.017(1))

.Response: **Addressed as noted, refer to sheet PT001.**

- Comment:** 2) Required parking for automobile or vehicle repair is 2 parking spaces for every service bay with a minimum of 5 parking spaces. Quick service requires 3 stacking spaces for each service bay (Sec. 14.04.003(e)(1))
- a. Update the AUTOMOBILE/MOTOR VEHICLE USES under the PARKING CALCULATION to reflect the correct ordinance information.
 - b. Indicate the number of services bays in the tabulation to determine the correct number of required parking spaces.
 - c. You must show the required 3 stacking spaces for each Quick Service bay.
 - i. If the Quick Service bays will not have customers waiting in the car, but parking and entering the building, note that in the narrative or on the Site Plan so that it is clear how the flow of traffic will be accommodated for the Quick Service Bays.

Response: **Revised as noted. Refer to updated Parking Calculations on sheet PT001 and narrative.**

Comment: 3) The size of the parking spaces must be notated on the Site Plan

- a. Required parking spaces shall be a minimum of nine (9) feet wide and twenty (20) feet long. (Sec. 14.04.003(d)(3)(A)).
- b. A required parking space may be a minimum of nine (9) feet wide and eighteen (18) feet long when possible, for a vehicle to overhang the front of a parking space that is landscaped with grass, mulch, or similar landscaping material, not including sidewalks. (Sec. 14.04.003(d)(3)(B)).

Response: **Parking size notated as required. Refer to sheet PT001.**

Comment: 4) The Landscaping must adhere to the updated nonresidential Landscape ordinance Section 14.04.006(d)

- a. Remove the reference: NOT LESS THAT 40%OF THE REQUIRED OPEN LANDSCAPED AREAS MUST BE ISLANDS.
 - i. The landscape islands look good with the trees, the site plan just needs to reflect the most updated information.
- b. To protect the root health of trees located within landscape islands, all landscaped areas shall be protected with a two (2) foot wide non-vegetative pervious surface area adjacent to the back of the curb adjacent to all parking spaces. This area may include mulch, crushed granite, river rock, or similar material. (Sec. 14.04.006(d)(2)(D))
This only needs to be shown along the sides of the cars where people will be stepping out.

Response: **Reference removed. 2 feet of non-pervious area adjacent to parking added. Refer to sheet PT001.**

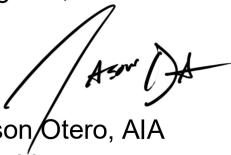
Comment: 7) E Lambert Road shall be renamed to read Lamberth Road. Direction (East) shall be removed.

Response: **All references to "E Lambert Road" have been revised to read "Lamberth Road".**

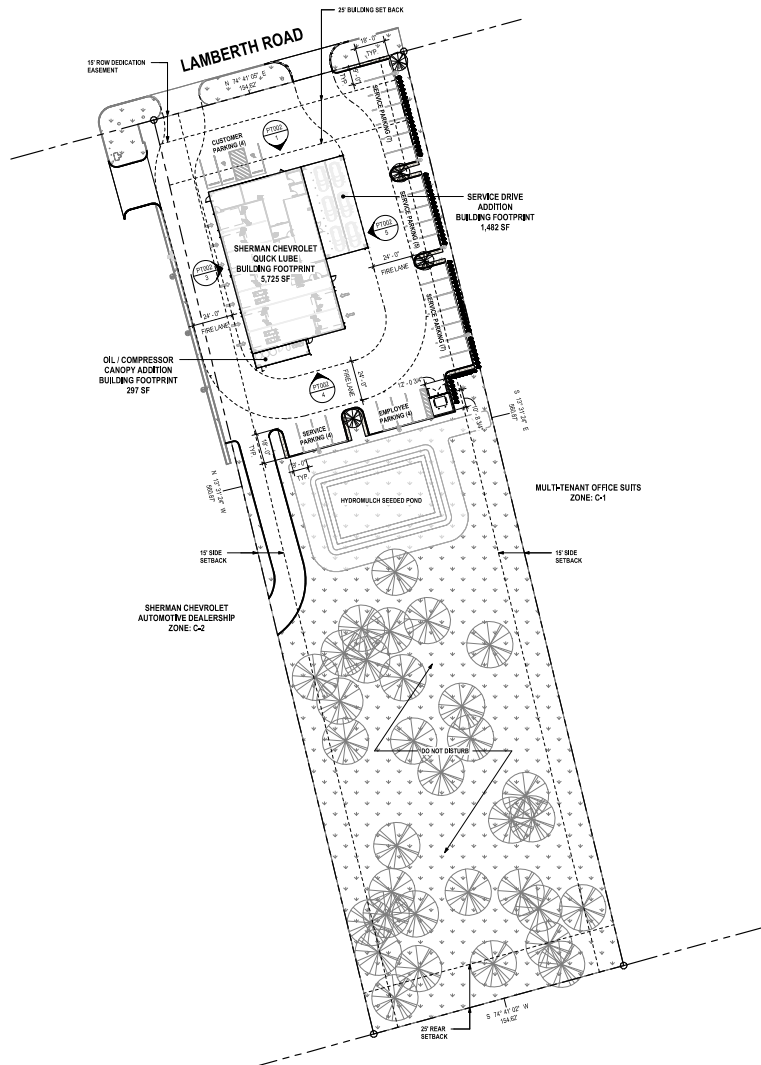
Comment: 12) Dumpster enclosure shall have a 10' x 10' minimum opening between gates.

Response: **Dumpster enclosure dimensions provided for reference. Refer to sheet PT001.**

Regards,



Jason Otero, AIA
President
LOMA Architecture



1 OVERALL SITE PLAN
1" = 30'-0"

PARKING CALCULATIONS	
PARKING CALCULATIONS (PER SECTION 14.04.003 - CITY OF SHERMAN MUNICOD)	
AUTOMOBILE (AND/OR VEHICLE LINES) - TWO (2) PARKING SPACES REQUIRED FOR EVERY SERVICE BAY WITH A MINIMUM OF FIVE (5) PARKING SPACES.	
TOTAL SERVICE BAYS:	2
TOTAL PARKING SPACES REQUIRED:	4 + 2 = 6 SPACES
TOTAL PARKING SPACES PROVIDED:	6 SPACES

SITE DATA	
EMPLOYEE PARKING	4
CUSTOMER PARKING	4
SERVICE PARKING	20
TOTAL PARKING SPACES	31 SPACES
TOTAL SITE AREA	86,600 SF
CURRENT ZONING	C-1
PROPOSED ZONING	C-1
HARD SURFACE / IMPERVIOUS AREA (SF)	32,772 SF
FLOOR-TO-AREA RATIO	0.686

BUILDING DATA	
CHEVROLET SHERMAN QUICK LUBE	5,725 SF
SERVICE DRIVE ADDITION	1,482 SF
OIL / COMPRESSOR CANOPY ADDITION	297 SF
TOTAL BUILDING AREA	7,504 SF

NON-RESIDENTIAL TREE AND LANDSCAPING REQUIREMENTS	
LANDSCAPED AREAS - PER SECTION 14.04.06(2)(D)	
PARKING LOTS SHALL HAVE OPEN LANDSCAPED AREAS THAT ARE EQUAL TO BUT NOT LESS THAN TWENTY PERCENT (20%) OF THE PARKING AREAS AND DRIVES IN THE PARKING AREAS. THE REQUIRED LANDSCAPED AREAS MAY BE LOCATED ALONG THE PERIMETER OF THE PARKING LOT OR INTERIOR TO THE PARKING LOT AS LANDSCAPED BELTWAYS.	
PARKING AREAS	4,374 SF
DRIVEWAYS / DRIVE AREAS	4,346 SF
TOTAL	10,933 SF
REQUIRED OPEN LANDSCAPE TOTAL AREA:	2,187 SF
PROVIDED OPEN LANDSCAPE TOTAL AREA:	56,861 SF

LANDSCAPE LEGEND	
	DESCRIPTION NURSERY GROWN CONTAINERIZED TREES TREES PER CITY OF SHERMAN LANDSCAPE REGULATION FOR DEVELOPMENT.
	DESCRIPTION SHRUB PER CITY OF SHERMAN LANDSCAPE REGULATION FOR DEVELOPMENT.
	DESCRIPTION SOIL: 500 - COMMON BERBERDA
	DESCRIPTION CRUSHED GRANITE

PLANT LIST					
TYPE MARK	BOTANICAL NAME / COMMON NAME	CAL.	HEIGHT	SPREAD	MIN. ROOT
TREES					
LD	QUERCUS VIRGINIANA LIME OAK	2"	10' - 14'	6' - 10'	45 GAL.
SHRUBS					
AB	ELAEAGNUS PARVIFLORA JAPANESE BOXWOOD	18"	12'	12'	5.0 GAL.

- GENERAL LANDSCAPE NOTES**
- PLANTING SOIL MIXTURE SHALL BE ONE OF THE FOLLOWING:
A. PREMIUM BED MIX - THE GROUND LIP
B. ULTISOLS - HERSH BATH TECHNOLOGY GROUP
C. TO BE ADVISED THAT ALL NEW TREE MATERIAL IS TO BE CONTAINER GROWN, CORRESPONDING TO THE SPECIFIED ROOT BALL SIZE AS RECORDED BY INDUSTRY STANDARDS.
 - QUALITY RESPONSIBLE FOR THE GRADING OF PARKING LOT ISLANDS AND SETBACKS. GRADE CHANGES SHALL RANGE FROM 4" INCH TO 18" INCH ABOVE THE CURB, DEPENDING ON THE SIZE OF THE ISLAND. SELECT TOPSOIL SHALL BE USED FOR THESE BERMES. REF. LANDSCAPE DETAIL.
 - ALL DISTURBED AREAS TO RECEIVE 6" INCHES OF TOPSOIL, TOPPED WITH MULCH, SOIL OR HYDROMULCH, AND BE WATERED UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
 - ALL TREES PLANTED ADJACENT TO ACCESSIBLE AND/OR ACCESSIBLE AREAS SHALL NOT HAVE A MINIMUM OF 18" INCHES ABOVE 4" INCHES.

- IRRIGATION NOTES**
- IRRIGATION SYSTEM DESIGN SHALL BE THE RESPONSIBILITY OF THE G.C. AND COMPLY WITH CITY ORDINANCE REQUIREMENTS AND THE FOLLOWING:
- NEW COMPONENTS OF IRRIGATION SYSTEM SHALL INCLUDE:
- 2" METEER AND BACKFLOW PREVENTER, CONTROLLER, RAIN SENSOR, WHIPS & GATE VALVES.
 - VALVE BOXES, QUICK COUPLERS & IRRIGATION VALVES.
 - JUST IN CASE 1/2" PVC MAINLINE APPLICATION LINES RUNNING FROM 4" TO HEAD COVERAGE.
 - APPROPRIATE NUMBER OF DWP, SPRAY AND ROTOR HEADS TO ACHIEVE FULL, HEAD TO HEAD COVERAGE.
 - INCLUDE 4" PVC BELLIES FOR LATERAL AND MAIN LINES WHERE NECESSARY.
 - ALL OTHER COMPONENTS NECESSARY FOR A COMPLETE IRRIGATION SYSTEM.
- G.C. MUST INSTALL SOIL IN ALL DISTURBED AREAS INCLUDING BUT NOT LIMITED TO BERMES, UTILITIES IRRIGATION AND NON-PLANTED LANDSCAPING.
- ALL DISTURBED AREAS ARE TO BE RESEED/IN THEIR ENTIRETY.
 - ALL UTILITY AND IRRIGATION TRENCHES ARE TO BE RESEED/IN WITH A MINIMUM 3" INCH 500-TYPE.

LOMA ARCHITECTURE

3838 N. SAM HOUSTON PARKWAY E., SUITE 165
HOUSTON, TEXAS 77058
WWW.LOMAAARCH.COM

CIVIL ENGINEER
CML-CON CONSULTANTS, LLC
1445 NORTH LOOP WEST, SUITE 325
HOUSTON, TEXAS 77008
832.293.9816

STRUCTURAL ENGINEER
PRIME STRUCTURAL ENGINEER
15540 FM 1488 SUITE A1, #151
MAGNOLIA, TEXAS 77354
254.840.8226

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.796.8076

GEOTECHNICAL ENGINEER
UES
2209 WISCONSIN STREET
DALLAS, TEXAS 75229
972.620.9811

PROJECT:
SHERMAN CHEVROLET
QUICK LUBE REMODEL

PROJECT ADDRESS:
606 LAMBERTH ROAD
SHERMAN, TEXAS 75090

SEAL/SIGNATURE:



ISSUE HISTORY:

DATE	DELTA	DESCRIPTION

PROJECT NUMBER: LA2415

ISSUE DATE: 09.02.2025

SHEET NAME:

OVERALL SITE PLAN

SHEET:

PT001

CIVIL ENGINEER
CIVIL-CON CONSULTANTS, LLC
1445 NORTH LOOP WEST, SUITE 325
HOUSTON, TEXAS 77008
832.293.9816

STRUCTURAL ENGINEER
PRIME STRUCTURAL ENGINEER
18840 FM 1488 SUITE A1 #181
MAGNOLIA, TEXAS 77354
254.640.8226

MEP ENGINEER
SPECTRUM DESIGN ENGINEERS
19 SIERRA OAKS DR.
SUGAR LAND, TEXAS 77479
832.766.6076

GEOTECHNICAL ENGINEER
UES
2009 WISCONSIN STREET
DALLAS, TEXAS 75229
972.620.8911

PROJECT:
SHERMAN CHEVROLET
QUICK LUBE REMODEL

PROJECT ADDRESS:
606 E LAMBERTH RD.
SHERMAN, TEXAS 75090

SEAL/SIGNATURE:



08.06.2025

ISSUE HISTORY:

DATE	DELTA	DESCRIPTION

PROJECT NUMBER: LA2415
ISSUE DATE: 08.06.2025

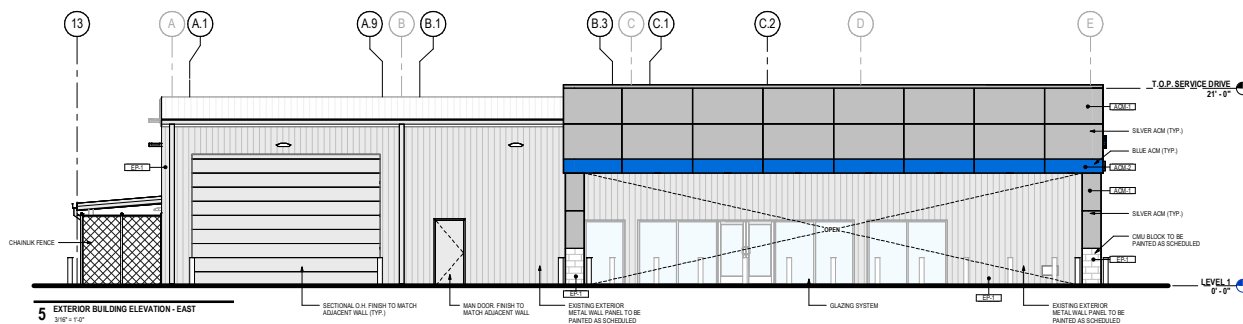
SHEET NAME:

EXTERIOR BUILDING ELEVATIONS

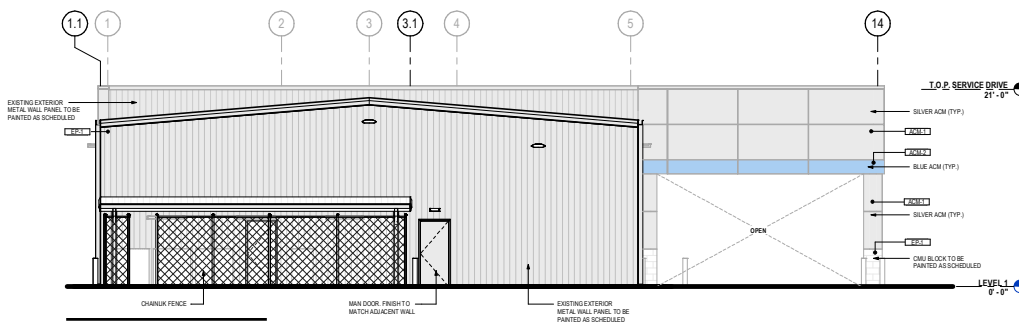
SHEET:

PT002

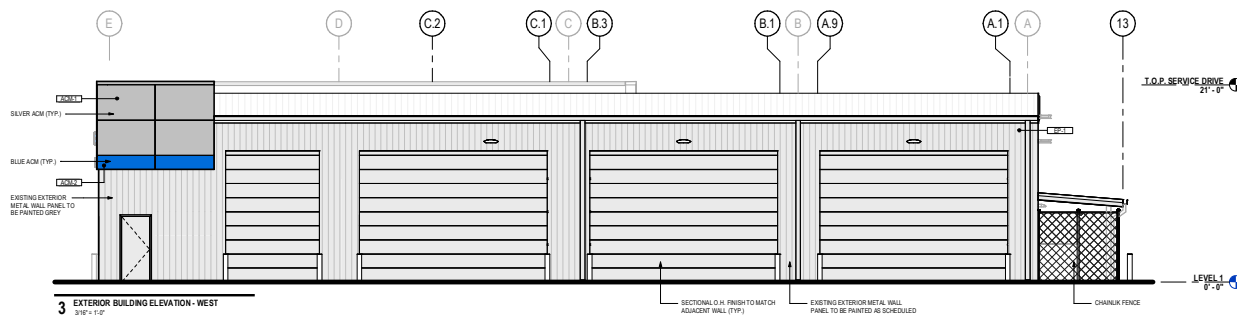
EXTERIOR MATERIAL SCHEDULE				
MARK	MANUFACTURER	MODEL	COLOR / FINISH	CONTACT
ALUMINUM COMPOSITE MATERIAL				
ACM-1	ALPOLIC	-	COLOR: BRIGHT ALUMINUM METALLIC	-
ACM-2	ALPOLIC	-	COLOR: CYB BLUE	-
METAL PANEL				
MP-1	MBICI	FW-120	COLOR: TO MATCH ACM-1 FINISH: SMOOTH GAUGE: 24 GAUGE	-
PAINT				
EP-1	BENJAMIN MOORE	OC-61	COLOR: WHITE DIAMOND	-
EP-2	BENJAMIN MOORE	T121-40	COLOR: SILVER HALF DOLLAR	-



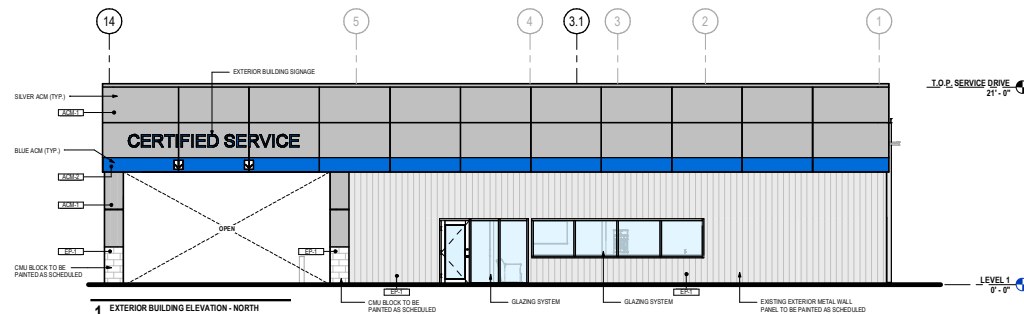
5 EXTERIOR BUILDING ELEVATION - EAST
3/8" = 1'-0"



4 EXTERIOR BUILDING ELEVATION - SOUTH
3/8" = 1'-0"



3 EXTERIOR BUILDING ELEVATION - WEST
3/8" = 1'-0"



1 EXTERIOR BUILDING ELEVATION - NORTH
3/8" = 1'-0"

STAFF REVIEW LETTER

September 9, 2025

Sent via email

Remington Sherman Automotive, LLC
600 E. Lamberth Road
Sherman, TX 75090

Shane Donohue
PO Box 653
Colleyville, TX 76034

Dear Applicants,

The request of a Public Hearing, Site Plan and Specific Use Permit under Section 14.08.001 to allow an Automobile Repair, Body Work, Painting in a C-2 (General Commercial) District located at 606 East Lamberth Road has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, September 16, 2025 at 5:00 P.M. in the City Council Chambers at 220 W. Mulberry.

City staff has reviewed your request and the following items need to be noted/addressed:

Zoning:

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Fire access, lanes and codes shall be coordinated with the Fire Marshal (dillons@cityofsherman.com). (*Code of Ordinances Chapter 3.02(c)*)
3. Fence Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Sec. 14.04.004*)
4. Sign Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
5. The use of the property must comply with all Federal and State Laws and regulations and with all the ordinances, rules and regulations of the City of Sherman.
6. No outside parking or storage of dismantled, junk or inoperable vehicles, wrecks, tires, displays or parts are permitted.
7. No work shall be performed outside the structure designated for auto repair.
8. The property must be properly maintained in a state of good repair and neat appearance.
9. The granting of the Specific Use Permit has no effect on the uses permitted as of right and does not waive the regulations of the underlying zoning district.
10. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded in the event that a person or entity other than Remington Sherman Automotive, LLC is the owner or lessee of the Property.
11. A Specific Use Permit is an amendment to the district regulations of the Zoning Ordinance that permits the establishment of a specific use within a zoning district in which such specific use may be established unless such use of land or structure is discontinued or abandoned for a period of thirty (30) consecutive days in which event such Specific Use Permit shall be void and such use may not thereafter be resumed unless a new Specific Use Permit is granted in accordance with this section. (*Chapter 14, Sec. 14.06.009(a)(1)(C)*)
12. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which

the Site Plan was approved.

Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission

Engineering

13. Replatting of the property into one (1) lot is required prior to building permits being issued for additions. *Code of Ordinances Chapter 10.01.005; Texas Local Government Code Title 1, Sec. 212.004*
14. Dedicate a Mutual Access Easement along eastern boundary of adjacent property to the west for existing pavement and proposed fire lane. *Code of Ordinances Chapter 10.03.003(h)(9); 10.03.007(a); Engineering Design Standards Manual 2.5(C)(6)*
15. Privately owned and maintained detention in accordance with City criteria may be required. Engineering documentation shall be provided to the City of Sherman Engineering Department for review and approval. If detention is required, Ownership and Maintenance information to be shown on plat. *Code of Ordinances Chapter 10.03.006; Engineering Design Standards Manual Sec. 4.18*
16. Civil Engineering plans shall be provided to the Engineering Department for review and approval. Plat to reflect changes upon Engineering review. Civil Plan submittal requirements can be found in the Development Guide on the City of Sherman website. *Code of Ordinances Chapter 10.04; Engineering Design Standards Manual Sec. 1.9*

It is the policy of the Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, contact Development Services by emailing planning@cityofsherman.com prior to the meeting.

Respectfully,



Rob Rae
Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager
Clint Philpott, Asst. City Manager
Wayne Lee, P.E., Director of Engineering
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney
Steven Davis, Asst. Fire Marshal
Amber Doan, Engineering Coordinator
Tom Pruitt, Utility Engineer



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 18.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

2206 EAST LAMAR STREET (Project No. 000139-2025)

The request of Keith Chapman (Owner), Griffin Potts (Applicant) and Texas Heritage Surveying, LLC (Surveyor) concerning the property located in the 2206 East Lamar Street, consisting of 12.67 acres, George B. Pilant Survey, Abstract No. 963, currently zoned C-1(Retail Business) District, as follows:

Board of Adjustment

1. Public Hearing and Variance under Section 14.02.017 to allow a 57' side set back in lieu of the required 60' for the existing structure.
2. Public Hearing and Variance under Section 14.02.017 to allow a 39' tall building in lieu of the allowed 35' for the existing structure.
3. Public Hearing and Variance under Section 14.02.017 to allow a 39' tall building in lieu of the allowed 35' for the proposed structure.

Planning and Zoning Commission

4. Public Hearing and Zone Change from a C-1(Retail Business) District to C-2 (General Commercial) District.
5. Public Hearing, Site Plan and Specific Use Permit under Section 14.08.001 to allow Warehousing in a C-2 (General Commercial) District.

Background:

The property is located in the 2206 East Lamar Street. The owner is requesting a Variance, Zone Change, Site Plan and Specific Use Permit.

This project includes a proposed warehouse addition located at 2206 E. Lamar Street. The existing property is approximately 12.670 acres and contains existing improvements. The proposed improvements include the removal of a 1,500 sf structure, and the construction of a 19,000 sf warehouse building, and a dumpster.

The following has been approved:

- 9/19/2006 - Zone Change from an R-1 to C-1

Origination:

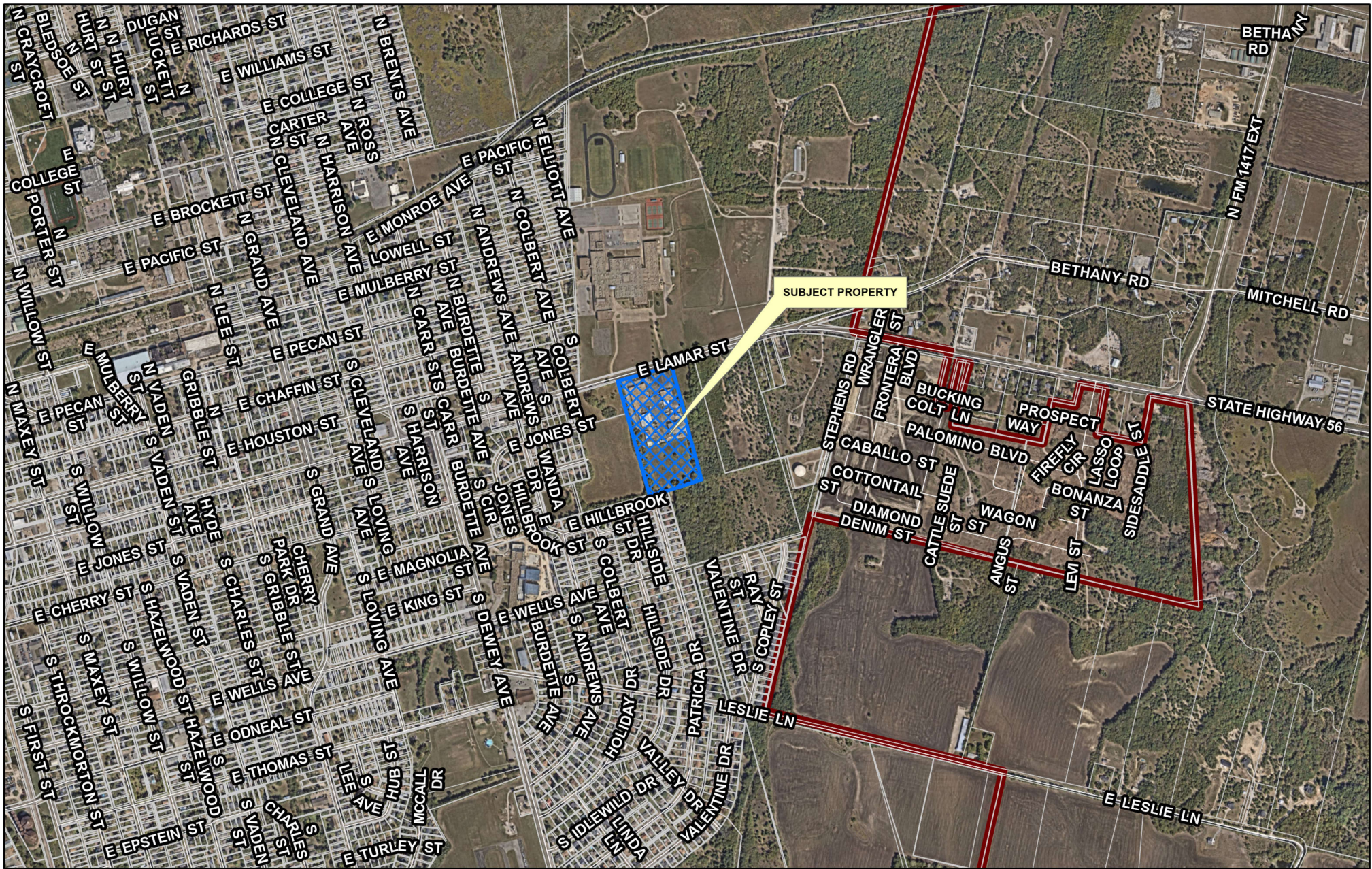
Keith Chapman (Owner), Griffin Potts (Applicant) and Texas Heritage Surveying, LLC (Surveyor)

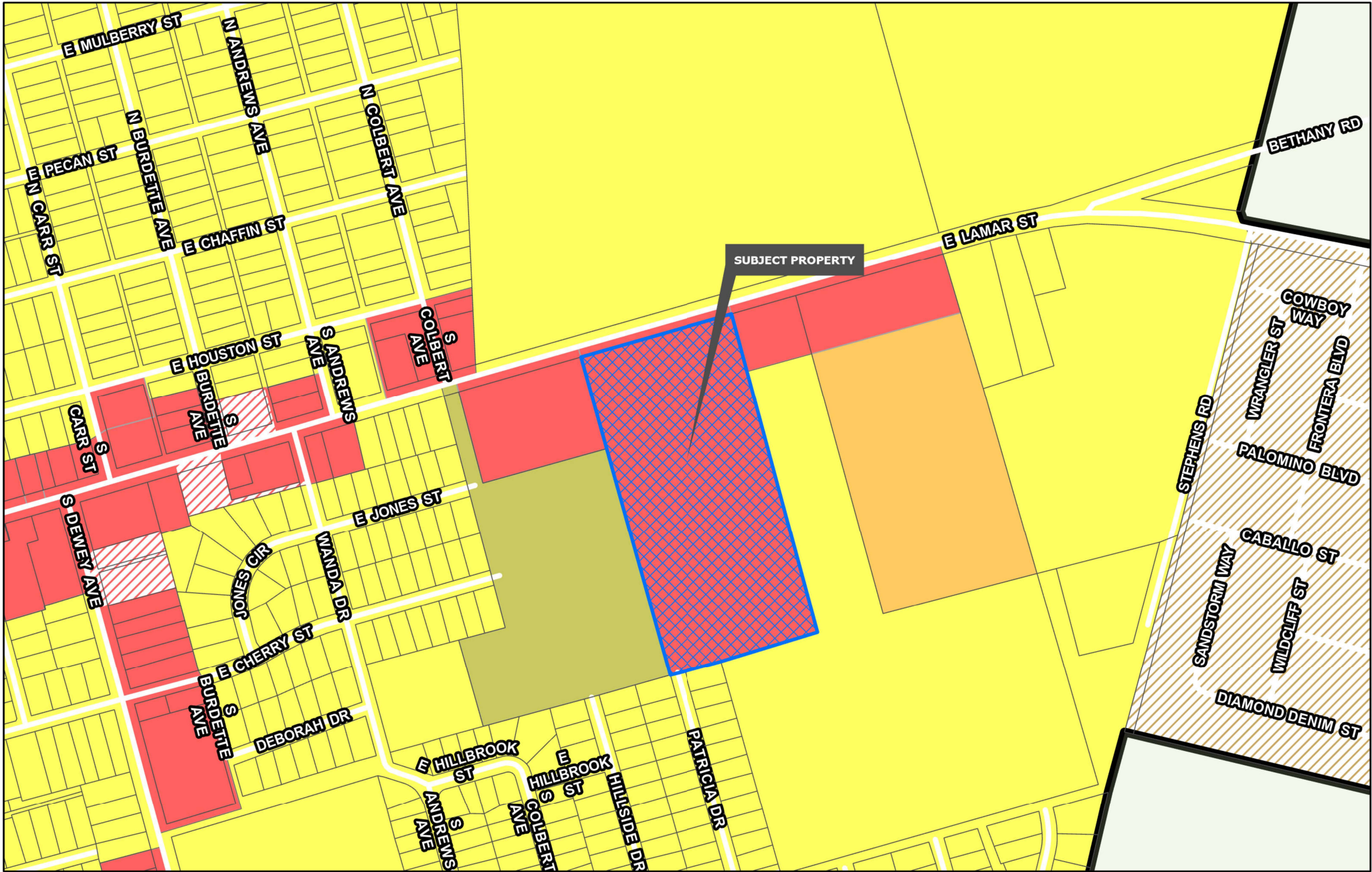
Staff Recommendation:

Staff has no objection to the approval of the zone change, SUP, or variances for the existing and proposed structures.

Attachments:

1. Location Map
2. Zoning Map
3. Future Land Use Map
4. Property Notification Sign
5. Survey
6. Narrative
7. Comment Response Letter
8. Site Plan
9. Landscape Plan
10. Elevation
11. Staff Review Letter



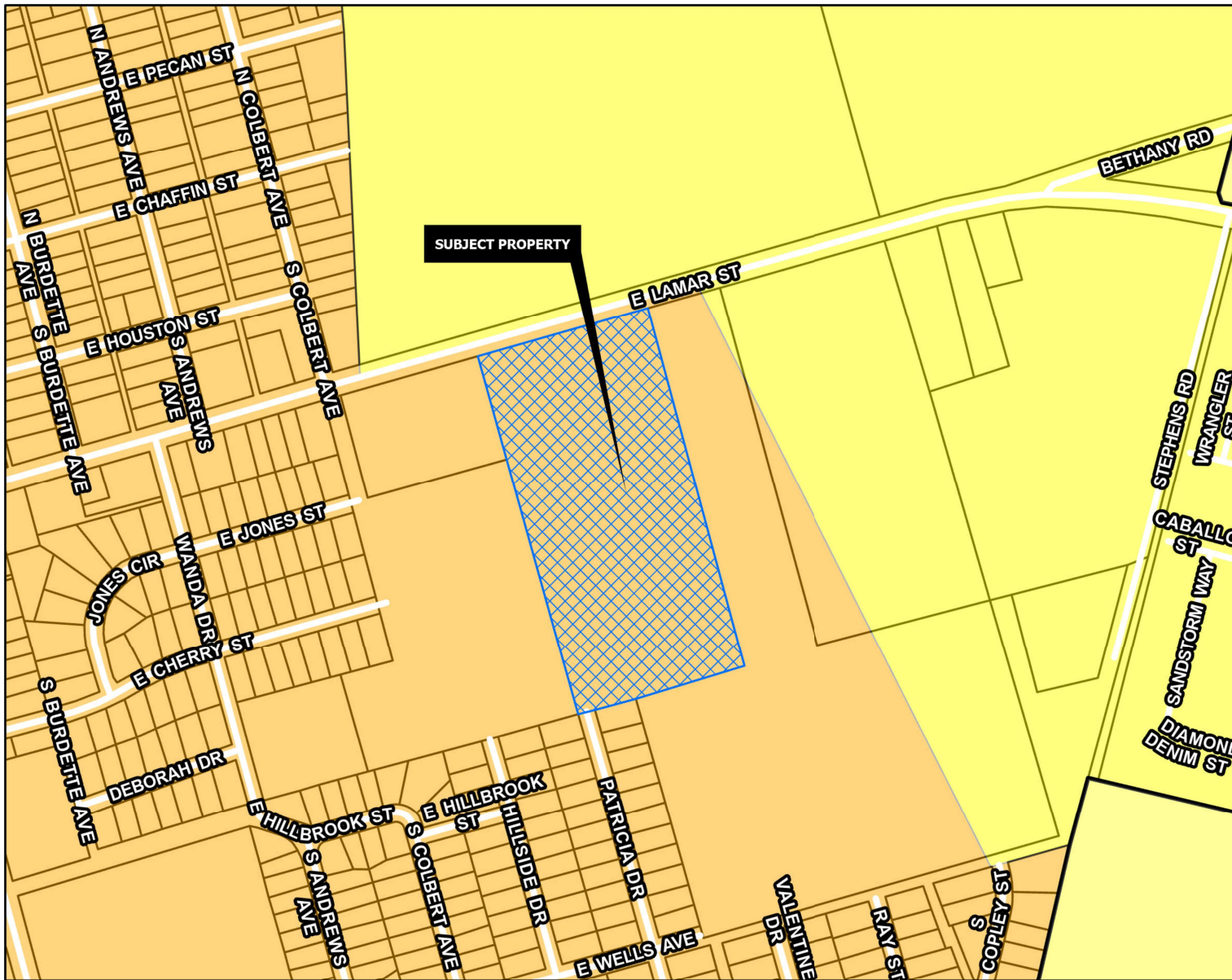


Sherman
 CLASSIC TOWN. BROAD HORIZON.
 Development Services Department

- | | | |
|--------------------------------|--------------------------------|----------------------------|
| Planning & Zoning | R-4 Patio Home Residential | C-O Office |
| R-A Residential Agricultural | R-2F Duplex Residential | C-1 Retail Business |
| R-E Estate Residential | R-TH Townhome Residential | C-2 General Commercial |
| R-12 Single Family Residential | MF-15 Multi-Family Residential | M-1 Light Manufacturing |
| R-6 Single Family Residential | MF-30 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-5 Single Family Residential | MH Manufactured Housing | M-2 Heavy Manufacturing |
| | C-N Neighborhood Commercial | PD Planned Development |

CITY OF SHERMAN
ZONING MAP
2206 E LAMAR ST





CORE NEIGHBORHOOD

Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

Appropriate Land Use Types

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

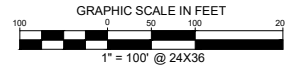
Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.

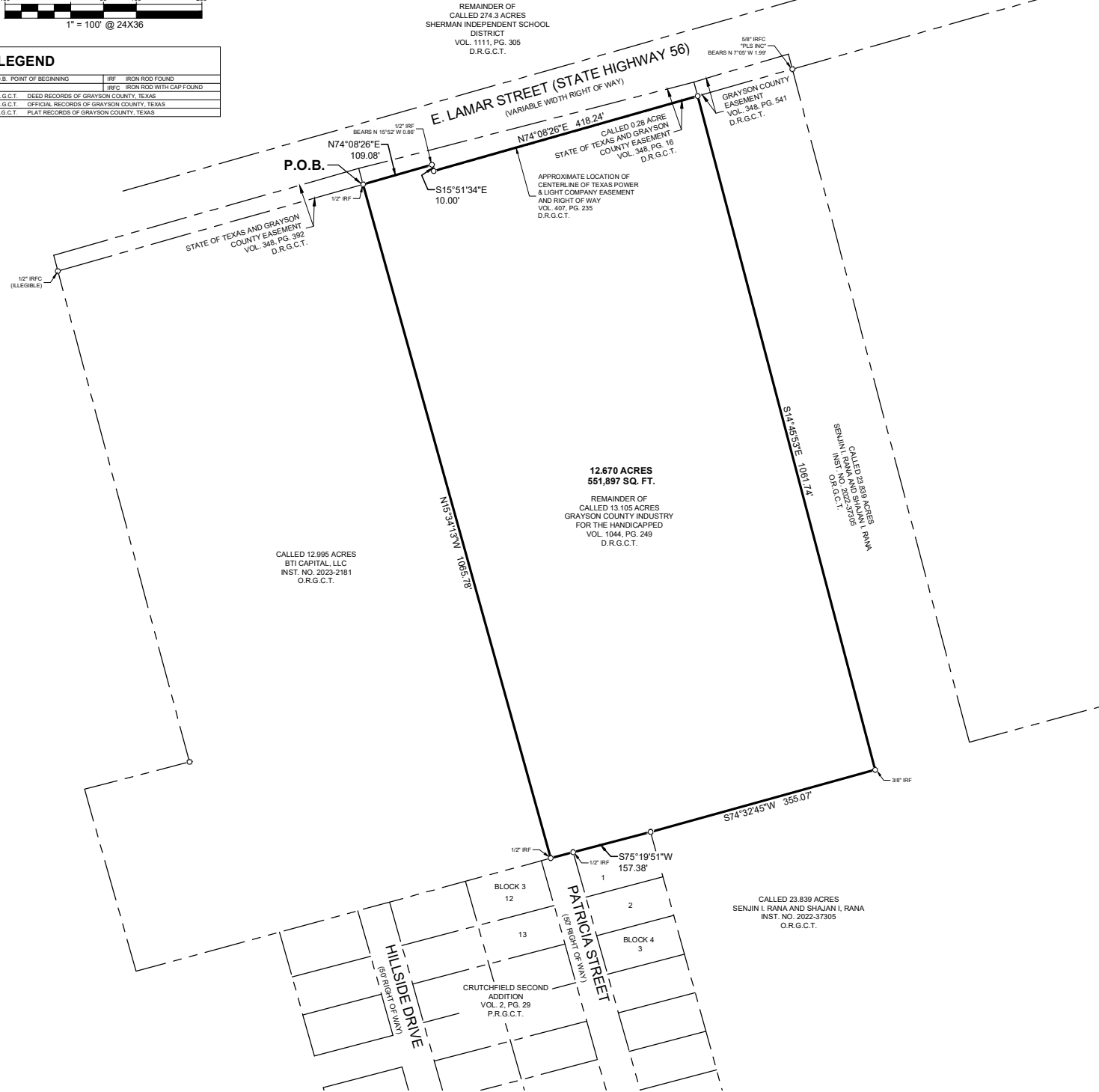


2206 EAST LAMAR STREET – PROPERTY NOTIFICATION SIGN





LEGEND	
P.O.B.	POINT OF BEGINNING
IRF	IRON ROD FOUND
IRFC	IRON ROD WITH CAP FOUND
D.R.G.C.T.	DEED RECORDS OF GRAYSON COUNTY, TEXAS
O.R.G.C.T.	OFFICIAL RECORDS OF GRAYSON COUNTY, TEXAS
P.R.G.C.T.	PLAT RECORDS OF GRAYSON COUNTY, TEXAS



DESCRIPTION OF SURVEYED PROPERTY:

BEING a tract of land situated in the George B. Pilant Survey, Abstract No. 963, City of Sherman, Grayson County, Texas, and being the remainder of a called 13.105 acre tract of land described in a deed to Grayson County Industry for the Handicapped, as recorded in Volume 1044, Page 249 of the Deed Records of Grayson County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found for the southwest corner of a called 0.28 acre tract dedicated as a State of Texas and Grayson County Easement as recorded in Volume 348, Page 16 of the Deed Records of Grayson County, Texas, common to the southeast corner of a called a State of Texas and Grayson County Easement recorded in Volume 348, Page 392 of the Deed Records of Grayson County, Texas, same being on the southerly right of way line of Lamar Street (State Highway 56), a variable width right of way, and the westerly line of said 13.105 acre tract;

THENCE North 74°08'26" East, departing the westerly line of said 13.105 acre tract, along the southeasterly line of said 0.28 acre tract and the southeasterly right of way line of said Lamar Street and crossing said 13.105 acres, a distance of 109.08 feet to a point for corner, from which, a 1/2 inch iron rod found for witness bears North 15°52' West, 0.86 feet;

THENCE South 15°51'34" East, continuing along the southerly line of said 0.28 acre tract and the southerly right of way line of said Lamar Street and across said 13.105 acre tract, a distance of 10.00 feet to a point for corner;

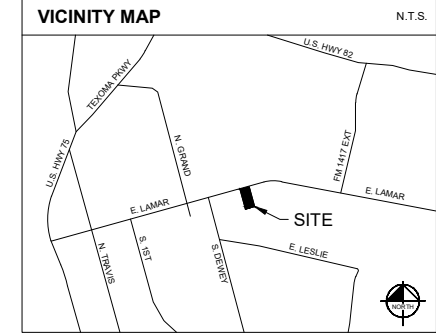
THENCE North 74°08'26" East, continuing along the southerly line of said 0.28 acre tract and the southerly right of way line of said Lamar Street and across said 13.105 acre tract, a distance of 418.24 feet to the southeast corner of said 0.28 acre tract, common to the southwest corner of a Grayson County Easement recorded in Volume 348, Page 541 of the Deed Records of Grayson County, Texas, and the northwest corner of a called 23.839 acre tract of land described in a deed to Senjin I. Rana and Shajan I. Rana, as recorded in Instrument No. 2022-37305 of the Official Records of Grayson County, Texas, same being on the northeasterly line of said 13.105 acre tract;

THENCE South 14°45'53" East, departing the southerly right of way line of said Lamar Street, along the northeasterly line of said 13.105 acre tract and the southwesterly line of said 23.839 acre tract, a distance of 1,061.74 feet to a 3/8 inch iron rod found for the southeast corner of said 13.105 acre tract, common to an ell corner of said 23.839 acre tract;

THENCE South 74°32'45" West, along the southeasterly line of said 13.105 acre tract and the northwesterly line of said 23.839 acre tract, a distance of 355.07 feet to the southerly northwest corner of said 23.839 acre tract, common to the northeast corner of Crutchfield Second Addition, according to the plat thereof recorded in Volume 2, Page 29 of the Plat Records of Grayson County, Texas;

THENCE South 75°19'51" West, continuing along the southeasterly line of said 13.105 acre tract and along the northwesterly line of said Crutchfield Second Addition, a distance of 157.38 feet to a 1/2 inch iron rod found for the southwest corner of said 13.105 acre tract, common to the southeast corner of a called 12.995 acre tract of land described in a deed to BTI Capital, LLC, as recorded in Instrument No. 2023-2181 of the Official Records of Grayson County, Texas;

THENCE North 15°34'13" West, departing the northwesterly line of said Crutchfield Second Addition, along the southwesterly line of said 13.105 acre tract and the northeasterly line of said 12.995 acre tract, a distance of 1,065.78 feet to the **POINT OF BEGINNING** and containing 12.670 acres (551,897 square feet) of land, more or less.



NOTES:

All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.998926377.

07/31/2025
 SYLVIANA GUNAWAN
 REGISTERED PROFESSIONAL
 LAND SURVEYOR NO. 6461
 6160 WARREN PKWY., SUITE 210
 FRISCO, TEXAS 75034
 PH. 972-335-3580
 sylviana.gunawan@kimley-horn.com



BOUNDARY EXHIBIT
 12.670 ACRES
 2206 E. LAMAR STREET
 GEORGE B. PILANT SURVEY,
 ABSTRACT NO. 963
 CITY OF SHERMAN,
 GRAYSON COUNTY, TEXAS

No.	DATE	REVISION DESCRIPTION
1		

Kimley»Horn
 6160 Warren Parkway, Suite 210 Frisco, Texas 75034
 Tel. No. (972) 335-3580 Fax No. (972) 335-3779
 FIRM # 10193822

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 100'	SG	KHA	07/29/2025	069229002	1 OF 1

DRAWN BY: KPH; SURVEYED BY: SGL; CHECKED BY: KHA; DATE: 07/29/2025; PROJECT NO.: 069229002; SHEET NO.: 1 OF 1

August 6, 2025

City of Sherman
Planning and Development Review Department
220 W Mulberry Street
Sherman, Texas 75090

**Re: Project Narrative – Goodwill Sherman
Specific Use Permit, Site Plan, Zoning Change, and Variance Application
2206 East Lamar St
Sherman, Texas 75090**

To Whom It May Concern,

Please accept this Project Narrative for the above-mentioned project. The proposed warehouse addition is located at 2206 East Lamar St, Sherman, Texas 75090 in Grayson County. The existing property is approximately 12.670 acres and contains existing improvements. The proposed project is currently zoned C-1: Retail Business District.

The proposed improvements include the removal of a ±1,500 sf structure, a proposed ±19,000 sf warehouse building, and a dumpster.

No portion of this site is in the Federal Emergency Management Agency's floodplain according to Flood Insurance Rate map #48181C0290G, Grayson County, Texas and incorporated areas, dated September 1, 2022. There are no known critical environmental features on this site.

The site is currently zoned C-1 with a proposed change to C-2 in order to apply for a specific use permit to allow warehousing.

A Variance request has been submitted regarding a building setback along the east side of the property. We would like for the Board of Adjustments to consider a building setback reduction from 60' to 50' so that existing buildings do not encroach.

If you have any questions or comments, please contact me at 972-486-9447.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Griffin Potts

2206 EAST LAMAR STREET (Project No. 000139-2025)

Required updates must be uploaded into the [Self Service Portal](#) no later than September 2, 2025.

A copy of the Staff Comments has been included in the attachments on the [Self Service Portal](#).

Include a Staff Comment Response Sheet in the attachments of the [Self Service Portal](#) and select 'Other' as the Attachment Type.

Zoning

(Informational)

1. The following Variances have been added or updated to this project.
 - a. Public Hearing and Variance under Section 14.02.017 to allow a 57' side set back in lieu of the required 60' for the existing structure.
 - i. **ACKNOWLEDGED**
 - b. Public Hearing and Variance under Section 14.02.017 to allow a 39' tall building in lieu of the allowed 35' for the existing structure.
 - i. **ACKNOWLEDGED**
 - c. Public Hearing and Variance under Section 14.02.017 to allow a 39' tall building in lieu of the allowed 35' for the proposed structure.
 - i. **ACKNOWLEDGED**

Engineering

Informational Engineering Comments:

2. Platting of the property is required prior to building permit being issued for proposed buildings. *Code of Ordinances Chapter 10.01.005; Texas Local Government Code Title 1, Sec. 212.004*
 - a. **ACKNOWLEDGED**

Fire Services

The following shall be corrected prior to approval of a site plan by the Fire Marshal's Office.

*Hydrant locations need to be shown

HYDRANTS SHOWN ON PLAN

*FDC locations need to be shown.

FDC SHOWN

*Riser room door locations need to be shown

NOTED ON PLAN

3. [] 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 600' from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
 - a. **LIMITS OF PROPOSED BUILDING IS LESS THAN 600' FROM THE FH ON LAMAR STREET, AND THERE IS AN EXISTING FIRE HYDRANT ON SITE THAT IS CLOSER. THESE HAVE BEEN NOTATED ON THE PLAN**
4. [] 903.3.7 Amended - Fire department connections for automatic sprinkler systems shall be installed in accordance with Section 912. Fire department connections shall be located not more than 100 ft (30.5 m) from the nearest fire hydrant connected to an approved water supply. Fire department connections shall be a 2.5-inch threaded fitting design. Fire department connections shall be equipped with locking Knox caps that operate with the Authority Having Jurisdiction's Knox key. (*Located In City Ordinances Amendments*)
 - a. **FDC LOCATION SHOWN**
5. [] 914.3.1.1.1 Amended - Exterior access door directly into the sprinkler control room is required. (*Located In City Ordinances Amendments*)
 - a. **NOTED ON PLAN AS ACCESS LOCATION TO FIRE RISER ROOM**
6. [] 503.2.1 Amended - Fire apparatus access roads and security gate openings shall have an unobstructed width of not less than the approved fire apparatus access road, except for approved security gates in

accordance with section 503.6, and an unobstructed vertical clearance of not less than 14 feet. (*Located In City Ordinances Amendments*)

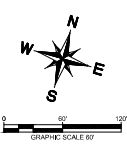
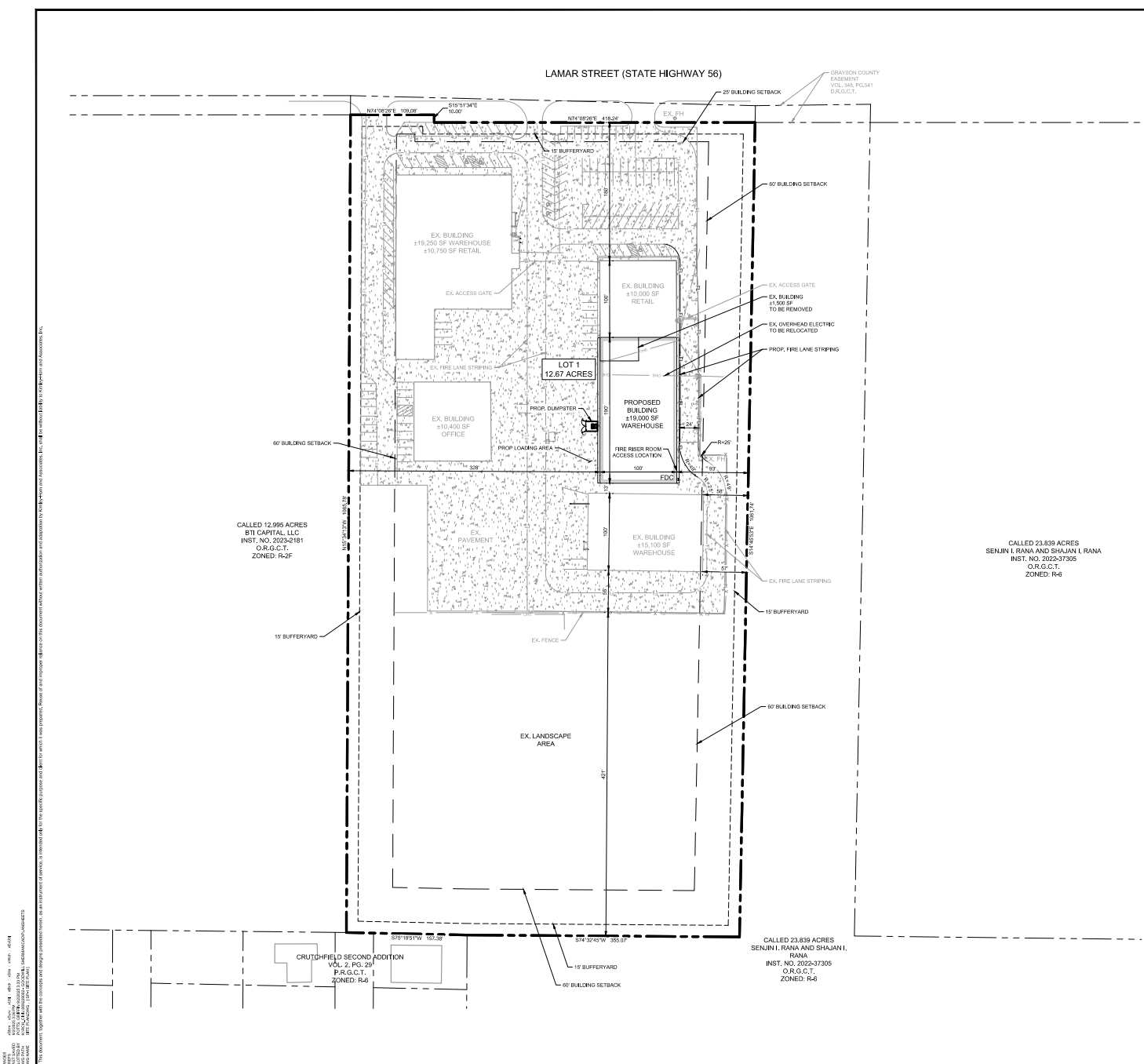
a. EXISTING GATES COMPLY WITH THIS STANDARD

The following are informational items only that may be applicable during construction but should not hold up approval of a site plan for zoning by the Fire Marshal's Office.

7. [] D103.5 Amended - Electric gates shall be equipped with a Knox key switch that operates with the Authority Having Jurisdiction's Knox key. Emergency opening devices shall be approved by the fire code official. (*Located In City Ordinances Amendments*)
 - a. ACKNOWLEDGED. THE EXISTING GATES ON SITE ARE NOT ELECTRIC, BUT THEY DO HAVE A KNOX BOX FOR ACCESS**
8. [] 506.1 Amended - Any new and existing buildings that have a fire sprinkler riser, standpipe system and/or a fire alarm control panel shall have a Knox key box that contains keys or a keycard to gain access to every door leading from the exterior of the building to the fire sprinkler riser, standpipe system and/or the fire alarm control panel. (*Located In City Ordinances Amendments*)
 - a. ACKNOWLEDGED**

Solid Waste Services

9. Enclosure minimum opening between gates is 10'.
 - a. ACKNOWLEDGED. THE EXISTING GATES COMPLY WITH THIS STANDARD.**



SITE DATA TABLE	
LOT NUMBER	LOT 1
LOT AREA	±12.67 ACRES ±551,397 SQ. FT.
BUILDING AREA	±84,500 S.Q. FT.
LAND USE	OFFICE (10,400 SQ. FT.)
	RETAIL (13,000 SQ. FT.)
PARKING RATIO	WAREHOUSE (64,100 SQ. FT.)
	OFFICE (1 PER 400 SQ. FT.)
	RETAIL (1 PER 250 SQ. FT.)
PARKING PROVIDED	WAREHOUSE (1 PER 1,000 SQ. FT. UP TO 20,000 SQ. FT.)
	1 PER 2,000 SQ. FT. OVER 20,000 SQ. FT.
PARKING REQUIRED	147 SPACES
ADA PARKING PROVIDED	5 SPACES
ADA PARKING REQUIRED	5 SPACES
CURRENT ZONING	C-1
PROPOSED ZONING	C-2
IMPERVIOUS AREA	±274,300 SQ. FT.
LANDSCAPE AREA	±279,242 SQ. FT.
FLOOR-TO-AREA RATIO	0.15

LEGEND	
[Symbol]	EXISTING PAVEMENT
[Symbol]	PROPOSED BUILDING
[Symbol]	EXISTING OVERHEAD ELECTRIC
[Symbol]	EXISTING FENCE
[Symbol]	EXISTING FIRE LANE STRIPING
[Symbol]	EXISTING FIRE LANE STRIPING
[Symbol]	PROPOSED FIRE LANE STRIPING
EX	EXISTING
PROP.	PROPOSED
FDC	FIRE DEPARTMENT CONNECTION
FH	FIRE HYDRANT
[Symbol]	ACCESSIBLE PARKING SYMBOL
[Symbol]	FIRE HYDRANT
[Symbol]	FIRE DEPARTMENT CONNECTION

NOTES:
 1. FIRE LANE DIMENSIONS FOR BUILDINGS LESS THAN 35' IN HEIGHT ARE A MINIMUM OF 24' WIDE WITH A MINIMUM 25' INSIDE RADIUS AND 45' OUTSIDE RADIUS.

**SITE PLAN
 GOODWILL SHERMAN
 2206 E. LAMAR STREET
 BEING A TOTAL OF 12.670 ACRES**
 GEORGE B. PILANT SURVEY, ABSTRACT NO. 063
 City of Sherman, Grayson County, Texas
 SEPTEMBER 2, 2025

Owner: Goodwill Sherمان and Associates, Inc.
 2206 East Lamar St.
 Sherman, Texas 75090
 Contact: Keith Chapman
 Phone: 803.883.161 ext. 104
 Email: kchapman@goodwillnorthtexas.org

Engineer: Kimley-Horn and Associates, Inc.
 2600 North Central Expressway, Ste. 400
 Richardson, Texas 75080
 Contact: Jonathan Kerby, P.E.
 Phone: 214.617.6203
 Email: jonathan.kerby@kimley-horn.com

Kimley-Horn
 © 2025, KIMLEY-HORN AND ASSOCIATES, INC.
 2600 N. CENTRAL EXPRESSWAY, SUITE 400
 RICHARDSON, TEXAS 75080
 PHONE: 214.617.6203
 WWW.KIMLEY-HORN.COM TXE-F-88

NO.	REVISIONS	DATE	BY

PROJECT INFORMATION:
 PROJECT NAME: 2206 E. LAMAR STREET
 SHEET NO.: 2025-09-02
 SCALE: AS SHOWN
 DESIGNED BY: N.J.A.
 DRAWN BY: J.C.K.
 CHECKED BY: J.C.K.

GOODWILL SHERMAN
 SHERMAN, TEXAS

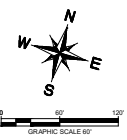
SITE PLAN

SHEET NUMBER
SP

THIS DOCUMENT IS UNCLASSIFIED AND IS NOT TO BE RELEASED TO THE PUBLIC WITHOUT THE WRITTEN PERMISSION OF THE AUTHOR. THE INFORMATION CONTAINED HEREIN IS FOR OFFICIAL USE ONLY AND IS NOT TO BE DISTRIBUTED TO THE PUBLIC. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.

DATE PLOTTED: 08/22/2023 10:58:54 AM
 PLOT SCALE: 1" = 40' (GRAPHIC SCALE)
 PROJECT: 23-339 SENJIN I, RANA AND SHAJAN I, RANA O.R.G.C.T.
 SHEET: LP-1 LANDSCAPE PLAN
 DRAWN BY: JES
 CHECKED BY: JES
 DATE: 08/22/2023

This document, together with the exhibits and any amendments thereto, is a preliminary plan. It is not to be used for construction or other purposes without the approval of the City of Sherman. The City of Sherman reserves the right to modify or amend this plan at any time without notice.



SITE DATA TABLE	
LOT NUMBER	LOT 1
LOT AREA	±12.67 ACRES/551,897 SQ FT
BUILDING AREA	±84,500 SQ FT
LAND USE	OFFICE (10,400 SQ FT) RETAIL (10,000 SQ FT) WAREHOUSE (64,100 SQ FT)
PARKING RATIO	OFFICE (1 PER 400 SQ FT) RETAIL (1 PER 250 SQ FT) WAREHOUSE (1 PER 1,000 SQ FT UP TO 20,000 SQ FT 1 PER 2,000 SQ FT OVER 20,000 SQ FT)
PARKING REQUIRED	147 SPACES
PARKING PROVIDED	147 SPACES
ADA PARKING REQUIRED	5 SPACES
ADA PARKING PROVIDED	5 SPACES
CURRENT ZONING	C-1
PURPOSED ZONING	C-2
IMPERVIOUS AREA	±274,300 SQ FT
LANDSCAPE AREA	±279,242 SQ FT
FLOOR-TO-AREA RATIO	0.15

LANDSCAPE DATA TABLE	
IMPROVEMENTS OF THE SITE ARE ONLY WITHIN THE SHOWN LIMITS OF DISTURBANCE. ALL ELEMENTS THAT ARE BEING ADDED MEET THE CURRENT STANDARDS	
PARKING LOT LANDSCAPING	NOT WITHIN LIMITS OF DISTURBANCE
STREET PERIMETER BUFFER	NOT WITHIN LIMITS OF DISTURBANCE
BUFFERYARD LANDSCAPING	ALL EXISTING BUFFER'S & TREES SHALL REMAIN UNDISTURBED

LEGEND

	EXISTING PAVEMENT
	PROPOSED BUILDING
	PROPOSED FL
	OVERHEAD ELECTRIC
	FIRE LANE
	EXISTING FENCE
	EXISTING
	PROPOSED
	ACCESSIBLE PARKING SYMBOL



BENCH MARK LIST

CITY OF SHERMAN MONUMENT #1-106
 THE STATION IS LOCATED ON THE SOUTH SIDE OF BINKLEY PARK DRIVE SOUTH OF STATE HIGHWAY 56 APPROXIMATELY 1.2 MILES SOUTHWEST OF THE COURTHOUSE IN DOWNTOWN SHERMAN, TEXAS.

FROM THE INTERSECTION OF STATE HIGHWAY 56 AND BINKLEY PARK DRIVE, GO SOUTH ALONG BINKLEY PARK DRIVE 0.25 MILES TO THE STATION ON THE RIGHT. THE STATION IS LOCATED 5.0 FEET WEST OF THE LID TO CURB INLET, 53.0 FEET SOUTHWEST OF A SPEED LIMIT SIGN, AND 62.0 FEET SOUTHWEST OF A SCHOOL ZONE SIGN. ELEV=714.751'

TBM #1 12" SET ON THE EASTERN HEADWALL AT THE EASTERMOST DRIVEWAY AT 2206 E. LAMAR STREET, SHERMAN, TEXAS, LOCATED ON THE SOUTH SIDE OF E. LAMAR STREET, APPROXIMATELY 1,369 FEET EAST OF S. WANDA DRIVE, AND APPROXIMATELY 2,133 FEET EAST OF S. DEWEY AVENUE. ELEV=774.75'

TBM #2 12" SET ON THE HEADWALL LOCATED AT THE WEST SIDE OF THE EASTERN DRIVEWAY AT SHERMAN MIDDLE SCHOOL, 1201 E. LAMAR STREET, SHERMAN, TEXAS, LOCATED ON THE NORTH SIDE OF E. LAMAR STREET, APPROXIMATELY 867 FEET EAST OF S. COLBERT STREET, AND APPROXIMATELY 1,265 FEET WEST OF BETHANY ROAD. ELEV=774.49'

NO.	REVISIONS	DATE

Kimley»Horn
 200 N. CENTRAL DRIVEWAY, SUITE 400
 SHERMAN, TEXAS 79141-4111
 PHONE: 940.417.4333
 WWW.KIMLEYHORN.COM TX 5508

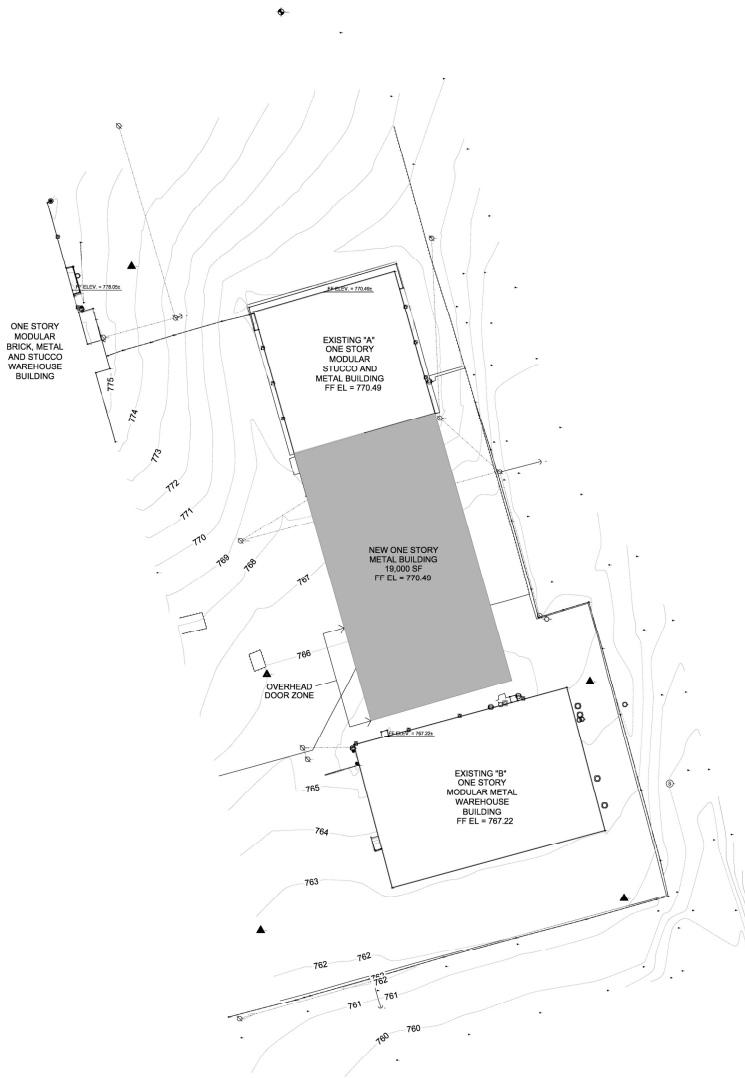
PRELIMINARY
 23-339 SENJIN I, RANA AND SHAJAN I, RANA O.R.G.C.T.
 LANDSCAPE PLAN
 08/22/2023

PLAN PROJECT	08/22/2023
DATE	AUGUST 2023
SCALE	A3 SHOWN
DRAWN BY	JES
CHECKED BY	JES

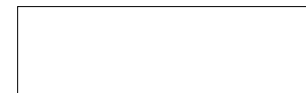
GOODWILL SHERMAN
 SHERMAN, TEXAS

LANDSCAPE PLAN

SHEET NUMBER
LP-1



01 SITE PLAN
SCALE: 1/32" = 1'-0"



SITE PLAN
GOODWILL SHERMAN
 2206 E. LAMAR STREET
 BEING A TOTAL OF 12.670 ACRES
 GEORGE B. PILANT SURVEY, ABSTRACT NO. 963
 City of Sherman Grayson County, Texas
 AUGUST 6, 2023

ARCHITECT	OWNER
O'BRIEN ARCHITECTS 1722 ROUTH STREET SUITE 122 DALLAS, TX 75201 PH: 972-788-3030 CONTACT: GEOFFREY BROWN EMAIL: GEOFFREY.BROWN@OBIENARCH.COM	GOODWILL INDUSTRIES OF NORTHEAST TEXAS 2206 EAST LAMAR ST SHERMAN, TEXAS 75095 PH: 903-893-2443 EXT. 104 CONTACT: JESSIE CHERMANE EMAIL: JCI@PHANJGOODWILLNORTHEASTTXAS.ORG

O'BRIEN

1722 ROUTH STREET
 SUITE 122
 DALLAS, TX 75201
 (972) 788-1010
 www.obrienarch.com

GOODWILL
SHERMAN

SHERMAN, TEXAS

OWNER
 GOODWILL
 INDUSTRIES OF
 NORTHEAST TEXAS

ARCHITECT
 O'BRIEN
 ARCHITECTS

REVISION LOG

DATE	DESCRIPTION	BY/IA

PROJECT NO. 24-106
 ISSUE DATE: 08-06-2025

NOT FOR
 REGULATORY
 APPROVAL,
 PERMITTING OR
 CONSTRUCTION

SHEET NO.

 SITE PLAN

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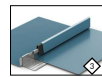
DATE	DESCRIPTION	BY/IA



Material: Brick
MFR: ACME
Size: KING
Color: ALPINE



Material: Metal Siding
MFR: Barrage
Color: Shasta White



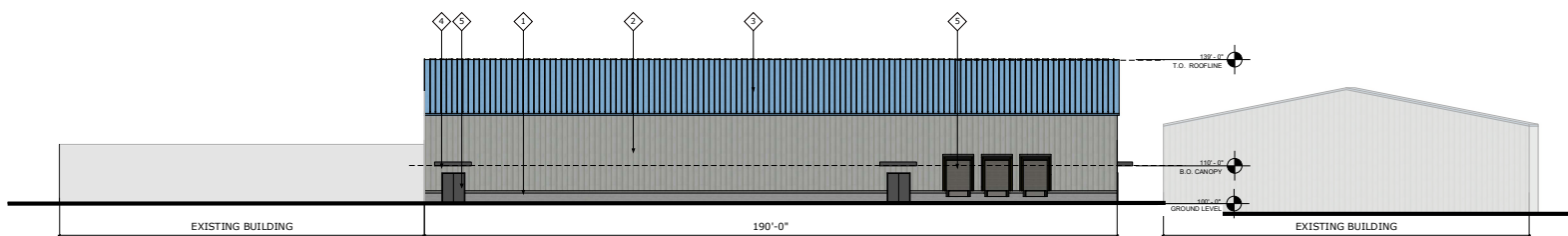
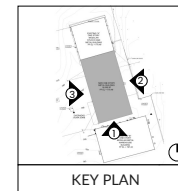
Material: Standing Seam
Metal Roof
MFR: Barrage
Color: Bristol Blue



Material: Metal Canopy
Color: Urbane Bronze SW7048

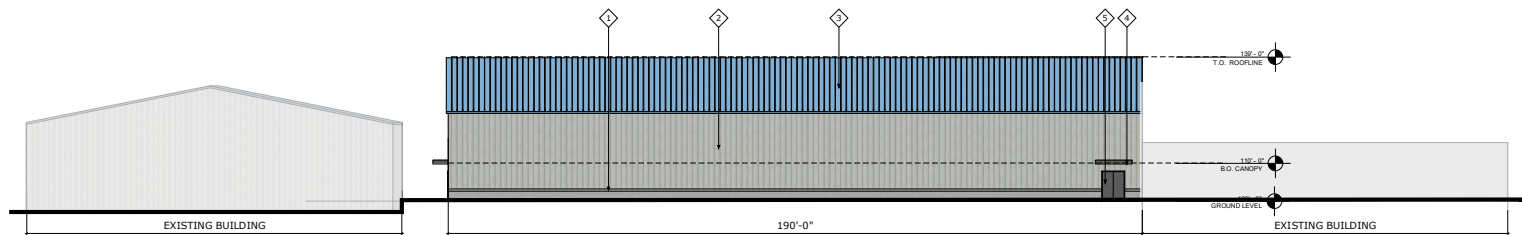


Material: HOLLOW METAL DOOR
Color: Urbane Bronze SW7048



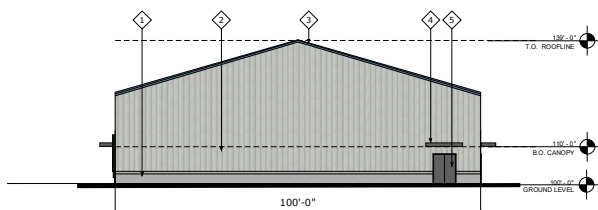
03 WEST ELEVATION

SCALE: 1/16" = 1'-0"



02 EAST ELEVATION

SCALE: 1/16" = 1'-0"



01 EAST ELEVATION

SCALE: 1/16" = 1'-0"

SITE PLAN
GOODWILL SHERMAN
2206 E. LAMAR STREET
BEING A TOTAL OF 12.670 ACRES
GEORGE B. PILANT SURVEY, ABSTRACT NO. 963

City of Sherman Grayson County, Texas
AUGUST 6, 2023

<p>ARCHITECT O'BRIEN ARCHITECTS 1722 ROUTH STREET SUITE 122 DALLAS, TX 75201 PH: 972-788-1010 CONTACT: GEORFFREY BROWN EMAIL: GEORFFREY.BROWN@OBIENARCH.COM</p>	<p>OWNER GOODWILL INDUSTRIES OF NORTHEAST TEXAS 2206 EAST LAMAR ST SHERMAN, TEXAS 75201 PH: (908) 893-2143 EXT. 104 CONTACT: JUSTIN SHERMAN EMAIL: JOASHAPMAN@GOODWILLNORTHTEXAS.ORG</p>
--	---

STAFF REVIEW LETTER

September 9, 2025

Sent via Email

Keith Chapman
2206 East Lamar Street
Sherman, TX 75090

Griffin Potts
2600 N Central Expressway, Suite 400
Richardson, TX 75080

Dear Applicants,

The request of a Public Hearing, Site Plan and Specific Use Permit under Section 14.08.001 to allow Warehousing in a C-2 (General Commercial) District located at 2206 East Lamar Street has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, September 16, 2025 at 5:00 P.M., in the City Council Chambers, City Hall at 220 W. Mulberry.

City staff has reviewed your request, and the following items need to be noted/addressed:

Zoning:

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Fire access, lanes and codes shall be coordinated with the Fire Marshal (dillons@cityofsherman.com). (*Code of Ordinances Chapter 3.02(c)*)
3. Fence Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Sec. 14.04.004*)
4. Sign Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
5. Impact fees will be required at the time of building permit application. (*Chapter 13, Article. 13.11*)
6. The property must be properly maintained in a state of good repair and neat appearance.
7. The use of the property must comply with all Federal and State Laws and Regulations and with all the Ordinances, Rules and Regulations of the City of Sherman.
8. The granting of the Specific Use Permit has no effect on the uses permitted as of right and does not waive the regulations of the underlying zoning district.
9. A Specific Use Permit is an amendment to the district regulations of the Zoning Ordinance that permits the establishment of a specific use within a zoning district in which such specific use may be established unless such use of land or structure is discontinued or abandoned for a period of thirty (30) consecutive days in which event such Specific Use Permit shall be void and such use may not thereafter be resumed unless a new Specific Use Permit is granted in accordance with this section. (*Chapter 14, Sec. 14.06.009(a)(1)(C)*)
10. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.
11. Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission.

Engineering

12. Platting of the property is required prior to building permit being issued for proposed buildings. *Code of Ordinances Chapter 10.01.005; Texas Local Government Code Title 1, Sec. 212.004*
13. Property Boundaries and Easements do not reflect the required Right-of-Way and Easement dedications as indicated in the Preliminary Plat 1st Review Comments.
14. City Council approval of Encroachment Agreement for existing parking spaces that will encroach into the plat required right-of-way dedication is required prior to submitting Final Plat. Encroachment Agreement requirements can be obtained by emailing engineering@cityofsherman.com. *Code of Ordinances 10.03.007(d)*
15. City Council approval of Encroachment Agreement for existing parking spaces that will encroach into the plat required 15' Utility, Landscape, and Sidewalk Easement dedication is required prior to submitting Final Plat. Encroachment Agreement requirements can be obtained by emailing engineering@cityofsherman.com. *Code of Ordinances 10.03.007(d)*
16. Privately owned and maintained detention in accordance with City criteria may be required for any additional impervious area for parking or new buildings. Engineering documentation shall be provided to the City of Sherman Engineering Department for review and approval. If detention is required, Ownership and Maintenance information to be shown on plat. *Code of Ordinances Chapter 10.03.006; Engineering Design Standards Manual Sec. 4.18*

Fire Services

17. D103.5 Amended - Electric gates shall be equipped with a Knox key switch that operates with the Authority Having Jurisdiction's Knox key. Emergency opening devices shall be approved by the fire code official. *(Located In City Ordinances Amendments)*
18. 506.1 Amended - Any new and existing buildings that have a fire sprinkler riser, standpipe system and/or a fire alarm control panel shall have a Knox key box that contains keys or a keycard to gain access to every door leading from the exterior of the building to the fire sprinkler riser, standpipe system and/or the fire alarm control panel. *(Located In City Ordinances Amendments)*

It is the policy of the Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, do not hesitate to contact Development Services by emailing planning@cityofsherman.com prior to the meeting.

Respectfully,



Rob Rae
Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager
Clint Philpott, Asst. City Manager
Wayne Lee, P.E., Director of Engineering
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney

Steven Davis, Asst. Fire Marshal
Amber Doan, Engineering Coordinator
Tom Pruitt, Utility Engineer



Planning & Zoning Commission Development Services

Agenda Item No. 19.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

921 EAST HOUSTON STREET (Project No. 000148-2025)

The request of Hope on Houston Inc. (Owner), Kirk Allen (Applicant) and Underwood Drafting & Surveying (Surveyor) concerning the property located at 921 East Houston Street, consisting of 0.21 acres, J.B. McAnair Survey, Abstract No. 763, and currently zoned C-1 (Retail Business) District, as follows:

Board of Adjustment

Public Hearing and Variance under Section 14.02.016 to allow 9,129 square feet lot area in lieu of the required 10,000 square feet.

Background:

The property is located in the 921 East Houston Street. The owner would like to request a Variance to allow 9,129 square feet lot area in lieu of the required 10,000 square feet.

The following has been approved:

- 5/16/2025 - Preliminary Plat of 901 Hope on Houston Road Addition.
- 4/22/2025 - Site Plan for 901 Hope on Houston Parking Lot.
- 12/14/2021 - Zone Change for 901,903,917,921 from R-1 to C-1

Origination:

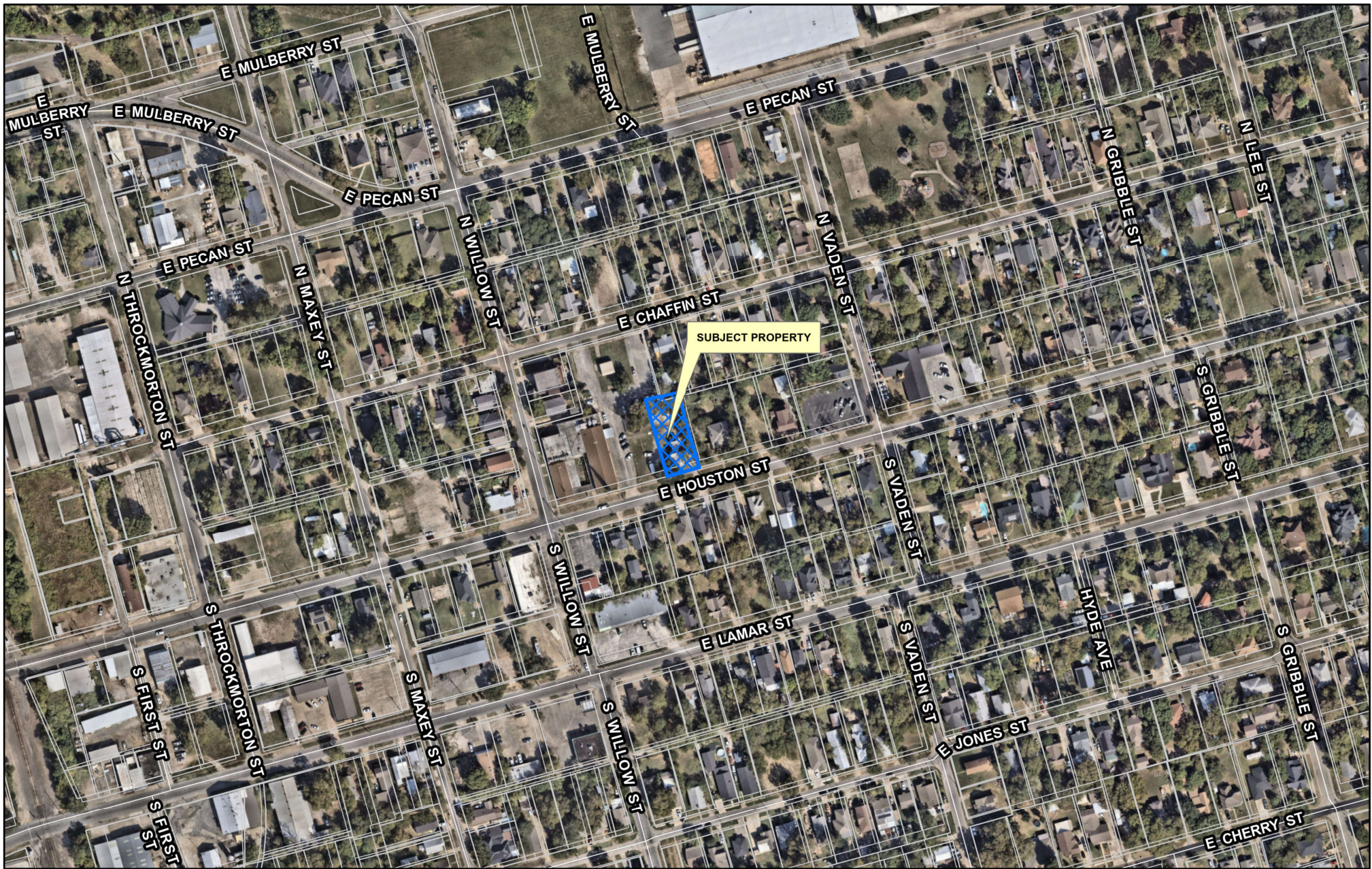
Hope on Houston Inc. (Owner), Kirk Allen (Applicant) and Underwood Drafting & Surveying (Surveyor)

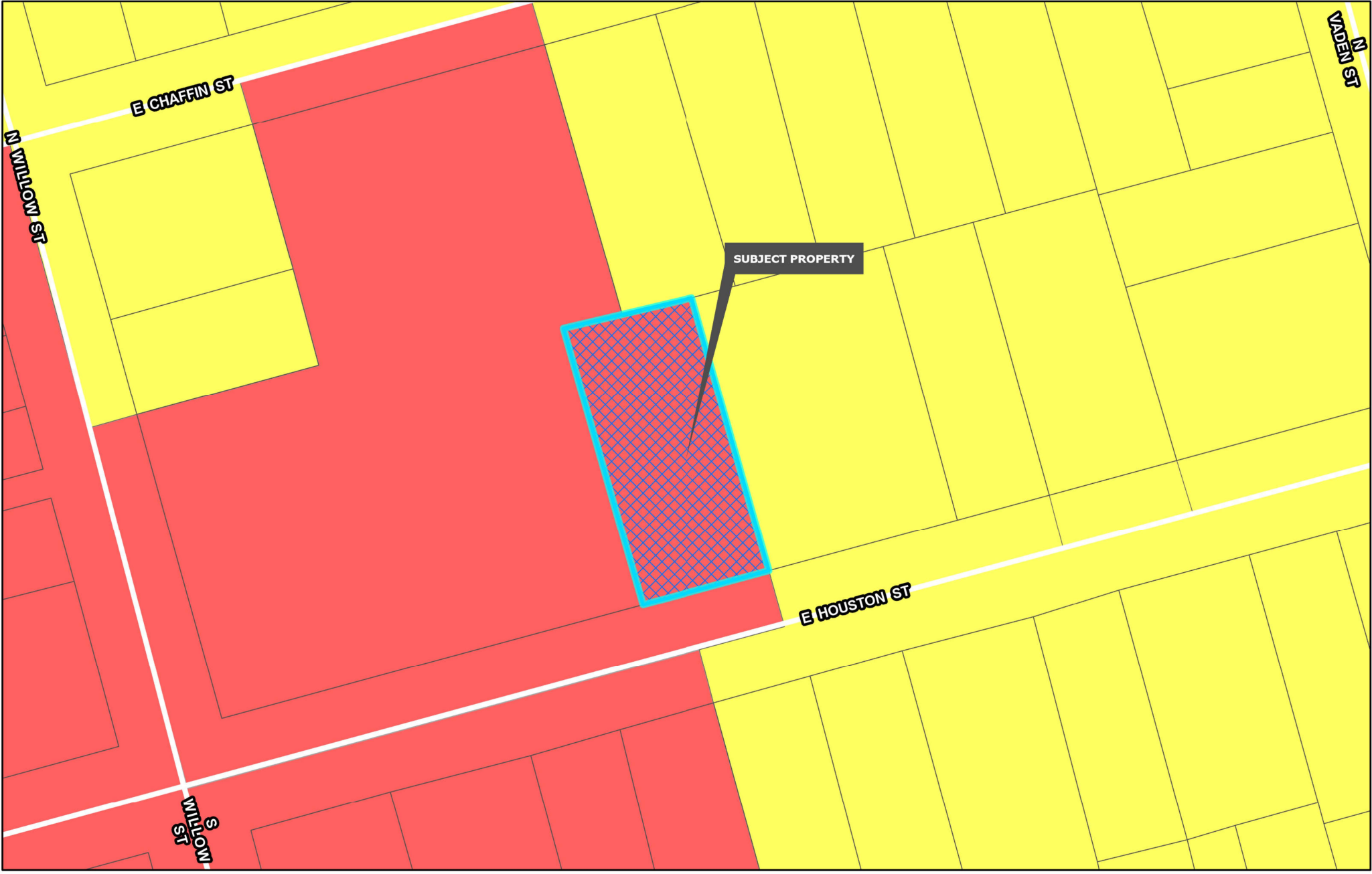
Staff Recommendation:

Staff recommends approval of this variance to allow for the final plat to proceed.

Attachments:

1. Location Map
2. Zoning Map
3. Future Land Use Map
4. Property Notification Sign
5. Survey
6. Narrative
7. Site Plan





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
ZONING MAP
921 E HOUSTON ST**





CORE NEIGHBORHOOD

Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

Appropriate Land Use Types

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

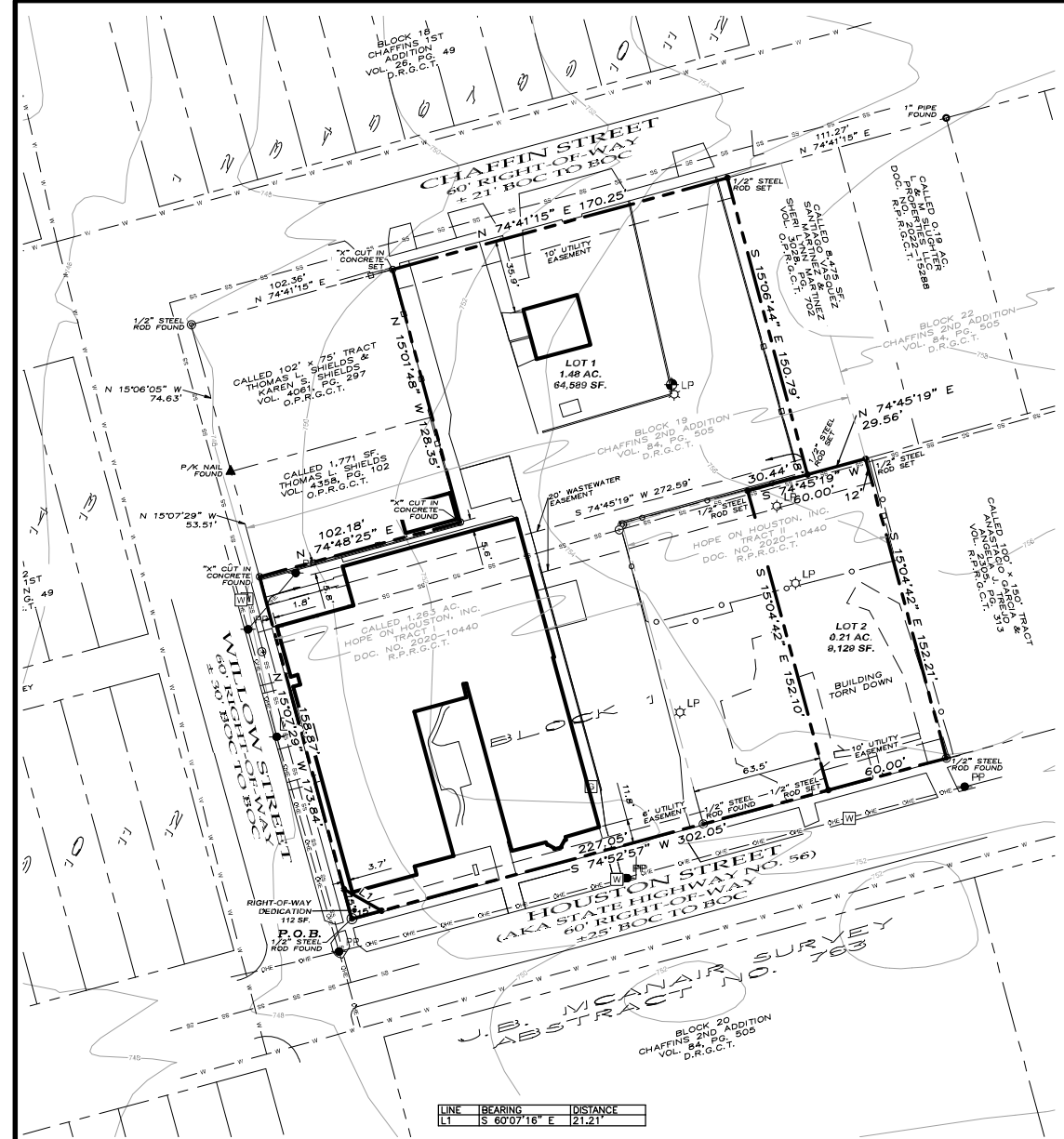
Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



921 EAST HOUSTON STREET – PROPERTY NOTIFICATION SIGN





LEGEND

P.O.B.	POINT OF BEGINNING
●	1/2" STEEL ROD SET
○	1/2" STEEL ROD FOUND
○	1" PIPE FOUND
○	7/8" CUT IN CONCRETE
○	3/4" CUT IN CONCRETE
○	BACK OF CURB
D.P.R.A.C.T.	OFFICIAL PUBLIC RECORDS, GRAYSON COUNTY, TEXAS
R.P.R.A.C.T.	REAL PROPERTY RECORDS, GRAYSON COUNTY, TEXAS
D.R.A.C.T.	DEED RECORDS, GRAYSON COUNTY, TEXAS
---	BOUNDARY LINE
---	PROPERTY LINE
---	EASEMENT LINE

- ~ GENERAL NOTES ~
- Water Supply to be provided by the City of Sherman.
 - Sewer Service to be provided by the City of Sherman.
 - Electrical service is provided by Oncor Electrical Delivery.
 - Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
 - Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
 - The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or drainage easements for the control of erosion.
 - Neither the City of Sherman nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
 - The owners and builders must comply with all other local, state and federal regulations regarding developments of this type.
 - Bearings are based on the City of Sherman Central Monument Network.
 - The City of Sherman reserves the right to require submission of Development Plat based on proposed use of each lot.
 - The subject property does not lie within a Federal Emergency Management Agency (FEMA) designated flood plain as shown by Firm Map No. 48181C 0290 G, effective date September 1, 2022.

LEGAL DESCRIPTION

Situated in the County of Grayson, State of Texas, being a part of J.B. McAnair Survey, Abstract No. 763, and being part of Block 19 of Chaffins 2nd Addition, according to the plat thereof recorded in Volume 84, Page 505, Deed Records, Grayson County, Texas, and being all of a called 1.263 acre tract of land described as Tract I and all of a tract of land described as Tract II in the deed to Hope on Houston, Inc., recorded in Document No. 2020-10440, Real Property Records, Grayson County, Texas, and being described by metes and bounds as follows:

Beginning at a found 1/2" steel rod for the southwest corner of said Tract I, and at the intersection of the northerly right-of-way line of Houston Street and the easterly right-of-way line of Willow Street;

Thence North 15°07'29" West, with a westerly line of said Tract I, and with the easterly right-of-way of said Willow Street, a distance of 173.87 feet to a found "X" in concrete for the western-most northwest corner of said Tract I, common to the southwest corner of a called 1,771 square foot of land described in the deed to Thomas L. Shields, recorded in Volume 4358, Page 102, Official Public Records, Grayson County, Texas;

Thence North 74°48'25" East, with a northerly line of said Tract I, and with the southerly line of said 1,771 square foot tract, a distance of 102.18 feet to a found "X" in concrete for the southeast corner of said 1,771 square foot tract;

Thence North 15°01'48" West, with a westerly line of said Tract I, and with the easterly line of said 1,771 square foot tract, and with the easterly line of a called 102-foot by 75-foot tract of land described in the deed to Thomas L. Shields and Karen S. Shields, recorded in Volume 4061, Page 297, said Official Public Records, a distance of 128.35 feet to a set "X" in concrete for the northern-most northwest corner of said Tract I, common to the northeast corner of said 102-foot by 75-foot tract, and on the southerly right-of-way line of Chaffin Street;

Thence North 74°41'15" East, with a northerly line of said Tract I, and with the southerly right-of-way line of said Chaffin Street, a distance of 170.25 feet to a set 1/2" steel rod for the northeast corner of said Tract I, common to the northwest corner of a called 8,475 square foot tract of land described in the deed to Santiago Vasquez Martinez and Sheri Lynn Martinez, recorded in Volume 3028, Page 702, said Official Public Records;

Thence South 15°06'44" East, with an easterly line of said Tract I, and with the westerly line of said 8,475 square foot tract, a distance of 150.79 feet to a set 1/2" steel rod for the eastern-most southeast corner of said Tract I, common to the southwest corner of said 8,475 square foot tract, and on the northerly line of aforesaid Tract II;

Thence North 74°45'19" East, with the northerly line of said Tract II, and with the southerly line of said 8,475 square foot tract, a distance of 29.56 feet to a set 1/2" steel rod for the northeast corner of said Tract II, common to the northwest corner of a called 100-foot by 150-foot tract of land described in the deed to Anastacio Garcia and Angela J. Trejo, recorded in Volume 2305, Page 313, said Real Property Records;

Thence South 15°04'42" East, with the easterly line of said Tract II, and with the westerly line of said 100-foot by 150-foot tract, a distance of 152.21 feet to a found 1/2" steel rod for the southeast corner of said Tract II, common to the southwest corner of said 100-foot by 150-foot tract, and on the northerly right-of-way line of aforesaid Houston Street;

Thence South 74°52'57" West, with the southerly line of said Tract II, and with the northerly right-of-way line of said Houston Street, passing en route at a distance of 123.50 feet a found 1/2" steel rod for the southwest corner of said Tract II, and continuing on said course, with the southerly line of aforesaid Tract II, a total distance of 302.05 feet to the Point of Beginning and containing 1.69 acres of land, more or less.

All 1/2" steel rods set with a plastic yellow cap stamped "RPLS 4709"

ACCEPTANCE

Approved this _____ day of _____, 2025, by the City Planning and Zoning Commission of the City of Sherman, Texas.

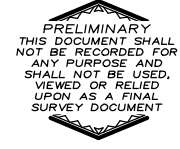
Chairman Secretary

SURVEYOR'S CERTIFICATION

KNOWN ALL MEN BY THESE PRESENTS:

That I, Douglas W. Underwood, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

Douglas W. Underwood
Registered Professional
Land Surveyor, No. 4709



OWNER'S CERTIFICATE OF DEDICATION

THAT HOPE ON HOUSTON INC., acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as HOPE ON HOUSTON STREET ADDITION, an addition to the City of Sherman, Grayson County, Texas. Being 1.69 acres situated in and being a portion of the J.B. McANAIR Survey, Abstract No. 763, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat for the mutual use and accommodation of all public and private utilities desiring to use or using same. Any public or private utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective systems on any of these easements strips and any public or private utility shall, at all times, have a right of ingress and egress to and from and upon the said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the permission of anyone. This plat approved subject to all ordinances, rules regulations and resolutions of the City of Sherman, Texas.

WITNESS, my hand at Grayson County, Texas, this _____ day of _____, 2025.

GAIL UTTER, REGISTERED AGENT
HOPE ON HOUSTON INC.

STATE OF TEXAS
COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared, GAIL UTTER known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2025.

Notary Public in and for
the State of Texas
Commission Expires: _____

AVIGATION RELEASE

THE STATE OF TEXAS
COUNTY OF GRAYSON

WHEREAS, HOPE ON HOUSTON INC., hereinafter called OWNER (whether one or more), is the owner of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described as HOPE ON HOUSTON STREET ADDITION, an addition to the City of Sherman, Grayson County, Texas.

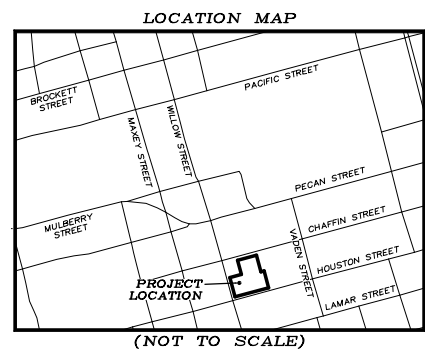
OWNER does hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a municipal corporation, hereinafter called CITY, and Sherman Municipal Airport, hereinafter called AIRPORT, from any and all claims for damages of any kind that OWNER may now have or may hereinafter have in the future by reason of the passage of all aircraft (aircraft being defined for the purposes of this instrument as any contrivance now known or hereinafter invented, used or designed or navigation of or flight in the air) by whomsoever owned and operated, in the airspace above OWNER'S property. Such release shall include, but not be limited to, any damages to the OWNER'S described property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at or taking off from or operating at or on the Sherman Municipal Airport, whether such claim be for injury or death to person or persons damages to or taking off of property; and OWNER does hereby fully remise and release any right or cause of action which it may now have or which it may in the future have against the CITY or AIRPORT, whether such claims be for injury or death to persons or damage to property due to noise, vibration, fumes, dust, fuel and lubricant particles, and all the other effects that may be caused or may have been caused by the operation and/or maintenance of aircraft or aircraft engines at or on said Sherman Municipal Airport.

It is agreed that this Release shall be binding upon OWNER, his successors, heirs, executors, administrators and assigns, in interest with regard to said property located at HOPE ON HOUSTON STREET ADDITION, an addition to the City of Sherman, Texas, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of Grayson County, Texas.

EXECUTED THIS _____ DAY OF _____, 2025.

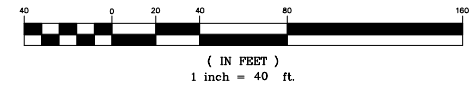
BY: HOPE ON HOUSTON INC.

GAIL UTTER, REGISTERED AGENT



(NOT TO SCALE)

GRAPHIC SCALE



OWNERS/DEVELOPER
HOPE ON HOUSTON INC.
2610 SHENANDOAH CIRCLE
SHERMAN, TX 75092-7650

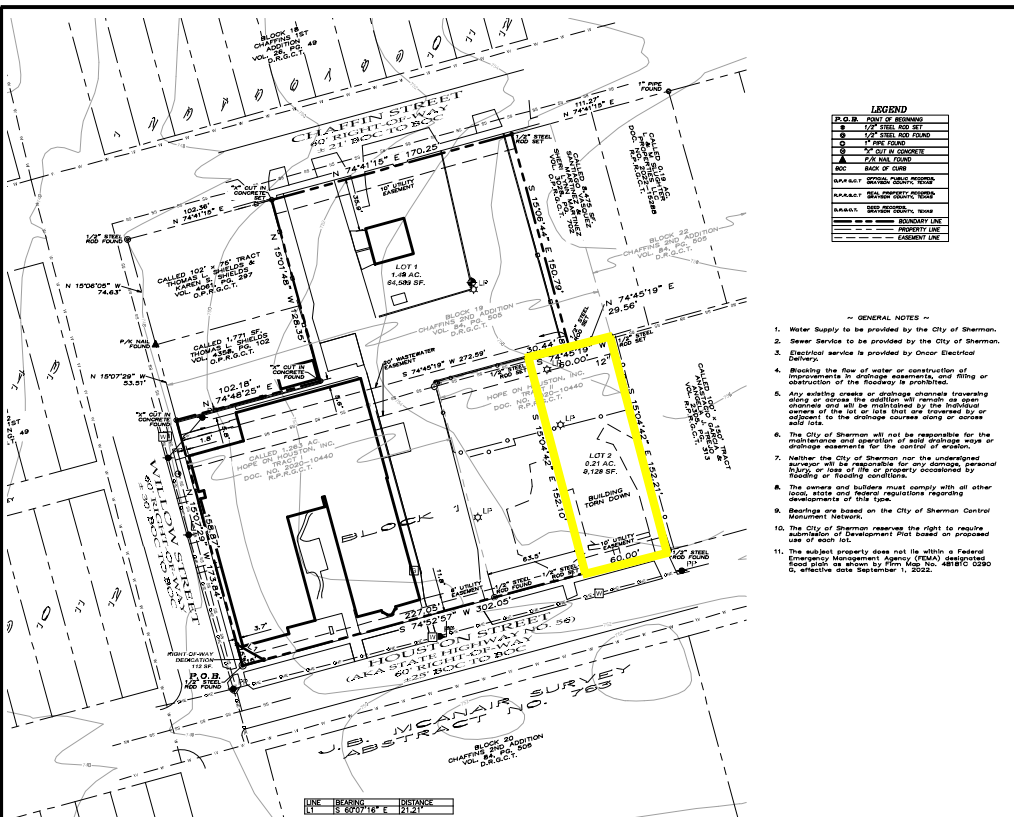
SURVEYOR
DOUGLAS W. UNDERWOOD
R.P.L.S. NO. 4709
3404 INTERURBAN ROAD
DENISON, TEXAS



PRELIMINARY PLAT
HOPE ON HOUSTON STREET ADDITION
Being a part of the J.B. McAnair Survey,
Abstract Number 763
Being in the City of Sherman,
Grayson County, Texas.
Containing 1.69 acres of land

08-13-2025

This submission for variance is to allow Parcel 2 of the new Hope on Houston plat to be approved without meeting the necessary size requirements of a commercial parcel as zoned currently.



LEGAL DESCRIPTION
 Situated in the County of Grayson, State of Texas, being a part of J.B. McAnair Survey, Abstract No. 763, and being part of Block 19 of Charles 2nd Addition, according to the plat thereof recorded in Volume 84, Page 295, Deed Records, Grayson County, Texas, and being all of a tract of 1.263 acres tract of land described as Tract I in the deed to Hope on Houston, Inc., recorded in Document No. 2020-10440, Real Property Records, Grayson County, Texas, and being described by metes and bounds as follows:

- Beginning at a found 1/2" steel rod for the southwest corner of said Tract I, and at the intersection of the northerly right-of-way line of Houston Street and the easterly right-of-way line of Willow Street;
 - Thence North 15°07'29" West, with a westerly line of said Tract I, and with the easterly right-of-way line of said Willow Street, a distance of 173.67 feet to a found "X" in concrete for the western-most northwest corner of said Tract I, common to the southwest corner of a called 1,771 square foot of land described in the deed to Thomas L. Shields, recorded in Volume 4358, Page 102, Official Public Records, Grayson County, Texas;
 - Thence North 74°48'25" East, with a northerly line of said Tract I, and with the southerly line of said 1,771 square foot tract, a distance of 102.18 feet to a found "X" in concrete for the southeast corner of said 1,771 square foot tract;
 - Thence North 15°01'48" West, with a westerly line of said Tract I, and with the easterly line of said 1,771 square foot tract, and with the easterly line of a called 102-foot by 75-foot tract of land described in the deed to Thomas L. Shields and Karen S. Shields, recorded in Volume 4061, Page 297, sold Official Public Records, a distance of 128.35 feet to a set "X" in concrete for the northern-most northwest corner of said Tract I, common to the northeast corner of said 102-foot by 75-foot tract, and on the southerly right-of-way line of Chaffin Street;
 - Thence North 74°41'15" East, with a northerly line of said Tract I, and with the southerly right-of-way line of said Chaffin Street, a distance of 170.25 feet to a set 1/2" steel rod for the northeast corner of said Tract I, common to the northwest corner of a called 8,475 square foot tract of land described in the deed to Santiago Vasquez Martinez and Sheri Lynn Martinez, recorded in Volume 3028, Page 702, sold Official Public Records;
 - Thence South 15°06'44" East, with an easterly line of said Tract I, a distance of 150.79 feet to a set 1/2" steel rod for the eastern-most southeast corner of said Tract I, common to the southwest corner of said 8,475 square foot tract, and on the northerly line of aforesaid Tract II;
 - Thence North 74°45'19" East, with the northerly line of said Tract II, and with the southerly line of said 8,475 square foot tract, a distance of 170.25 feet to a set 1/2" steel rod for the northeast corner of said Tract II, common to the northwest corner of a called 100-foot by 150-foot tract of land described in the deed to Anastacia Garcia and Angela J. Trejo, recorded in Volume 2305, Page 313, sold Real Property Records;
 - Thence South 15°04'42" East, with the easterly line of said Tract II, and with the westerly line of said 100-foot by 150-foot tract, a distance of 122.21 feet to a found 1/2" steel rod for the southeast corner of said Tract II, common to the southwest corner of said 100-foot by 150-foot tract, and on the northerly right-of-way line of aforesaid Houston Street;
 - Thence South 74°52'57" West, with the southerly line of said Tract II, and with the northerly right-of-way line of said Houston Street, passing en route a distance of 123.50 feet a found 1/2" steel rod for the southwest corner of said Tract II, and continuing on said course, with the southerly line of aforesaid Tract II, a total distance of 302.05 feet to the Point of Beginning and containing 1.69 acres of land, more or less.
- All 1/2" steel rods set with a plastic yellow cap stamped "RPLS 4709"

OWNER'S CERTIFICATE OF DEDICATION
 THAT HOPE ON HOUSTON INC., acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as HOPE ON HOUSTON STREET ADDITION, an addition to the City of Sherman, Grayson County, Texas, Being 1.69 acres situated in and being a portion of the J.B. McANAIR Survey, Abstract No. 763, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat for mutual use and accommodation of all public and private utilities dealing to use or using same. Any public or private utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective systems on any of these easement strips and any public or private utility shall, at all times, have a right of ingress and egress to and from and upon the said easement strips for the purpose of constructing, reconstructing, inspecting, maintaining, repairing, and amending or adding to or removing all or part of its respective systems and the installation, maintenance, and operation of any of its systems, subject to all ordinances, rules, regulations and purposes of the City of Sherman, Texas.

WITNESS, My hand at Grayson County, Texas, this ____ day of _____, 2025.

GAIL UTTER, REGISTERED AGENT
 HOPE ON HOUSTON INC.

STATE OF TEXAS
 COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared, GAIL UTTER known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of _____, 2025.

Notary Public in and for
 the State of Texas
 Commission Expires:

AVIGATION RELEASE

THE STATE OF TEXAS
 COUNTY OF GRAYSON

WHEREAS, HOPE ON HOUSTON INC., hereinafter called OWNER (whether one or more), is the owner of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described as HOPE ON HOUSTON STREET ADDITION, an addition to the City of Sherman, Grayson County, Texas;

OWNER does hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a municipal corporation, hereinafter called CITY, and Sherman Municipal Airport, hereinafter called AIRPORT, from any and all claims for damages of any kind that OWNER may now have or may hereinafter have in the future by reason of the passage of all aircraft (aircraft being defined for the purposes of this release as any contrivance now known or hereinafter invented, used or designed or navigation of or flight in the air) by whomsoever owned and operated in and about the CITY and AIRPORT. Such release shall include, but not be limited to, any damages to the OWNER'S described property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at or taking off from or operating at or on the Sherman Municipal Airport, whether such claim be for injury to or death to person or persons damages to or taking off of property; and OWNER does hereby fully remise, release, quit claim and forever hold harmless the CITY or AIRPORT, whether such claims be for injury to or death to persons or damage to property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused or may have been caused by the operation and/or maintenance of aircraft or aircraft engines at or on said Sherman Municipal Airport.

It is agreed that this Release shall be binding upon OWNER, his successors, heirs, executors, administrators and assigns, in interest with regard to said property located at HOPE ON HOUSTON STREET ADDITION, an addition to the City of Sherman, Texas, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of Grayson County, Texas.

EXECUTED THIS ____ DAY OF _____, 2025.

BY: HOPE ON HOUSTON INC.

GAIL UTTER, REGISTERED AGENT

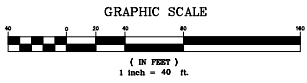
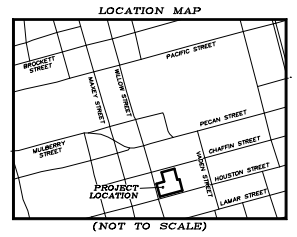
ACCEPTANCE
 Approved this ____ day of _____, 2025, by the City of Sherman, Texas,
 Planning and Zoning Commission of the City of Sherman, Texas.

Chairman Secretary

SURVEYOR'S CERTIFICATION
 KNOWN ALL MEN BY THESE PRESENTS:
 That I, Douglas W. Underwood, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

Douglas W. Underwood
 Registered Professional
 Land Surveyor, No. 4709

Date



DRAWN/DEVELOPER
 HOPE ON HOUSTON INC.
 2610 SHERMANOAK CIRCLE
 SHERMAN, TX 75092-7650

SURVEYOR
 DOUGLAS W. UNDERWOOD
 R.P.L.S. NO. 4709
 3404 INTERURBAN ROAD
 DENISON, TEXAS





Planning & Zoning Commission Development Services

Agenda Item No. 20.

Meeting Date: 9/16/2025

Prepared By: Naomi Lightfoot , Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

360 EAST EVERGREEN (Project No. 000123-2025) - TABLED FROM AUGUST 19, 2025

The request of Cool Water Development, LLP (Owner), David Weaver (Applicant) and Underwood Drafting & Surveying (Surveyor) concerning the property at 360 East Evergreen, Block 1, Lot 2 Kerr's North Walnut Addition, consisting of 0.289 acres, and being in the J.B. McAnair Survey, Abstract No.763, and currently zoned C-1 (Retail Business) District, as follows:

Planning and Zoning Commission

Final Plat for Cool Water Addition.

Background:

The property is located in the 360 East Evergreen. The owner would like to plat the property for commercial development.

The following has been approved for this location:

- 5/20/2025 - Public Hearing and Variance under Section 14.04.0001(b)(1) to allow a 0' side setback to exceed the allowed 4' for the existing awning.
- 4/22/2025 - A. Public Hearing and Variance under Section 14.06.016 to allow a 13.4' side setback in lieu of the required 15' for the existing metal structure. - B. Public Hearing and Variance under Section 14.04.0001(b)(1) to allow a 0' side setback to exceed the allowed 4' for the existing awning. (TABLED) - C. Public Hearing and Variance under Section 14.06.016 to allow an 8.6' rear setback in lieu of the required 25' for the existing metal structure. - D. Site Plan for a Contractor Office Addition.

Origination:

Cool Water Development, LLP (Owner), David Weaver (Applicant) and Underwood Drafting & Surveying (Surveyor)

Staff Recommendation:

Staff does not have a recommendation at this time.

Attachments:

1. Location Map
2. Zoning Map
3. Final Plat
4. Conditional Approval Letter



diagrone H:\PLANNING\Public Notification KT.aprx

Maxar, Microsoft

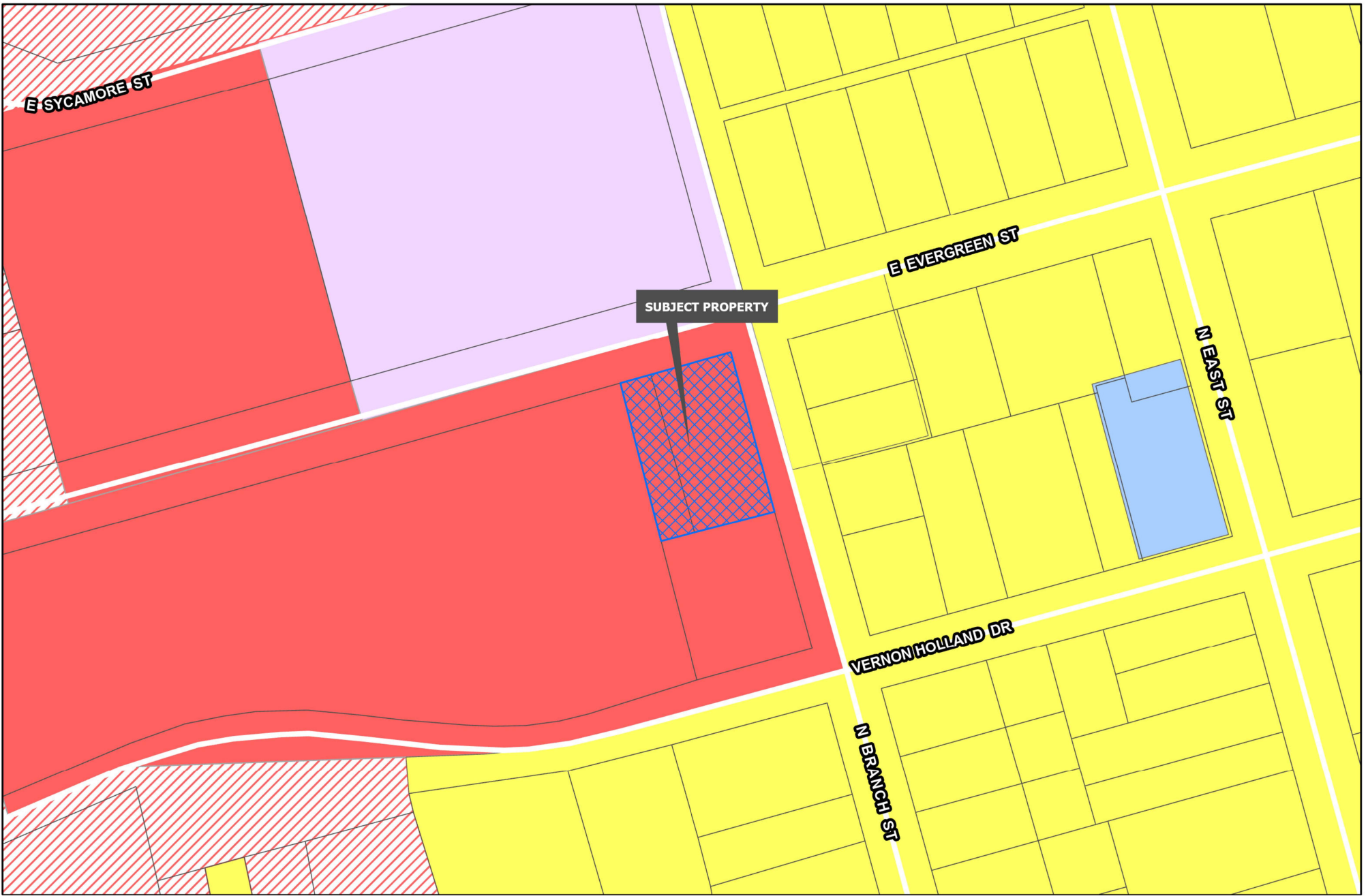


City of Sherman, Texas
Development Services Department

**CITY OF SHERMAN
LOCATION MAP
360 E EVERGREEN ST**



Date: 4/5/2025 3:01 PM



SUBJECT PROPERTY



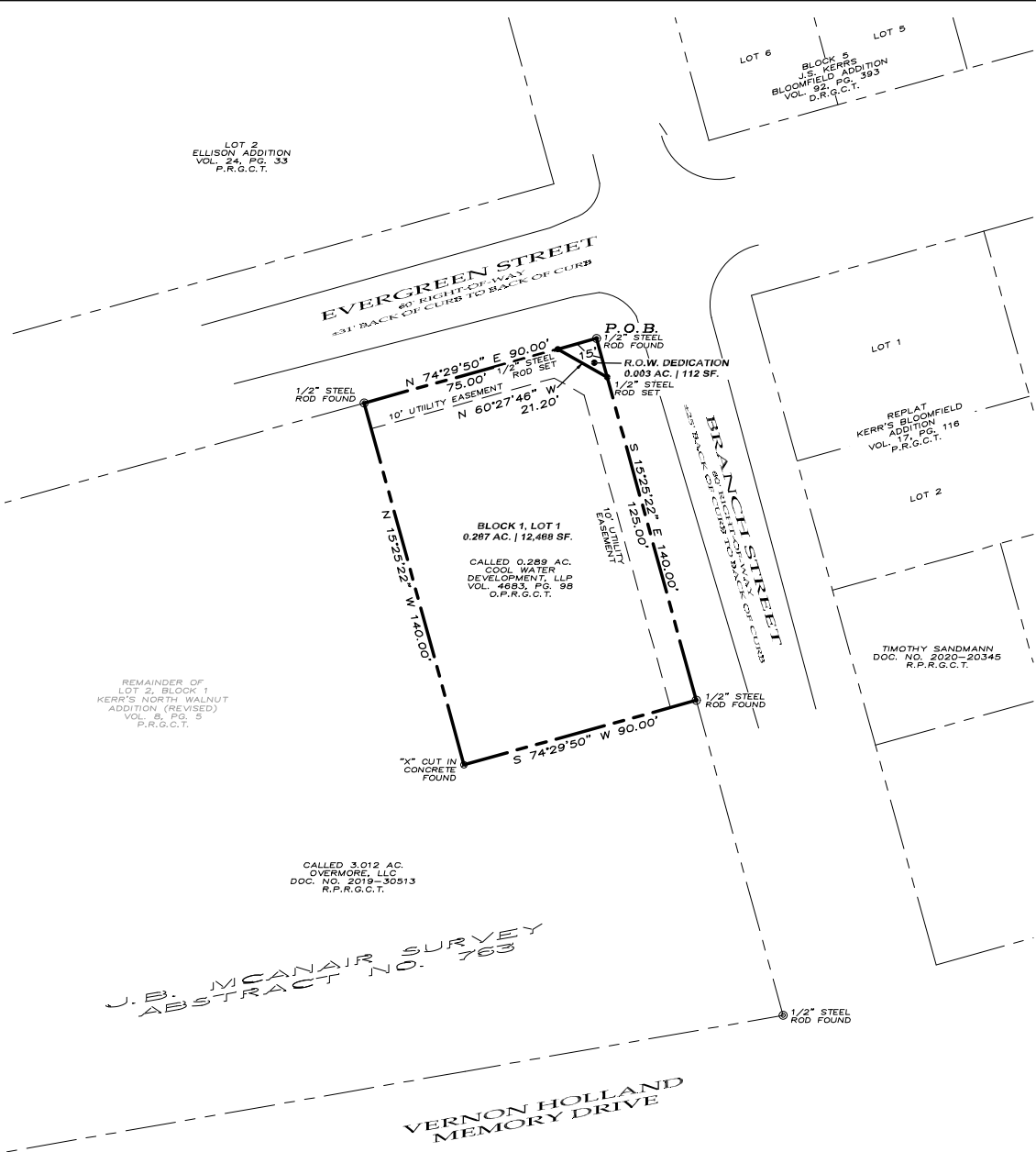
Development Services
Department

- | | | |
|--------------------------------|--------------------------------|----------------------------|
| R-A Residential Agricultural | MF-15 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-E Estate Residential | MF-30 Multi-Family Residential | M-2 Heavy Manufacturing |
| R-12 Single Family Residential | MH Manufactured Housing | PD Planned Development |
| R-6 Single Family Residential | C-N Neighborhood Commercial | Road Names All |
| R-5 Single Family Residential | C-O Office | Planning & Zoning |
| R-4 Patio Home Residential | C-1 Retail Business | |
| R-2F Duplex Residential | C-2 General Commercial | |
| R-TH Townhome Residential | M-1 Light Manufacturing | |

CITY OF SHERMAN
ZONING MAP
360 E EVERGREEN ST



Date: 4/5/2025 3:01 PM



- ~ GENERAL NOTES ~
- Water Supply to be provided by the City of Sherman.
 - Sewer Service to be provided by the City of Sherman.
 - Electrical service is provided by Oncor Electrical Delivery.
 - Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
 - Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
 - The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or drainage easements for the control of erosion.
 - Neither the City of Sherman nor the undersigned Surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
 - The owners and builders must comply with all other local, state and federal regulations regarding developments of this type.
 - Bearings are based on the City of Sherman Control Monument Network.
 - The City of Sherman reserves the right to require submission of Development Plat based on proposed use of each lot.
 - The subject property does not lie within a Federal Emergency Management Agency (FEMA) designated flood plain as shown by Firm Map No. 48181C0286C, effective date September 1, 2022.

LEGEND

P.O.B.	POINT OF BEGINNING
●	1/2" STEEL ROD SET
⊙	1/2" STEEL ROD FOUND
⊗	"X" CUT IN CONCRETE
P.R.G.C.T.	PLAT RECORDS, GRAYSON COUNTY, TEXAS
O.P.R.G.C.T.	OFFICIAL PUBLIC RECORDS, GRAYSON COUNTY, TEXAS
R.P.R.G.C.T.	REAL PROPERTY RECORDS, GRAYSON COUNTY, TEXAS
D.R.G.C.T.	DEED RECORDS, GRAYSON COUNTY, TEXAS
---	BOUNDARY LINE
---	PROPERTY LINE
---	EASEMENT LINE

LEGAL DESCRIPTION

Situated in the County of Grayson, State of Texas, being a part of J.B. McAnair Survey, Abstract No. 763, and being part of Lot 2, Block 1 of Kerr's North Walnut Addition (Revised), according to the plat thereof recorded in Volume 8, Page 5, Plat Records, Grayson County, Texas, and being a retracement of a called 0.289 acre tract of land described in the deed to Cool Water Development, LLP, recorded in Volume 4683, Page 98, Official Public Records, Grayson County, Texas, and being described by metes and bounds as follows:

Beginning at a 1/2" steel rod found for the northeast corner of said 0.289 acre tract, and at the intersection of the southerly right-of-way line of Evergreen Street and with the westerly right-of-way line of Branch Street;

Thence South 15°25'22" East, with the easterly line of said 0.289 acre tract, and with the westerly right-of-way line of said Branch Street, a distance of 140.00 feet to a 1/2" steel rod found for the southeast corner of said 0.289 acre tract, common to the eastern-most northeast corner of a called 3.012 acre tract of land described in the deed to Overmore, LLC, recorded in Document No. 2019-30513, Real Property Records, Grayson County, Texas;

Thence South 74°29'50" West, with the southerly line of said 0.289 acre tract, and with a northerly line of said 3.012 acre tract, a distance of 90.00 feet to an "X" cut in concrete found for the southwest corner of said 0.289 acre tract;

Thence North 15°25'22" West, with the westerly line of said 0.289 acre tract, and with an easterly line of said 3.012 acre tract, a distance of 140.00 feet to a 1/2" steel rod found for the northwest corner of said 0.289 acre tract, common to the northern-most northeast corner of said 3.012 acre tract, and on the southerly right-of-way line of aforesaid Evergreen Street;

Thence North 74°29'50" East, with the northerly line of said 0.289 acre tract, and with the southerly right-of-way line of said Evergreen Street, a distance of 90.00 feet to the Point of Beginning and containing 0.289 acres of land, more or less.

ACCEPTANCE

Approved this _____ day of _____, 2025, by the City Planning and Zoning Commission of the City of Sherman, Texas.

Chairman

Secretary

SURVEYOR'S CERTIFICATION

KNOWN ALL MEN BY THESE PRESENTS:

That I, Douglas W. Underwood, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

Douglas W. Underwood
Registered Professional
Land Surveyor, No. 4709

Date

OWNER'S CERTIFICATE OF DEDICATION

THAT COOL WATER DEVELOPMENT, LLC, acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as COOL WATER ADDITION, an addition to the City of Sherman, Grayson County, Texas, being 0.289 acres situated in and being a portion of the J.B. McANAIR Survey, Abstract No. 763, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat for the mutual use and accommodation of all public and private utilities desiring to use or using same. Any public or private utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective systems on any of these easements strips and any public or private utility shall, at all times, have a right of ingress and egress to and from and upon the said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the permission of anyone. This plat approved subject to all ordinances, rules regulations and resolutions of the City of Sherman, Texas.

WITNESS, my hand at Grayson County, Texas, this _____ day of _____, 2025.

BLAIR WEAVER
COOL WATER DEVELOPMENT, LLP

STATE OF TEXAS
COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared, BLAIR WEAVER known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2025.

Notary Public in and for
the State of Texas
Commission Expires: _____

AVIGATION RELEASE

THE STATE OF TEXAS
COUNTY OF GRAYSON

WHEREAS, COOL WATER DEVELOPMENT, LLP, hereinafter called OWNER (whether one or more), is the owner of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described as COOL WATER ADDITION, an addition to the City of Sherman, Grayson County, Texas.

OWNER does hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a municipal corporation, hereinafter called CITY, and Sherman Municipal Airport, hereinafter called AIRPORT, from any and all claims for damages of any kind that OWNER may now have or may hereinafter have in the future by reason of the passage of all aircraft (aircraft being defined for the purposes of this instrument as any contrivance now known or hereinafter invented, used or designed or navigation of or flight in the air) by whomsoever owned and operated, in the airspace above OWNER'S property. Such release shall include, but not be limited to, any damages to the OWNER'S described property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at or taking off from or operating at or on the Sherman Municipal Airport, whether such claim be for injury or death to person or persons damages to or taking off of property; and OWNER does hereby fully remiss and release any right or cause of action which it may now have or which it may in the future have against the CITY or AIRPORT, whether such claims be for injury or death to persons or damage to property due to noises, vibration, fumes, dust, fuel and lubricant particles, and all the other effects that may be caused or may have been caused by the operation and/or maintenance of aircraft or aircraft engines at or on said Sherman Municipal Airport.

It is agreed that this Release shall be binding upon OWNER, his successors, heirs, executors, administrators and assigns, in interest with regard to said property located at COOL WATER ADDITION, an addition to the City of Sherman, Texas, and it is further agreed that this instrument shall be a covenant running with the land, and shall be recorded in the Deed Records of Grayson County, Texas.

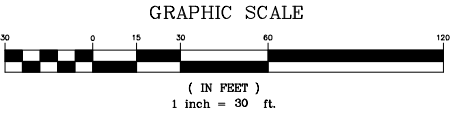
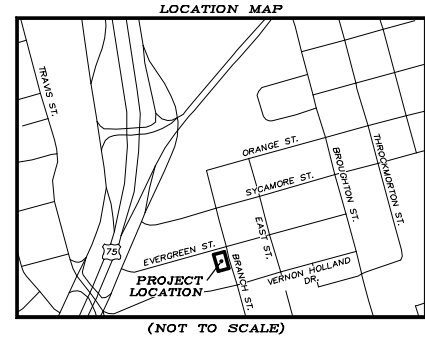
EXECUTED THIS _____ DAY OF _____, 2025.

BY: COOL WATER DEVELOPMENT, LLP

BLAIR WEAVER

FINAL PLAT
COOL WATER ADDITION
BEING A REPLAT OF PART OF BLOCK 1, LOT 2
KERR'S NORTH WALNUT ADDITION (REVISED)
VOL. 8, PG. 5, P.R.G.C.T.
Being a part of the J.B. McAnair Survey,
Abstract No. 763
Being in the City of Sherman
Grayson County, Texas.
Containing 0.289 acres of land

07-16-2025



OWNERS / DEVELOPER
COOL WATER DEVELOPMENT, LLP
P.O. BOX 193
SHERMAN, TX 75091-0193

SURVEYOR
DOUGLAS W. UNDERWOOD
R.P.L.S. NO. 4709
3404 INTERURBAN ROAD
DENISON, TEXAS





Eng. File No. 2829-A
CSS # 000093-2025-PLAT

PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER

July 15, 2025

Cool Water Development, LLP
P.O. Box 193
Sherman, TX 75091-0193

Underwood Drafting & Surveying
3404 Interurban Road
Denison, TX 75021

Dear Applicants,

The request for approval of the Preliminary Plat of Cool Water Addition has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

1. City Council approval of Encroachment Agreement for existing awning that encroach into the right-of-way is required prior to submitting Final Plat. Encroachment Agreement requirements can be obtained by emailing engineering@cityofsherman.com. *Code of Ordinances 10.03.007(d)*
2. Encroachment Agreement information shall be removed from plat. Encroachment Agreements are not filed of record in the Grayson County Public Records.
3. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
4. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

If additional information or clarification is needed, do not hesitate to email engineering@cityofsherman.com prior to the meeting.

Respectfully,



Wayne E. Lee, P.E., CFM
Director of Engineering

cc: Dr. Zachary Flores, City Manager
Tom Pruitt, Utility Engineer
Clint Philpott, Assistant City Manager
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney
Rob Rae, Director of Development Services
Dillon Stewart, Fire Marshal



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 21.

Meeting Date: 9/16/2025

Prepared By: Rob Rae, Developmental Services Director

Approved By:

Requested Action/Proposed Use:

OTHER BUSINESS

An Ordinance Of The City Council Of The City Of Sherman, Texas, Amending The Code Of Ordinances Of The City Of Sherman, Texas, Chapter 14 (Zoning Ordinance), Article 14.02 (Zoning Districts), Article 14.04 (Supplementary District Regulations), Article 14.06 (Development Procedures) And Article 14.08 (Definitions); Modifying Certain Existing Regulations And Prescribing New Regulations Related To Usable Open Space Requirements, Architectural And Building Requirements, Minimum Requirements For Lot Area, Width And Setbacks, Garage Requirements, Infill Development, Site Plan Requirements And Definition Of The Term “Dwelling, Townhome”; Providing A Penalty Clause With A Maximum Fine Of \$2,000, Savings/Repealing Clause, Severability Clause And An Effective Date; Providing For The Publication Of The Caption Hereof; Finding And Determining That The Meeting At Which This Ordinance Is Passed Was Noticed And Is Open To The Public As Required By Law

Background:

In March 2025, a City Council zoning subcommittee was established to review potential updates to the zoning ordinance. This draft ordinance is a result of monthly meetings discussing the following proposed changes:

- Architectural diversity standards for single-family subdivisions
- Building materials requirements
- Infill development regulations
- R-2F minimum lot standards
- R-TH standard amendments
- Site plan, landscaping plan, and building elevation submittal requirements.

Origination:

Development Services

Staff Recommendation:

Staff recommends approval.

Attachments:

1. Proposed Ordinance

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SHERMAN, TEXAS, AMENDING THE CODE OF ORDINANCES OF THE CITY OF SHERMAN, TEXAS, CHAPTER 14 (ZONING ORDINANCE), ARTICLE 14.02 (ZONING DISTRICTS), ARTICLE 14.04 (SUPPLEMENTARY DISTRICT REGULATIONS), ARTICLE 14.06 (DEVELOPMENT PROCEDURES) AND ARTICLE 14.08 (DEFINITIONS); MODIFYING CERTAIN EXISTING REGULATIONS AND PRESCRIBING NEW REGULATIONS RELATED TO USABLE OPEN SPACE REQUIREMENTS, ARCHITECTURAL AND BUILDING REQUIREMENTS, MINIMUM REQUIREMENTS FOR LOT AREA, WIDTH AND SETBACKS, GARAGE REQUIREMENTS, INFILL DEVELOPMENT, SITE PLAN REQUIREMENTS AND DEFINITION OF THE TERM “DWELLING, TOWNHOME”; PROVIDING A PENALTY CLAUSE WITH A MAXIMUM FINE OF \$2,000, SAVINGS/REPEALING CLAUSE, SEVERABILITY CLAUSE AND AN EFFECTIVE DATE; PROVIDING FOR THE PUBLICATION OF THE CAPTION HEREOF; FINDING AND DETERMINING THAT THE MEETING AT WHICH THIS ORDINANCE IS PASSED WAS NOTICED AND IS OPEN TO THE PUBLIC AS REQUIRED BY LAW

WHEREAS, the City Council of the City of Sherman, Texas (“City Council”) finds that it is necessary to amend Chapter 14 (Zoning Ordinance) of the Code of Ordinances, City of Sherman, Texas (“Code of Ordinances”) for the purpose of modifying certain existing regulations and prescribing new regulations related to usable open space requirements, architectural and building material requirements, minimum requirements for lot area, width and setbacks, garage requirements, infill development, site plan requirements and definition of the term “dwelling, townhome”; and

WHEREAS, the City of Sherman (“City” or “Sherman”) has complied with all legal notices and public hearings as required by law; and

WHEREAS, the City Council finds that adopting this Ordinance promotes the health, safety and morals of Sherman and is in the best interest of the citizens of Sherman.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHERMAN, TEXAS:

SECTION 1: Findings Incorporated. The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2: Amendment to the Code of Ordinances, Chapter 14 (Zoning Ordinance). Article 14.02 (Zoning Districts), Article 14.04 (Supplemental District Regulations), Article 14.06 (Development Procedures) and Article 14.08 (Definitions) of the Code of Ordinances are amended as follows¹:

¹ Deletions are evidenced by ~~strikethrough~~; additions are *italicized*.

“ARTICLE 14.02 ZONING DISTRICTS

Sec. 14.02.003 R-A (Residential Agricultural) District

The R-A (Residential Agricultural) District is intended to provide a location for principally undeveloped or vacant land situated on the fringe of an urban area and used for agricultural purposes but may become an urban area in the future. The types of uses and the area and intensity of uses permitted in this District shall encourage and protect agricultural uses until urbanization is warranted and the appropriate change in district classification is made. This district is generally appropriate with the Agricultural/Rural Future Land Use category.

(1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 2 acres

Lot width: 200’

Lot depth: 200’

Front setback: 40’

Rear setback: 25’

Side setback (of corner lot): 20’ (25’)

(a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City’s adopted Thoroughfare Plan.

(2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.

(3) Permitted uses. Those uses indicated as being permitted in the “R-A (Single-Family Agricultural) District” in Subsection 14.10 (Use Chart).

(4) Other Regulations.

(a) Site plan. A site plan, *including building elevations*, shall be submitted to and must be approved by the Development Services Director or their designee prior to the issuance of a building permit for new construction or additions to an existing building, structure or changes to the site for residential uses in the R-A District.

(b) Floor area. The total floor area of the main building shall not be less than 1,000 square feet.

(c) Building area. The maximum allowable building area in the R-A District shall not exceed 40 percent of the gross area of the lot or tract of land.

(d) Height regulations. No building shall exceed 45 feet.

(e) Parking regulations. Refer to Subsection 14.04.003 for parking regulations.

(f) Landscaping requirements. Refer to Subsection 14.04.006 for landscaping requirements.

(g) Screening regulations. Refer to Subsection 14.04.004 for fences and screening regulations.

(h) Usable Open Space Requirements. Refer to Section 10.03.008 of the Subdivision Ordinance for open space requirements.

(i) Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.

Sec. 14.02.004 R-E (Estate Residential) District

The R-E (Estate Residential) District is designed to provide for a suitable residential environment for family life on parcels of land with larger lots consisting of a minimum lot area

of one (1) acre, while limiting the uses to single-family residences and their community services and facilities. This district is generally appropriate with the Agricultural/Rural and Suburban Neighborhood Future Land Use categories.

(1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 1 acre

Lot width: 150'

Lot depth: 150'

Front setback: 40'

Rear setback: 40'

Side setback (of corner lot): 20' (25')

(a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City's adopted Thoroughfare Plan.

(2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.

(3) Permitted Uses. Those uses indicated as being permitted in the "R-E (Estate Residential) District" in Subsection 14.10 (Use Chart).

(4) Other Regulations.

(a) Site Plan. A site plan, *including building elevations*, shall be submitted to and must be approved by the Development Services Director or their designee prior to the issuance of a building permit for new construction or additions to an existing building, structure, or changes to the site for residential uses in the R-E District.

(b) Floor Area. The total floor area of the main building shall not be less than 1,500 square feet.

(c) Building Area. The maximum allowable building area shall not exceed 20 percent of the gross area of the lot or tract of land.

(d) Height Regulations. No building shall exceed 45 feet.

(e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.

(f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.

(g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.

(h) Usable Open Space Requirements. Refer to Section 10.03.008 of the Subdivision Ordinance for open space requirements.

(i) Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.

Sec. 14.02.005 R-12 (Single-Family Residential) District

The R-12 (Single-Family Residential) District is designed to provide for a suitable residential environment for family life on parcels of land with larger lots consisting of a minimum lot area of twelve thousand (12,000) square feet, while limiting the uses to single-family residences and their community services and facilities. This district is generally appropriate with the Suburban Neighborhood Future Land Use category.

(1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 12,000 sq. ft.

Lot width: 80'

Lot depth: 100'

Front setback: 25'

Rear setback: 25'

Side setback (of corner lot): 10' (15')

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City's adopted Thoroughfare Plan.
- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the "R-12 (Single-Family Residential) District" in Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site Plan. A site plan, *including building elevations*, shall be submitted to and must be approved by the Development Services Director or their designee prior to the issuance of a building permit for new construction or additions to an existing building, structure, or changes to the site for residential uses in the R-12 District.
 - (b) Floor Area. The total floor area of the main building shall not be less than 1,500 square feet ~~or greater than 3,000 square feet~~.
 - (c) Building Area. The maximum allowable building area shall not exceed 40 percent of the gross area of the lot or tract of land.
 - (d) Height Regulations. No building shall exceed 40 feet.
 - (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Usable Open Space Requirements. Refer to Section 10.03.008 of the Subdivision Ordinance for open space requirements.*
 - (i) Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*

Sec. 14.02.006 R-6 (Single-Family Residential) District

The R-6 (Single-Family Residential) District is designed to provide for a low density, residential environment for family life on parcels of land smaller and more compact in size, having a minimum lot area of six thousand (6,000) square feet, while limiting the uses to single-family residences and their community services and facilities. This district is generally appropriate with the Suburban Neighborhood Future Land Use category.

- (1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 6,000 sq. ft.

Lot width: 60'

Lot depth: 100'

Front setback: 20'

Rear setback: 20'

Side setback (of corner lot): 6' (15')

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25)

feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City's adopted Thoroughfare Plan.

- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the "R-6 (Single-Family Residential district)" in the Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site plan. A site plan, *including building elevations*, shall be submitted to and must be approved by the Development Services Director or their designee prior to the issuance of a building permit for new construction or additions to an existing building, structure, or changes to the site for residential uses in the R-6 District.
 - (b) Floor Area. The total floor area of the main building shall not be less than 1,000 square feet.
 - (c) Building Area. The maximum allowable building area in the R-6 District shall not exceed 45 percent of the gross area of the lot or tract of land.
 - (d) Height Regulations. No building shall exceed 35 feet.
 - (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) *Usable Open Space Requirements. Refer to Section 10.03.008 of the Subdivision Ordinance for open space requirements.*
 - (i) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*
 - (j) *Infill Development. Refer to Subsection 14.04.008 for infill development allowances.*

Sec. 14.02.007 R-5 (Single-Family Residential) District

The R-5 (Single-Family Residential) District is designed to provide for a low density, residential environment for family life on parcels of land smaller and more compact in size, having a minimum lot area of five thousand (5,000) square feet, while limiting the uses to single-family residences and their community services and facilities. This district is generally appropriate with the Suburban Neighborhood or Core Neighborhood Future Land Use categories.

- (1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 5,000 sq. ft.

Lot width: 50'

Lot depth: 100'

Front setback: 20'

Rear setback: 15'

Side setback (of corner lot): 5' (15')

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City's adopted Thoroughfare Plan.

- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the “R-5 (Single-Family Residential) District” in Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site plan. A site plan, *including building elevations*, shall be submitted to and must be approved by the Development Services Director or their designee prior to the issuance of a building permit for new construction or additions to an existing building, structure, or changes to the site for residential uses in the R-5 District.
 - (b) Floor Area. The total floor area of the main building shall not be less than 800 square feet. ~~or greater than 3,000 square feet.~~
 - (c) Building Area. The maximum allowable building area shall not exceed 50 percent of the gross area of the lot or tract of land.
 - (d) Height Regulations. No building shall exceed 35 feet.
 - (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Usable Open Space Requirements. *Refer to Section 10.03.008 of the Subdivision Ordinance for open space requirements. Any contiguous subdivision, including multiple phases, developed with twenty five (25) or more lots shall provide usable open space. Developments with twenty five (25) to forty nine (49) lots shall provide usable open space which equals or exceeds five (5) percent of the gross platted area, excluding rights of way for major thoroughfares. Developments with fifty (50) or more lots shall provide usable open space which equals or exceeds ten (10) percent of the gross platted area, excluding rights of way for major thoroughfares. A contiguous subdivision is defined as: abutting or separated only by a local or collector street to the subdivision. Subdivisions separated by rights of way, drainage or utility easements in excess of sixty (60) feet in width shall not be considered as contiguous.*
 - (i) Architectural and Building Requirements. *Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*
 - (j) Infill Development. *Refer to Subsection 14.04.008 for infill development allowances.*

Sec. 14.02.008 R-4 (Patio Home Residential) District

The R-4 (Patio Home Residential) District is designed to provide for a medium density, residential environment for family life on parcels of land smaller and more compact in size, having a minimum lot area of four thousand (4,000) square feet, while limiting the uses to single-family residences and their community services and facilities. This district is generally appropriate with the Suburban Neighborhood or Core Neighborhood Future Land Use categories.

- (1) Minimum Requirements for Lot Area, Width and Setback.
 - Lot area: 4,000 sq. ft.
 - Lot width: 40’
 - Lot depth: 90’
 - Front setback (front-loaded garage): 20’

Front setback (rear-loaded garage): 10'
Rear setback (front-loaded garage): 15'
Rear setback (rear-loaded garage): 20'
Side setback (of corner lot): 5' (15')

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City's adopted Thoroughfare Plan.
- (b) For lot widths less than 45 feet measured along the front property line, civil plans shall be approved by the Engineering Department prior to final plat submittal to ensure that driveways and curb inlets meet engineering requirements.
- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the "R-4 (Patio Home Residential) District" in Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site Plan. A site plan, *including building elevations*, shall be submitted to and must be approved by the Development Services Director or their designee prior to the issuance of a building permit for new construction or additions to an existing building, structure, or changes to the site for residential uses in the R-4 District.
 - (b) Floor Area. The total floor area of the main building shall not be less than 800 square feet ~~or greater than 2,500 square feet~~.
 1. ~~A Special Exception may be granted by the Board of Adjustment for main buildings exceeding 2,500 square feet, but not exceeding 3,000 square feet. The Special Exception may be granted only if the Board of Adjustment finds that the Special Exception request is not contrary to the public interest, the request does not violate the intent of this subsection or the Comprehensive Plan, and the requested Special Exception would not cause injury to or restrict development on any other parcel of land. In no event shall the number of lots exceeding 2,500 square feet for the main building floor area allowed with a Special Exception exceed 25 percent of the subdivision.~~
 - (c) Building Area. The maximum allowable building area shall not exceed fifty-five (55) percent of the gross area of the lot or tract of land.
 - (d) Height Regulations. No building shall exceed thirty-five (35) feet.
 - (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Usable Open Space Requirements. *Refer to Section 10.03.008 of the Subdivision Ordinance for open space requirements.* ~~Any contiguous subdivision, including multiple phases, developed with twenty-five (25) or more lots shall provide usable open space. Developments with twenty-five (25) to forty-nine (49) lots shall provide usable open space which equals or exceeds five (5) percent of the gross platted area, excluding rights-of-way for major~~

~~thoroughfares. Developments with fifty (50) or more patio homes shall provide usable open space which equals or exceeds ten (10) percent of the gross platted area, excluding rights of way for major thoroughfares. A contiguous subdivision is defined as: abutting or separated only by a local or collector street to the subdivision. Subdivisions separated by rights of way, drainage or utility easements in excess of sixty (60) feet in width shall not be considered as contiguous.~~

- (i) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*
- (j) *Infill Development. Refer to Subsection 14.04.008 for infill development allowances.*

Sec. 14.02.009 R-2F (Duplex Residential) District

The R-2F (Duplex Residential) District is designed to provide for a medium density, duplex residential environment for family life on individual parcels of land smaller and more compact in size, having a minimum lot area of six thousand (6,000) square feet, while limiting the uses to single-family residences and their community services and facilities. Duplex building types are permitted in this district. This district is generally appropriate with the Core Neighborhood Future Land Use category.

(1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: ~~8,000 sq. ft.~~ ~~6,000 sq. ft.~~

Lot width: ~~80' 60'~~

Lot depth: 100'

Front setback: 20'

Rear setback: 20'

Side setback (of corner lot): 6' (15')

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City's adopted Thoroughfare Plan.
- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the "R-2F (Duplex Residential) district" in Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site Plan. A site plan, *including building elevations*, shall be submitted to and must be approved by the Development Services Director or their designee prior to the issuance of a building permit for new construction or additions to an existing building or structure or changes to the site for residential uses in the R-2F District.
 - (b) Floor Area. The total floor area of each dwelling unit shall not be less than 800 square feet.
 - (c) Building Area. The maximum allowable building area shall not exceed fifty-five (55) percent of the gross area of the lot or tract of land.
 - (d) Height Regulations. No building shall exceed 35 feet.
 - (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.

- (g) Screening regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
- (h) Usable Open Space Requirements. *Refer to Section 10.03.008 of the Subdivision Ordinance for open space requirements.* ~~Any contiguous subdivision, including multiple phases, developed with twenty five (25) or more lots shall provide usable open space. Developments with twenty five (25) to forty nine (49) lots shall provide usable open space which equals or exceeds five (5) percent of the gross platted area, excluding rights of way for major thoroughfares. Developments with fifty (50) or more lots shall provide usable open space which equals or exceeds ten (10) percent of the gross platted area, excluding rights of way for major thoroughfares. A contiguous subdivision is defined as: abutting or separated only by a local or collector street to the subdivision. Subdivisions separated by rights of way, drainage or utility easements in excess of sixty (60) feet in width shall not be considered as contiguous.~~
- (i) Architectural and Building Requirements. *Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*
- (j) Infill Development. *Refer to Subsection 14.04.008 for infill development allowances.*

Sec. 14.02.010 R-TH (Townhome Residential) District

The R-TH (Townhome Residential) District is designed to provide for a medium density, attached residential environment for family life on individual parcels of land smaller and more compact in size, having a minimum lot area of two thousand five hundred (2,500) square feet, while limiting the uses to single-family residences and their community services and facilities. Townhome building types are permitted in this district. This district is generally appropriate with the Core Neighborhood Future Land Use category.

(1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 2,500 sq. ft.

~~Lot width (front loaded garage): 25'~~

Lot width (~~rear loaded garage~~): 22'

Lot depth: 100'

~~Front setback (front loaded garage): 20'~~

Front setback (~~rear loaded garage~~): 10'

~~Rear setback (front loaded garage): 15'~~

Rear setback (~~rear loaded garage~~): 20'

Street side setback: 15'

Interior side setback: 6'

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City's adopted Thoroughfare Plan.

- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.

- (3) Permitted Uses. Those uses indicated as being permitted in the "R-TH (Townhome Residential) District" in Subsection 14.10 (Use Chart).

(4) Other Regulations.

- (a) Site Plan. A site plan, *including building elevations*, shall be submitted to and

approved by the Development Services Director or their designee prior to the issuance of a building permit for new construction or additions to an existing building, structure, or changes to the site for residential uses in the R-TH District.

- (b) Floor Area. The total floor area of each dwelling unit shall not be less than 800 square feet.
- (c) Building Area. The maximum allowable building area shall not exceed sixty-five (65) percent of the gross area of the lot or tract of land.
- (d) Height Regulations. No building shall exceed 40 feet.
- (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
- (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
- (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
- (h) Usable Open Space Requirements. *Refer to Section 10.03.008 of the Subdivision Ordinance for open space requirements. ~~Any contiguous subdivision, including multiple phases, developed with twenty-five (25) or more lots shall provide usable open space. Developments with twenty-five (25) to forty-nine (49) lots shall provide usable open space which equals or exceeds five (5) percent of the gross platted area, excluding rights of way for major thoroughfares. Developments with fifty (50) or more lots shall provide usable open space which equals or exceeds ten (10) percent of the gross platted area, excluding rights of way for major thoroughfares. A contiguous subdivision is defined as: abutting or separated only by a local or collector street to the subdivision. Subdivisions separated by rights of way, drainage or utility easements in excess of sixty (60) feet in width shall not be considered as contiguous.~~*
 - (i) Parking Garage. *Shall be located at the rear of the property with access from an alley. No front-facing garages are permitted.*
 - (j) Architectural and Building Requirements. *Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*
 - (k) Infill Development. *Refer to Subsection 14.04.008 for infill development allowances.*

Sec. 14.02.011 MF-15 (Multi-Family Residential) District

The MF-15 (Multi-Family Residential) District is designed to provide for a variety of low intensity multi-family residential including duplexes, townhomes and single-family-for-rent that have multiple dwelling units on one lot. This district is generally appropriate with the Suburban Neighborhood, Core Neighborhood or Technology Hub Future Land Use categories.

(1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 2 acres

Lot width: 85'

Lot depth: 100'

Front setback: 25'

Rear setback: 25'

Side setback: 25'

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway,

Major Arterial, Minor Arterial or Collector as set forth in the City’s adopted Thoroughfare Plan.

- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the “MF-15 (Multi-Family Residential) District” in Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site Plan. A site plan, *including building elevations and a landscaping plan*, shall be submitted to and must be approved by the Planning and Zoning Commission prior to the issuance of a building permit for new construction or additions to an existing building, structure, or changes to the site for multi-family residential use in the MF-15 District.
 - (b) Floor Area. The total floor area of any dwelling unit shall not be less than 800 square feet.
 - (c) Building Area. The maximum allowable building area shall not exceed fifty (50) percent of the gross area of the lot or tract of land.
 - (d) Height Regulations. No building shall exceed 35 feet.
 - (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Maximum Density. Fifteen (15) dwelling units per net acre.
 - (i) Minimum Building Separation. A minimum building separation between all buildings on the lot shall be ten (10) feet.
 - (j) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*
 - (k) *Infill Development. Refer to Subsection 14.04.008 for infill development allowances.*
 - (l) *Usable Open Space Requirements. Refer to Section 10.03.008 of the Subdivision Ordinance for open space requirements.*

Sec. 14.02.012 MF-30 (Multi-Family Residential) District

The MF-30 (Multi-Family Residential) District is designed to provide for a variety of medium to high intensity multi-family residential. In addition to the general purposes applying to all residential districts, the regulations of this district are designed to encourage the provision of conveniently located, centrally maintained rental accommodations. This district is generally appropriate with the Suburban Neighborhood, Core Neighborhood Future or Technology Hub Land Use categories.

- (1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 5 acres

Lot width: 85’

Lot depth: 100’

Front setback: 25’

Rear setback: 25’

Side setback: 25’

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway,

Major Arterial, Minor Arterial or Collector as set forth in the City’s adopted Thoroughfare Plan.

- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the “MF-30 (Multi-Family Residential) District” in Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site Plan. A site plan, *including building elevations and a landscaping plan*, shall be submitted to and must be approved by the Planning and Zoning Commission prior to the issuance of a building permit for new construction or additions to an existing building or structure or changes to the site for multi-family residential use in the MF-30 District.
 - (b) Residential Building Setback. Forty (40) feet from any R (residential) zoned property.
 - (c) Building Area. The maximum allowable building area in the MF-30 District shall not exceed fifty (50) percent of the gross area of the lot or tract of land.
 - (d) Height Regulations. No building shall exceed 50 feet.
 - (e) Parking regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Maximum Density. Thirty (30) dwelling units per net acre.
 - (i) Minimum Building Separation. A minimum building separation between all buildings on the lot shall be ten (15) feet.
 - (j) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*
 - (k) *Infill Development. Refer to Subsection 14.04.007 for infill development allowances.*
 - (l) *Usable Open Space Requirements. Refer to Section 10.03.008 of the Subdivision Ordinance for open space requirements.*

Sec. 14.02.013 MH (Manufactured Housing) District

The MH (Manufactured Housing) district is intended to provide for accommodations for a specific form of housing, the manufactured home. To provide appropriate standards for density, spacing and use, a separate district is created and designated for the specific purpose of providing, at appropriate locations, areas for the development of manufactured home parks and subdivisions. This district is generally appropriate with the Suburban Neighborhood or Core Neighborhood Future Land Use categories.

- (1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 3,600 sq. ft.

Lot width: 60’

Lot depth: 60’

Front setback: 25’

Rear setback: 10’

Side setback: 10’

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway,

Major Arterial, Minor Arterial or Collector as set forth in the City’s adopted Thoroughfare Plan.

- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the “MH (Manufactured Housing) District” in Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site Plan. A site plan, *including building elevations and a landscaping plan*, for a new manufactured home park or manufactured home subdivision shall be submitted to and must be approved by the Planning and Zoning Commission prior to the issuance of a building permit for new construction for residential use in the MH District.
 - (b) Addition Setback Regulation. No buildings or structures shall be permitted within twenty-five (25) feet of a boundary of a Manufactured Home Park or Manufactured Home Subdivision.
 - (c) Area Regulation. The minimum site area which may be developed or used for a manufactured home park or subdivision shall be ten (10) acres.
 - (d) Height regulations. No building shall exceed 35 feet.
 - (e) Parking regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Utility Regulations. Water and sewer service shall be provided for each lot or manufactured home within the district.
 - (i) Usable Open Space Requirements. Any development with twenty-five (25) or more lots/units shall provide usable open space. Developments with twenty-five (25) to forty-nine (49) lots/units shall provide usable open space which equals or exceeds five (5) percent of the gross platted area, excluding rights-of-way for major thoroughfares. Developments with fifty (50) or more lots/units shall provide usable open space which equals or exceeds ten (10) percent of the gross platted area, excluding rights-of-way for major thoroughfares.
 - (j) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*

Sec. 14.02.014 C-N (Neighborhood Commercial) District

The C-N (Neighborhood Commercial) district is designed for a limited range of service and light retail land uses and is located at intersections of thoroughfares in the vicinity of residential neighborhoods. This district is generally appropriate with the Suburban Neighborhood, Core Neighborhood, Community Commercial or Downtown Future Land Use categories.

- (1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 10,000 SF
Lot width: 50’
Front setback: 25’
Rear setback: 25’
Side setback: 0’

 - (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway,

Major Arterial, Minor Arterial or Collector as set forth in the City’s adopted Thoroughfare Plan.

- (b) Where lots in the C-N District are abutting a residential district, the side or rear setback shall not be less than twenty-five (25) feet.
- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the “C-N (Neighborhood Commercial) District” in Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site Plan. A site plan, *including building elevations and a landscaping plan*, shall be submitted to and must be approved by the Planning and Zoning Commission prior to the issuance of a building permit for new construction or additions to an existing building or structure or changes to the site for commercial use in the C-N District.
 - (b) Floor Area. The total floor area of any building or buildings on a lot in the C-N District shall not exceed two-fifths of the total number of square feet in the lot (FAR to not exceed 0.4).
 - (c) Building Area. The maximum allowable building area in the C-N District shall not exceed 40 percent of the gross area of the lot or tract of land.
 - (d) Height Regulations. No building shall exceed 35 feet.
 - (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening Regulations: Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Loading docks. Freight docks, service bays, loading docks, truck berths and heavy storage areas shall be screened from all abutting uses, except when the abutting use is determined to be of equal or greater intensity. The aforementioned areas shall be screened from all thoroughfares.
 - (i) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*

Sec. 14.02.015 C-O (Office) District

The C-O (Office) district consists of land occupied by or suitable for a wide range of general office activities. This district is generally appropriate with the Regional Commercial, Community Commercial or Downtown Future Land Use categories.

- (1) Minimum Requirements for Lot Area, Width and Setback.
 - Lot area: 10,000 SF
 - Lot width: 50’
 - Front setback: 25’
 - Rear setback: 25’
 - Side setback: 15’
- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial, or Collector as set forth in the City’s adopted Thoroughfare Plan.
- (b) Where lots in the C-O District abut a residential district, the side or rear yard setback shall not be less than forty (40) feet.

- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the “C-O (Office) District” in Subsection 14.10 (Use Chart).
- (4) Other required conditions.
 - (a) Site Plan. A site plan, *including building elevations and a landscaping plan*, shall be submitted to and must be approved by the Planning and Zoning Commission prior to the issuance of a building permit for new construction or additions to an existing building or structure or changes to the site for office uses in the C-O District.
 - (b) Floor Area. The total floor area of any building or buildings on a lot in the C-O District shall not exceed the total number of square feet in the lot (FAR to not exceed 1.0).
 - (c) Building Area. The maximum allowable building area in the C-O District shall not exceed 50 percent of the gross area of the lot or tract of land.
 - (d) Height regulations. No building shall exceed 50 feet.
 - (e) Parking regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Loading docks. Freight docks, service bays, loading docks, truck berths and heavy storage areas shall be screened from all abutting uses, except when the abutting use is determined to be of equal or greater intensity. The aforementioned areas shall be screened from all thoroughfares.
 - (i) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*

Sec. 14.02.016 C-1 (Retail Business) District

The C-1 (Retail Business) district consists of land occupied by or suitable for neighborhood shopping facilities for the retailing of “convenience goods” and the furnishing of certain personal services to satisfy most of the daily needs of the adjacent residential neighborhood. This district is generally appropriate with the Core Neighborhood, Regional Commercial, Community Commercial or Downtown Future Land Use categories.

- (1) Minimum Requirements for Lot Area, Width and Setback.
 - Lot area: 10,000 SF
 - Lot width: 50’
 - Front setback: 25’
 - Rear setback: 25’
 - Side setback: 15’
 - (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City’s adopted Thoroughfare Plan.
 - (b) Where lots in the C-1 District abut a residential district, the side or rear yard setback shall not be less than forty (40) feet.
- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.

- (3) Permitted Uses. Those uses indicated as being permitted in the “C-1 (Retail Business) District” in Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site Plan. A site plan, *including building elevations and a landscaping plan*, shall be submitted to and must be approved by the Planning and Zoning Commission prior to the issuance of a building permit for new construction or additions to an existing building or structure or changes to the site for commercial uses within the C-1 District.
 - (b) Floor Area. The total floor area of any building or buildings on a lot in the C-1 District shall not exceed one-half of the total number of square feet in the lot (FAR to not exceed 0.5).
 - (c) Building Area. The maximum allowable building area in the C-1 District shall not exceed 50 percent of the gross area of the lot or tract of land.
 - (d) Height Regulations. No building shall exceed 50 feet.
 - (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Loading docks. Freight docks, service bays, loading docks, truck berths and heavy storage areas shall be screened from all abutting uses, except when the abutting use is determined to be of equal or greater intensity. The aforementioned areas shall be screened from all thoroughfares.
 - (i) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*

Sec. 14.02.017 C-2 (General Commercial) District

The C-2 (General Commercial) district consists of land occupied by or suitable for a wide range of retail and wholesale activities. Land in this district is located along major highways and in the vicinity of industrial areas. The C-2 District regulations are designed to permit development of the enumerated functions and to provide space for commercial uses which are generally not appropriate for retail business districts. This district is generally appropriate with the Regional Commercial Future Land Use category.

- (1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 10,000 SF

Lot width: 50’

Front setback: 25’

Rear setback: 25’

Side setback: 15’

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City’s adopted Thoroughfare Plan.
- (b) Where lots in the C-2 District abut a residential district, the side or rear yard setback shall not be less than sixty (60) feet.
- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.

- (3) Permitted Uses. Those uses indicated as being permitted in the “C-2 (General Commercial) District” in Subsection 14.10 (Use Chart).
- (4) Other Regulations.
 - (a) Site Plan. A site plan, *including building elevations and a landscaping plan*, shall be submitted to and must be approved by the Planning and Zoning Commission prior to the issuance of a building permit for new construction or additions to an existing building or structure or changes to the site for commercial uses within the C-2 District.
 - (b) Floor Area. The total floor area of any building or buildings on a lot in the C-2 District shall not exceed one-half of the total number of square feet in the lot (FAR to not exceed 0.5).
 - (c) Building Area. The maximum allowable building area in the C-2 District shall not exceed 50 percent of the gross area of the lot or tract of land.
 - (d) Height Regulations. No building shall exceed 35 feet.
 - (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Loading docks. Freight docks, service bays, loading docks, truck berths and heavy storage areas shall be screened from all abutting uses, except when the abutting use is determined to be of equal or greater intensity. The aforementioned areas shall be screened from all thoroughfares.
 - (i) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*

Sec. 14.02.018 M-1 (Light Manufacturing) District

The M-1 (Light Manufacturing) district is designed to provide land for manufacturing and industrial activities subject to limitations intended to protect nearby residential and commercial districts and to protect the permitted uses from one another. Manufacturing District M-1 consists of areas occupied by or suitable for manufacturing, wholesale and other industrial activities, all of a non-nuisance type. This district is generally appropriate with the Technology Hub Future Land Use category.

- (1) Minimum Requirements for Lot Area, Width and Setback.
 - Lot area: 1/2 acre
 - Lot width: 85’
 - Front setback: 40’
 - Rear setback: 25’
 - Side setback: 25’
 - (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City’s adopted Thoroughfare Plan.
 - (b) When abutting a residential district, the side or rear setback shall be not less than sixty (60) feet.
- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted uses. Those uses indicated as being permitted in the “M-1 (Light

manufacturing) district” in Subsection 14.10 (Use Chart).

(4) Other Regulations.

- (a) Site Plan. A site plan, *including building elevations and a landscaping plan*, shall be submitted to and must be approved by the Planning and Zoning Commission prior to the issuance of a building permit for new construction or additions to an existing building or structure or changes to the site for manufacturing use in the M-1 District.
- (b) Floor Area. The floor area of any building or buildings on a lot in an M-1 District shall not exceed one and one-half times the number of square feet in the lot (FAR to not exceed 1.5).
- (c) Impervious Cover. The maximum allowable impervious cover shall not exceed 80 percent of the total lot. Impervious cover shall include all roads, driveways, parking areas, buildings, concrete walkways and other impermeable construction covering the natural land surface on the lot.
- (d) Height Regulation. No building or structure shall exceed 100 feet.
- (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
- (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
- (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
- (h) Loading docks. Freight docks, service bays, loading docks, truck berths and heavy storage areas shall be screened from all abutting uses, except when the abutting use is determined to be of equal or greater intensity. The aforementioned areas shall be screened from all thoroughfares.
- (i) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*

Sec. 14.02.019 M-1.5 (Medium Manufacturing) District

The M-1.5 (Medium Manufacturing) district consists of areas occupied by or suitable for manufacturing and industrial activities whose generator of nuisance effects is ordinarily greater than that of industries permitted in the M-1 District. Zoning or rezoning to this classification will not be permitted after December 5, 2022.

(1) Minimum Requirements for Lot Area, Width and Setback.

Lot area: 1/2 acre

Lot width: 85’

Front setback: 40’

Rear setback: 25’

Side setback: 25’

- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City’s adopted Thoroughfare Plan.
 - (b) When abutting a residential district, the side or rear yard shall be not less than sixty (60) feet.
- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the “M-1.5 (Medium Manufacturing) District” in Subsection 14.10 (Use Chart).

- (4) Other Regulations.
- (a) Site Plan. A site plan, *including building elevations and a landscaping plan*, shall be submitted to and must be approved by the Planning and Zoning Commission prior to the issuance of a building permit for new construction or additions to an existing building or structure or changes to the site for manufacturing use in the M-1 District.
 - (b) Floor area. The floor area of any building or buildings on a lot in an M-1.5 District shall not exceed one and one-half times the number of square feet in the lot (FAR to not exceed 1.5).
 - (c) Impervious Cover. The maximum allowable impervious cover shall not exceed 80 percent of the total lot. Impervious cover shall include all roads, driveways, parking areas, buildings, concrete walkways and other impermeable construction covering the natural land surface on the lot.
 - (d) Height Regulation. No building or structure shall exceed 150 feet.
 - (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
 - (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
 - (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
 - (h) Loading docks. Freight docks, service bays, loading docks, truck berths and heavy storage areas shall be screened from all abutting uses, except when the abutting use is determined to be of equal or greater intensity. The aforementioned areas shall be screened from all thoroughfares.
 - (i) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*

Sec. 14.02.020 M-2 (Heavy Manufacturing) District

Manufacturing District M-2 consists of areas occupied by or suitable for manufacturing and industrial activities whose generator of nuisance effects is ordinarily greater than that of industries permitted in the M-1 District. This district is generally appropriate with the Technology Hub Future Land Use category.

- (1) Minimum Requirements for Lot Area, Width and Setback.
 Lot area: 1 acre
 Lot width: 150'
 Front setback: 40'
 Rear setback: 25'
 Side setback: 25'
- (a) Thoroughfare Street Setback. No building, structures, awnings, canopies, porches or other improvements shall be built or installed within twenty-five (25) feet of the property line facing any thoroughfare street defined as a Highway, Major Arterial, Minor Arterial or Collector as set forth in the City's adopted Thoroughfare Plan.
 - (b) When abutting a residential district, the side or rear yard shall be not less than seventy-five (75) feet.
- (2) See Section 14.04.001 (Setback Encroachments) for encroachment allowances into the required setbacks.
- (3) Permitted Uses. Those uses indicated as being permitted in the "M-2 (Heavy Manufacturing) District" in Subsection 14.10 (Use Chart).
- (4) Other Regulations.

- (a) Site Plan. A site plan, *including building elevations and a landscaping plan*, shall be submitted to and must be approved by the Planning and Zoning Commission prior to the issuance of a building permit for new construction or additions to an existing building or structure or changes to the site for manufacturing use in the M-2 District.
- (b) Floor Area. The floor area of any building or buildings on a lot in an M-2 District shall not exceed one and one-half times the number of square feet in the lot (FAR to not exceed 1.5).
- (c) Impervious Cover. The maximum allowable impervious cover shall not exceed 80 percent of the total lot. Impervious cover shall include all roads, driveways, parking areas, buildings, concrete walkways and other impermeable construction covering the natural land surface on the lot.
- (d) Height Regulation. No building or structure shall exceed 150 feet.
- (e) Parking Regulations. Refer to Subsection 14.04.003 for parking regulations.
- (f) Landscaping Requirements. Refer to Subsection 14.04.006 for landscaping requirements.
- (g) Screening Regulations. Refer to Subsection 14.04.004 for fences and screening regulations.
- (h) Loading docks. Freight docks, service bays, loading docks, truck berths and heavy storage areas shall be screened from all abutting uses, except when the abutting use is determined to be of equal or greater intensity. The aforementioned areas shall be screened from all thoroughfares.
- (i) *Architectural and Building Requirements. Refer to Subsection 14.04.007 for requirements for architectural and building material standards.*

...

ARTICLE 14.04 SUPPLEMENTARY DISTRICT REGULATIONS

...

Sec. 14.04.007 Architectural and Building Requirements.

- (a) Purpose. *The purpose of this section is to set forth the minimum standards for the appearance of single-family residential (attached or detached), multi-family residential, and non-residential buildings. These standards are intended to enhance property values and promote the City's general welfare. They are not intended to restrict architectural creativity or require adherence to specific architectural styles or concepts.*
- (b) Architectural Diversity Standards.
 - (1) *For the purposes of this section, the following words shall be interpreted to mean as follows:*
 - (A) *“Adjacent lots” means lots that adjoin or share side property lines or lots in which, although separated by a street, front property lines overlap another by more than 30 percent.*
 - (B) *“Streetscape” means the facades of single-family dwellings on both sides of a street. The length of a streetscape shall be limited to no more than 20 lots per side of street.*
 - (2) *No two single-family dwellings of similar front elevation or facade shall be constructed or located on adjacent lots; nor shall there be constructed or located single-family dwellings of similar front elevation or facade constituting more than 20 percent of the single-family dwellings in any streetscape. Front*

elevations or facades shall be deemed to be similar when there is no substantial difference in roof lines; and no substantial change in windows of either size, location or type; and either no change in the color of materials used (rather than a change in shade), or no substantial change in the kind of materials. The examples of similarity or dissimilarity set forth in this section are not intended to categorize all dwelling designs which may be presented to the Building Official.

(A) Roof Lines.

(i) For the purpose of this section, the following differences in the roof lines of single-family dwellings as seen from the front of the dwelling shall be deemed sufficient to render buildings containing such changes and built on adjacent lots to be dissimilar:

- a. Changing gable roofs to hip roofs;*
- b. Changing hip roofs to gable roofs;*
- c. Providing an intersecting gable roof on the main gable roof, provided that the height of the intersection roof is at least 50 percent of the height of the main roof;*
- d. Providing an intersecting hip roof on the main hip roof; provided that, the height of the intersecting hip roof is at least 50 percent of the height of the main roof;*
- e. Subject to review by the Building Official, a shed roof, when used as a front porch roof for a minimum of 50 percent of the entire width of the house, excluding area of garage;*
- f. Subject to review by the Building Official, a substantial difference in roof line shall be deemed to exist if the front soffit is increased significantly and is combined with columns at least six inches in width or other architectural features of a similar magnitude which reach the roof line of the highest story; and*
- g. Rotating gable roofs 90 degrees on the building.*

(B) The following changes shall not be deemed sufficient to make adjacent structures dissimilar:

- (i) Gable roof atop hip roof;*
- (ii) Hip roof atop gable roof;*
- (iii) Small gable or hip projections above windows;*
- (iv) Window dormers;*
- (v) Change in soffit overhang or minor variation in eave height; and*
- (vi) Skylight and cupola.*

(C) Windows.

(i) For the purpose of this section, the following differences in the size, location or type of windows shall be deemed sufficient to render buildings containing such changes and built on adjacent lots to be dissimilar:

- a. Changing from single windows to a multiple window arrangement (ganged units);*
- b. Changing from multiple window arrangement to single window;*

- c. *Changing the type of windows (e.g., casement to double hung); and*
 - d. *Providing a bay or bow window in the area of the predominant window.*
 - (ii) *The following change shall not be deemed sufficient to constitute a substantial change in windows: The addition or subtraction of muntin bars (dividing lights).*
 - (iii) *Where, because of its size, location or design, one window is the predominant window on the front elevation or facade, if the size, location or type of that window is changed to render the dwelling dissimilar, then no other window need be changed.*
- (D) *Construction Material or Color.*
 - (i) *For the purpose of this section, the following differences in construction material between adjacent single-family dwellings as seen from the front of the dwellings shall be deemed sufficient to render buildings containing such changes and built on adjacent lots to be dissimilar.*
 - a. *Brick facing;*
 - b. *Stone facing; and*
 - c. *Stucco facing.*
 - (ii) *When materials are changed, the change must occur throughout the front facade or elevation for a minimum of one story in height.*
 - (iii) *Color change shall be made by significant changes in adjacent colors. The change must be one of color rather than merely of the shade.*
- (3) *Single-family dwellings shall be required to provide at least three (3) of the following architectural elements:*
 - (A) *100 percent of each elevation is finished with masonry materials including, but not limited to, brick, stone, synthetic stone, but excluding stucco;*
 - (B) *The front façade contains two types of complementary masonry materials, excluding stucco, with each of the materials being used on at least 25 percent of the front façade;*
 - (C) *A minimum of 10 percent of the dwelling's front façade features patterned brick work, excluding soldier or sailor brickwork provided in association with a door or window;*
 - (D) *No pitched roof plane with a horizontal length longer than 20 feet exists;*
 - (E) *The dwelling only features one-car garage doors that have a carriage style design. These doors typically feature vertical slats, high windows, antiqued hardware, and additional detailing to give the appearance of swinging or sliding doors;*
 - (F) *The dwelling chimney is finished on all sides with 100 percent masonry finishing materials (excluding stucco);*
 - (G) *A minimum of three offsets in the front façade measuring at least two feet deep are provided or a minimum of one offset in the front façade measuring at least five feet is provided.*
 - (H) *The dwelling features an articulated front entrance through the use of lintels, pediments, keystones, pilasters, arches, columns, or other*

- similar architectural elements;*
- (I) *A covered front porch which is at least 100 square feet in area is provided;*
 - (J) *A covered back porch which is at least 200 square feet in area is provided;*
 - (K) *At least one dormer is provided for each roof plane over 500 square feet in area that faces a public street. The dormer must be appropriately scaled for the roof plane and shall not be wider than the windows on the building elevation below;*
 - (L) *All windows facing a street feature shutters. The shutters provided must be operational or appear operational and must be in scale with the corresponding window; or*
 - (M) *All ground level mechanical, heating, ventilation, and air conditioning equipment opaque screening device that is at least six feet tall.*
- (4) *Multi-family buildings shall be required to provide at least four (4) of the following architectural elements:*
- (A) *100 percent of each elevation is finished with masonry materials including, but not limited to, brick, stone, synthetic stone, but excluding stucco;*
 - (B) *Awnings/canopies;*
 - (C) *Balconies (a minimum of twenty-five (25) square feet in size);*
 - (D) *Dormers;*
 - (E) *Offsets within each building (minimum of twenty (20) feet to receive credit);*
 - (F) *Porches, recessed or projecting (a minimum of twenty-five (25) square feet in size);*
 - (G) *Stoops (a minimum of two (2) feet tall by four (4) feet wide);*
 - (H) *Varied roof height in building (minimum ten (10) foot difference).*
- (c) Exterior Finishing Materials.
- (1) Single-Family Requirements.
 - (A) Front Elevation. *100% of this elevation shall be finished with masonry materials including, but not limited to, brick, stone, synthetic stone, or stucco: however, no more than 50 percent of this elevation shall be finished with stucco.*
 - (B) Side Elevation. *75% of this elevation shall be finished with masonry materials including, but not limited to, brick, stone, synthetic stone, or stucco; however, no more than 50% of this elevation shall be finished with stucco. The remaining 25 percent may be finished with wood lap siding, vinyl siding, cast concrete modular siding, or EIFS. Sheet siding fabricated to look like wood lap siding is prohibited.*
 - (C) Rear Elevation. *50% of this elevation shall be finished with masonry materials including, but not limited to, brick, stone, synthetic stone or stucco. The remaining 50% may be finished with wood lap siding, vinyl siding, cast concrete modular siding, or EIFS. Sheet siding fabricated to look like wood lap siding is prohibited.*
 - (D) Walls Above the Roof Line. *Walls provided in conjunction with an architectural element located above the roof line (example: walls for dormers) may only be finished with brick, stone, synthetic stone, stucco, wood lap siding, vinyl siding, cast concrete modular siding, or EIFS.*

- Sheet siding fabricated to look like wood lap siding is prohibited.*
- (E) *Calculation of Percentages. The percentages set forth above are calculated exclusive of doors and windows.*
- (2) *Multifamily Requirements.*
- (A) *The first story of every multifamily building including accessory buildings shall have 100 percent masonry exclusive of doors and windows. The second story and above may use masonry, three-phase stucco/plaster, and/or cementitious siding/Hardie-board siding exclusive of doors and windows.*
- (B) *EIFS or architecturally finished metal materials, not including corrugated metal, shall not be allowed on more than 20 percent of each elevation.*
- (C) *Wood and/or vinyl siding are not permitted as an exterior finishing material.*
- (D) *The following materials are allowed for roofs:*
- (i) *Asphalt shingles;*
- (ii) *Industry-approved synthetic shingles;*
- (iii) *Standing seam metal;*
- (iv) *Clay, concrete, or slate tile; and*
- (v) *Flat roofs that include a parapet screening and feature a well-defined cornice treatment*
- (E) *Aluminum siding or cladding, galvanized steel, or other bright metal, wood or plastic siding, cementitious siding, unfinished concrete block, exposed aggregate, wood roof shingles and reflective glass are all prohibited as roofing materials.*
- (3) *Non-Residential Requirements.*
- (A) *All buildings shall have 100 percent masonry on the elevations or facades facing a public street exclusive of doors and windows. Acceptable masonry finishing materials are brick, stone and/or cast stone, including slate, flagstone, granite, limestone, and marble.*
- (B) *Rear and side elevations or facades not facing a public street may be constructed with masonry, three-phase stucco/plaster, and/or cementitious siding/Hardie-board siding.*
- (C) *EIFS or architecturally finished metal materials, not including corrugated metal, shall be allowed on the rear and side elevations, but no more than 50 percent of the front or side elevation facing a public street.*
- (D) *Wood or vinyl siding is not permitted as an exterior finishing material.*
- (E) *The following materials are allowed for roofs:*
- (i) *Asphalt shingles;*
- (ii) *Industry-approved synthetic shingles;*
- (iii) *Standing seam metal;*
- (iv) *Clay, concrete, or slate tile;*
- (v) *Flat roofs that include a parapet screening and feature a well-defined cornice treatment*
- (F) *Aluminum siding or cladding, galvanized steel, or other bright metal, wood or plastic siding, cementitious siding, unfinished concrete block, exposed aggregate, wood roof shingles and reflective glass are all prohibited as roofing materials.*

Sec. 14.04.008 Infill Development.

- (a) Purpose. *The purpose of this section is to encourage responsible growth within the City by supporting infill development on vacant or underused lots or parcels of land in existing neighborhoods. This section intends to make better use of existing roads, utilities, and public services while helping to create more housing opportunities. Infill development should fit the character of the surrounding area and support safe, walkable, and connected communities. This section provides clear guidelines to help ensure new development improves the quality of life for current and future residents.*
- (b) *For purposes of this section, the following words shall be interpreted to mean as follows:*
 - (1) *“Fire protection” means the implementation of infrastructure and access necessary to support fire prevention and emergency response. This includes the proper installation and spacing of fire hydrants with sufficient water supply and pressure, as well as the construction of access roads that are adequately wide, load-bearing, and navigable for fire and emergency vehicles.*
 - (2) *“Streetscape” means the facades of single-family dwellings on both sides of a street. The length of a streetscape shall be limited to no more than 20 lots per side of street.*
- (c) Applicability. *This section applies to any vacant lot or parcel of land in which: (1) at least 80 percent of the land within a 300-foot radius of the boundaries of the subject lot or parcel is built out and occupied, and of the land within that 300-foot radius, Grayson County Central Appraisal District records show that at least 80 percent of the existing, primary structures were completed more than 15 years before the date of application for infill development; (2) streets and fire protection are provided; (3) the zoning district applicable to the vacant lot or parcel is MF-30, R-6, R-5, or R-4; and (4) the vacant lot or parcel does not exceed 12,000 square feet in area.*
- (d) General Standards.
 - (1) *The Director may administratively approve modifications to the land use, minimum lot area, lot width and setback requirements if the modifications are consistent with the as-built standards prevalent along the streetscape. However, in no event shall any approved modification be less restrictive or more intensive than the standards set forth in the R-4 (Patio home) Residential District, Section 14.02.008.*
 - (2) *Architectural and Building Requirements. The standards set forth in Section 14.04.007 do not apply; however, new buildings shall be constructed to be consistent with the architectural design and building materials prevalent along the streetscape.*
 - (3) *Parking Garage Exemption. Garage parking required under Section 14.04.003(c)(2)(A) may be waived by the Director if more than 50 percent of the homes within the streetscape do not have garages.*
 - (4) *The vacant lot or parcel on which any building is to be constructed under this section is part of a plat of record, approved by the City and filed for record with the County Clerk.*
 - (5) *Plat Exemption. A building permit may be issued before a plat is recorded for the vacant lot or parcel on which any building is to be constructed under this section, in accordance with Section 14.06.002, provided that a preliminary plat has been approved no earlier than 2 years before the date of issuance of the building permit and a final plat is recorded before any certificate of occupancy*

is issued.

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ARTICLE 14.06 DEVELOPMENT PROCEDURES

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Sec. 14.06.004 Site Plan Requirements

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(b) General standards.

- ~~(1) A site plan is a plan of development drawn to scale indicating:~~
- ~~(A) The location and arrangement of buildings on the subject property.~~
 - ~~(B) Building setbacks and yards.~~
 - ~~(C) Landscaping and/or walls and fences for screening purposes.~~
 - ~~(D) Off-street parking and loading areas and design of ingress and egress to and from abutting streets.~~
 - ~~(E) Zoning of adjacent property.~~
 - ~~(F) The location of screened trash receptors.~~
 - ~~(G) Fire lanes.~~
 - ~~(H) When required, a site tabulation table including:~~
 - ~~(i) Gross square feet of each structure.~~
 - ~~(ii) Gross square feet of property.~~
 - ~~(iii) Required parking.~~
 - ~~(iv) Parking provided.~~
 - ~~(v) Current zoning.~~
 - ~~(vi) Proposed zoning.~~
 - ~~(vii) Hard surface/impervious area (square feet).~~
 - ~~(viii) Landscaped area (square feet).~~
 - ~~(ix) Floor to area ratio (FAR).~~

(1) A site plan is a set of development plans drawn to scale including:

- (A) Site Plan:*
- (i) The location and arrangement of buildings on the subject property.*
 - (ii) Building setbacks, yards, and easements.*
 - (iii) Off-street parking and loading areas and design of ingress and egress to and from abutting streets.*
 - (iv) Zoning of adjacent property.*
 - (v) The location of screened trash receptors.*
 - (vi) Fire lanes and the location of fire department connections (FDCs).*
 - (vii) A site table indicating the following:*
 - a. Gross square feet of each structure.*
 - b. Gross square feet of property.*
 - c. Required parking.*
 - d. Parking provided.*
 - e. Current zoning.*
 - f. Proposed zoning.*

- g. *Hard surface/impervious area (square feet).*
 - h. *Landscaped area (square feet).*
 - i. *Floor-to-area ratio (FAR).*
- (B) *Landscaping Plan compliant with Subsection 14.04.006:*
- (i) *The location and arrangement of buildings on the subject property.*
 - (ii) *The location and arrangement of tree plantings on the site.*
 - (iii) *Off-street parking and loading areas and design of ingress and egress to and from abutting streets.*
 - (iv) *Public and private sidewalks.*
 - (v) *Planting schedule including a list of proposed shade and ornamental trees.*
 - (vi) *Landscape buffers.*
 - (vii) *A site table indicating the following:*
 - a. *Gross square feet of property.*
 - b. *Landscaped area (square feet).*
 - c. *Hard surface/impervious area (square feet).*
 - d. *Required tree mitigation (caliper inches).*
 - e. *Provided tree plantings (caliper inches).*
- (C) *Building Elevations Plan compliant with Subsection 14.04.007:*
- (i) *2-Dimensional drawing demonstrating the elevation of each wall face for each proposed building on the site.*
 - (ii) *Elevations may be drawn in color or grayscale.*
 - (iii) *The building height measured from the floor to the highest point of the structure for each elevation.*
 - (iv) *Color of the building materials shall be included as required by ordinance.*
 - (v) *Building materials shall be indicated.*
 - (vi) *A table indicating the following:*
 - a. *Required architectural features included as required by ordinance.*
 - b. *Percentage of building materials as required by ordinance.*

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ARTICLE 14.08 DEFINITIONS

Sec. 14.08.001 **Definitions.**

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Dwelling, townhome. A single-family dwelling with a single-unit structure in a row of at least three (3) or more such units in which each unit has its own access to the outside, no unit is located over another, each is separated from any other unit by one (1) or more common fire-resistant walls, and each unit is on an individually platted lot. *Every common wall shall consist of a minimum of 80 percent of the side wall of each abutting unit.*

...”

SECTION 4: Open Meeting. The meeting at which this Ordinance was introduced

and passed was open to the public and that public notice of the time, place and purpose of said meeting was given all as required by law.

SECTION 5: Penalty. Any person, firm, corporation or entity violating any provision of this Ordinance or the Zoning Ordinance, as they exist or may be amended, shall be deemed guilty of a misdemeanor, and on conviction thereof, shall be fined in an amount not exceeding TWO THOUSAND AND NO/100 DOLLARS (\$2,000.00) or the highest amount allowed under applicable law, whichever is lowest. A violation of any provision of this Ordinance shall constitute a separate violation for each calendar day in which it occurs. Allegation and evidence of a culpable mental state is not required for proof of any offense defined in this Ordinance. The penal provisions imposed under this Ordinance shall not preclude Sherman from filing suit to enjoin the violation. Sherman retains all legal rights and remedies available to it pursuant to local, state and federal law.

SECTION 6: Severability. Should any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional and/or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof, regardless of whether any one or more sections, subsections, sentences, clauses or phrases is declared unconstitutional and/or invalid.

SECTION 7: Repealing/Savings. The Zoning Ordinance shall remain in full force and effect, save and except as amended by this or any other Ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict, but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

SECTION 8: Effective Date; Publication. This Ordinance shall become effective from and after its adoption and publication as required by law. The City Clerk is directed to publish the caption of this Ordinance as required by law.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF SHERMAN, TEXAS on this ____ day of _____, 2025.

SHAWN TEAMANN, MAYOR

ATTEST:

ACTING CITY CLERK

**APPROVED AS TO FORM:
ABERNATHY, ROEDER,
BOYD & HULLETT, P.C.**

RYAN D. PITTMAN, CITY ATTORNEY



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 22.

Meeting Date: 9/16/2025

Prepared By:

Approved By:

Requested Action/Proposed Use:

ADJOURNMENT

Background:

Origination:

Staff Recommendation:

Attachments:

None

