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**AGENDA**

The Planning and Zoning Commission and Board of Adjustment of the City of Sherman will hold a regular meeting May 19, 2026, at 5 p.m. in the City Council Chambers at 220 W. Mulberry to consider the following:

1. **CALL TO ORDER**
2. **APPROVE MINUTES OF THE REGULAR APRIL 21, 2026, PLANNING AND ZONING COMMISSION AND BOARD OF ADJUSTMENT MEETING**
3. **ANNOUNCEMENTS**
4. **CITIZEN COMMENTS**

During this meeting, the Planning and Zoning Commission and Board of Adjustment welcomes public comment **only** on agenda items listed under the Open Meeting portion of the agenda, in accordance with Texas Government Code Section 551.007. For items not listed on the agenda, those matters may be discussed with City staff during regular business hours by contacting them at times other than at Planning and Zoning Commission meetings. There will also be an opportunity to speak regarding any of the public hearing items on the agenda when that item is presented.

**Open Public Hearing**

5. **CONSENT AGENDA (ITEMS 6, 7, 8, 9, 10, 11, 12, 13 AND 14)**  
Asterisked (\*) items are considered to be routine and non-controversial items. These items will be enacted in one motion without discussion unless a Commission Member or a member of the audience requests a specific item be discussed and voted on separately prior to a motion and vote.
6. **\* 606 EAST LAMBERTH ROAD (PROJECT NO. 000358-2026)**  
The request of Stanley V. Graff (Owner), Joel Vitela (Applicant), and Texas Heritage Surveying, LLC (Surveyor) concerning the property located at 606 East Lamberth Road, consisting of 1.990 acres, being Lots 2 & 3, Block 4, Dr. J.H. Carraway's Sub-Division, in the J.B. McAnair Survey, Abstract No. 763 and currently zoned C-2 (General Commercial) District/75 & 82 Overlay District , as follows:  
***Planning and Zoning Commission***  
Final Plat of Sherman Chevrolet Quick Lube.
7. **\* 2206 EAST LAMAR STREET (PROJECT NO. 000372-2026)**  
The request of Goodwill Industries of Northeast Texas, Inc. (Owner), Katherine Alford (Applicant) and Kimley-Horn and Associates, Inc. (Surveyor) concerning the property located at 2206 East Lamberth Street, consisting of 12.670 acres in the George B. Pilant Survey, Abstract No. 963 and currently zoned C-2 (General Commercial) District, as follows:  
***Planning and Zoning Commission***  
Final Plat of Goodwill Sherman
8. **\* 615 SOUTH MAXEY STREET (PROJECT NO. 000384-2026)**  
The request of Gustavo Vega Cortes & Mayra Yanet Gutierrez Campos (Owners), and Keeton Surveying Company (Surveyor) concerning the property located at 615 South Maxey Street, consisting of 0.211 acres, being Lots 7 and 8, and part of Lot 9 Block 7, W. Elliot's Addition, in the George B. Pilant Survey, Abstract No. 963 and currently zoned R-6 (Single-Family Residential) District, as follows:

***Planning and Zoning Commission***

Final Plat of CC Addition.

9. **\* 10 TIMBERCREEK ROAD (PROJECT NO. 000386-2026)**

The request of Tonya and Harry Hudgins (Owners), and Copley Land Surveying (Surveyor) concerning the property located at 10 Timbercreek Road, consisting of 6.421 acres, being all of Lot 1 and Lot 2, of a Replat of Lot Three (3) of the Corrected Plat, Lisa Addition, in the George W. McGlothlin Survey, Abstract No. 828 and William Thompson Survey, Abstract No. 1210 and currently zoned R-6 (Single-Family Residential) District, as follows:

***Planning and Zoning Commission***

Final Plat of Hudgins Addition.

10. **\* 506 NORTH GRAND AVENUE (PROJECT NO. 000388-2026)**

The request of Michael and Heather Putnam (Owners) and Helvey-Wagner Surveying, Inc. (Surveyors) concerning the property located at 506 North Grand Avenue, consisting of 0.938 acres, being Lots 3, 4, 7 and 8, Block 18, College Park Addition, in the C. Carter Survey, Abstract No. 229 and currently zoned R-6 (Single-Family Residential) District/College Park Overlay District as follows:

***Planning and Zoning Commission***

Final Plat of Putnam Estate.

11. **\* 1414 SOUTH AUSTIN STREET (PROJECT NO. 00089-2026)**

The request of Victor Hugo Cabrera Cano (Owners), and Helvey-Wagner Surveying, Inc. (Surveyor) concerning the property located at 1414 South Austin Street, consisting of 0.230 acres, being part of Lot 4, Block 24, B.H. Moore Heirs Addition, in the Samuel Blagg Survey, Abstract No. 56 and currently zoned R-6 (Single-Family Residential) District/Sam Rayburn Overlay District, as follows:

***Planning and Zoning Commission***

Final Plat of Victor Addition.

12. **\* 3401 STEEPLE CHASE DRIVE (PROJECT NO. 000368-2026)**

The request of Steeple Chase 3401 LLC (Owner), Preetam Palchuru (Applicant), and KAZ Surveying (Surveyor) concerning the property located at 3401 Steeple Chase Drive, consisting of 10.30 acres in the Elizabeth Jones Survey, Abstract No. 625 and currently zoned MF-30 (Multifamily Residential) District, as follows:

***Planning and Zoning Commission***

Site Plan of Pebblebrook Multifamily Development.

13. **\* 6800 SOUTH HIGHWAY 75 (PROJECT NO. 000374-2026)**

The request of Finisar Sherman RE Holdco LLC (Owner), Ashley Villareal (Applicant) and Ringley & Associates, Inc. (Surveyor), concerning the property located at 6800 South Highway 75, consisting of 76.763 acres in the James A Foster Survey, Abstract No. 418, the Robert Foster Survey, Abstract No. 420 and the Marion G. Fellers Survey, Abstract No. 427 and currently zoned M-1.5 (Medium Manufacturing) District/75 & 82 Overlay District, as follows:

***Planning and Zoning Commission***

Site Plan of Coherent Logistics Building Addition

14. **2005 SOUTH SAM RAYBURN FREEWAY (PROJECT NO. 000318-2026) TABLED ON 3-24-2026**

The request of NNN REIT, INC. (Owner), Dayna Ausing (Applicant), and Gonzalez & Schneeberg Engineers & Surveyors (Surveyor) concerning the property located at 2005 South Sam Rayburn Freeway, consisting of 13.91 acres, being Lot 1, Block 43R, South Side Addition, being a Replat of Blocks 37, 38, 39, and Tracts 1, 3 and 4 of the Replat of South Side Addition, in the Preston Kitchen Survey, Abstract No. 667 and currently zoned M-1 (Light Manufacturing) District/ Sam Rayburn Overlay District, as follows:

***Board of Adjustment***

Public Hearing and Variance under Section 14.07.009 to allow a 65' tall pylon sign in lieu of the allowed 50'.

15. **1501 BLOCK TATE CIRCLE (PROJECT NO. 000328-2026) TABLED ON 4-21-2026**

The request of Sherman Lakes JV, LLC (Owner), Stacey Capogrossi (Applicant) and Windrose Land Surveying (Surveyor) concerning the property located in the 1501 Block Tate Circle, consisting of 183.681 acres in the Benjamin Lindsey Survey, Abstract No. 733 and the Henry Tucker Survey, Abstract No. 1217 and located in the E.T.J. (Extra-Territorial Jurisdiction), as follows:

***Planning and Zoning Commission***

Public Hearing and Zone Change from R-A (Residential Agricultural) District to a PD (Planned Development) District for Sherman Lakes Development.

**16. 1001 SOUTH SAM RAYBURN FREEWAY (PROJECT NO.000364-2026)**

The request of Ferrell Carroll (Owner), Shane Carroll (Applicant), concerning the property located at 1001 South Sam Rayburn Freeway, consisting of 0.3511 acres, being Lots 7, 8 and 9 of the Exsteins Brennan Addition, and currently zoned C-2 (General Commercial) District/Sam Rayburn Overlay District as follows:

***Planning and Zoning Commission***

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Automobile, motorcycle, boat, or trailer sales, new or used in a C-2 (General Commercial) District/Sam Rayburn Overlay District.

**17. 1916 GALLAGHER DRIVE (PROJECT NO. 000365-2026)**

The request of Brody Starks (Owner), Shierly Ucol (Applicant), and Winkelman & Associates, Inc. (Surveyor) concerning the property located at 1916 Gallagher Drive, consisting of 3.996 acres, being Block 18 and a part of Block 17, Lots 20-27 of Block 11 and Blocks 12, 13, 14, 15, 16, Town North Addition, in the Rueben Hendrix Survey, Abstract No. 504 and currently zoned C-2 (General Commercial) District , as follows:

***Planning and Zoning Commission***

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Contractors or construction offices, equipment sales, service, rental and repair, with outdoor storage in a C-2 (General Commercial) District.

**18. 223 WEST PELTON STREET (PROJECT NO. 000367-2026)**

The request of Alka Ventures LLC (Owner), Danielle Moore (Applicant), and CBG Surveying Texas LLC (Surveyor) concerning the property located at 223 West Pelton, consisting of 0.22 acres in the J.B. McAnair Survey, Abstract No. 763, as follows:

***Board of Adjustment***

A. Public Hearing and Variance under Section 14.02.009 to allow a lot width of 67.30' in lieu of the required 80'.

***Planning and Zoning Commission***

B. Public Hearing and Zone Change from R-6 (Single-Family Residential) District to R-2F (Duplex Residential) District.

**19. 300-1200 BLOCKS WEST HIGHWAY 82 (PROJECT NO. 000369-2026)**

The request of AJH Enterprises LTD (Owner), Bryan Weisgerber (Applicant), and Underwood Drafting & Surveying (Surveyor), concerning the property located in the 300-1200 Blocks West Highway 82, consisting of 14.384 acres, being Lot 1, Block N, in the J.B. McAnair Survey, Abstract No. 763, as follows:

***Planning and Zoning Commission***

Public Hearing and Zone Change from R-6 (Single Family Residential) District/75 & 82 Overlay District to C-1 (Retail Business) District/75 & 82 Overlay District

**20. 1410 WEST HOUSTON STREET (PROJECT NO. 000371-2026)**

The request of Laurel Acres (Owner), Gustavo Cardona de Liva (Applicant), and Jerry P. Montgomery (Surveyor), concerning the property located at 1410 West Houston Street, being Lot 1, Block 3 Elliott's Gray's Hill Addition and currently zoned C-2 (General Commercial) District, as follows:

***Planning and Zoning Commission***

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Automobile, repair, body work, or painting in a C-2 (General Commercial) District.

**21. 121 EAST WALL STREET (PROJECT NO. 000373-2026)**

The request of RLMG 401K Trust (Owner), and John Stone (Applicant) concerning the property located at 121 East Wall Street, consisting of 0.458 acres, being part of Block D, T.J. Shannon's Supplement, in the J.B. McAnair Survey, Abstract No. 763 and currently zoned C-2 (General Commercial) District/Central Business District Overlay/Downtown Subdistrict, as follows:

***Planning and Zoning Commission***

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow a Tattoo studio in a C-2 (General Commercial) District/Central Business District Overlay/Downtown Subdistrict.

**Other Business**

**Executive Session**

22.

In accordance with the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the Planning and Zoning Commission and Board of Adjustment may hold an Executive Session if the discussion of any of the items identified in this agenda, or any of the items identified below, concern the following:

**TEX. GOV'T CODE § 551.071**

Seeking the advice of its attorney about pending or contemplated litigation, settlement offers or any matter in which the duty of the attorney to the Planning and Zoning Commission and Board of Adjustment under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act.

*A. PHT Hospitality LLC vs The Zoning Board of Adjustment of the City of Sherman, Texas, Cause No. CV-26-1056, in the 397<sup>th</sup> District Court of Grayson County, Texas*

**Close Public Hearing**

23. **ADJOURNMENT**

Overall Location Map

By direction of the Planning and Zoning Commission and Board of Adjustment of the City of Sherman.

Leigh Ann Sims, Chairman

ATTEST: Rob Rae, Secretary

Meetings of this advisory board are open to the public

Note: The above agenda schedule represents an estimate of the order for the indicated items and is subject to change at any time.

In accordance with the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the Planning and Zoning Commission and Board of Adjustment may hold an executive session if the discussion of any of the items identified in this agenda, or any of the items identified below, concern one or more of the following:

Tex. Gov't Code § 551.071

Seeking the advice of its attorney about pending or contemplated litigation, settlement offers or any matter in which the duty of the attorney to the Planning and Zoning Commission and Board of Adjustment under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act.

**Certification**

I, the undersigned authority, do hereby certify that the above Agenda of the Regular Meeting of the Board of Adjustment and Planning and Zoning Commission of the City of Sherman is a true and correct copy of said Notice and that I posted a true and correct copy of said Notice on the bulletin board, at City Hall, of said City of Sherman, Texas, a place convenient to the public and said notice was posted on 13th day of May 2026, at 4 p.m. and said time of posting was three (3) business days before said meeting was convened or called to order.

Dated this 13th day of May 2026,  
City of Sherman, Texas

A handwritten signature in blue ink, appearing to read "Tammy Mrozinski". The signature is fluid and cursive, with the first name "Tammy" and last name "Mrozinski" clearly distinguishable.

Tammy Mrozinski,  
Development Services Coordinator

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**ACTION MINUTES**

The Planning and Zoning Commission and Board of Adjustment of the City of Sherman held a regular meeting Tuesday, April 21, 2026, at 5:00 P.M. located in the Council Chambers at 220 West Mulberry Street to consider the following:

*All requests are subject to the Zoning Ordinance/Code of Ordinance Chapter 14, unless otherwise stated.*

**Vice Chairman Downtain was not in attendance.**

1. **CALL TO ORDER**

*Bookmarked at 00:02:21*

Chairman Sims called the meeting to order at 5:06p.m.

2. **APPROVE ACTION MINUTES OF THE SPECIAL CALLED MEETING MARCH 24, 2026, PLANNING AND ZONING COMMISSION AND BOARD OF ADJUSTMENT MEETING.**

*Bookmarked at 00:2:47*

The Planning and Zoning Commission reviewed the minutes of the March 24, 2026, Special Called Meeting. Motion by Commission Member Blagg to approve the Minutes as written. Second by Commission Member Ramirez.

All present voted AYE.

3. **ANNOUNCEMENTS**

4. **CITIZEN COMMENTS**

During this meeting, the Planning and Zoning Commission and Board of Adjustment welcomes public comment only on agenda items listed under the Open Meeting portion of the agenda, in accordance with Texas Government Code Section 551.007. For items not listed on the agenda, those matters may be discussed with City staff during regular business hours by contacting them at times other than at Planning and Zoning Commission meetings. There will also be an opportunity to speak regarding any of the public hearing items on the agenda when that item is presented.

*Bookmarked at 00:03:24*

**Open Public Hearing**

5. **CONSENT AGENDA (ITEMS 6, 7, 8, 9, 10, AND 11)**

Asterisked (\*) items are considered to be routine and non-controversial items. These items will be enacted in one motion without discussion unless a Commission Member or a member of the audience requests a specific item be discussed and voted on separately prior to a motion and vote.

*Bookmarked at 00:04:06*

The Commission reviewed the Consent Agenda. Commission Member Whitaker moved to approve items 6, 7, 8, 9, 10 and 11 on the Consent Agenda as presented. Second by Commission Member Dupuis.

**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS AND JOHNSON**

**VOTING NAY: NONE**

**MOTION CARRIED.**

**THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.**

6. \* **923 EAST JONES STREET (Project No.000342-2026)**

The request of Jose Efrain Tobar and Maria M. Menjivar Tobar (Owner), Chris Noah (Applicant) and Preston Trail Land Surveying (Surveyor), concerning the property located at 923 East Jones Street, consisting of 0.331 acres, being Lots 27, 28, 29 and 30, Block 1 of HM Sumner 2<sup>nd</sup> Addition, in the George B. Pilant Survey, Abstract No. 963 and currently zoned R-5 (Single-Family Residential) District, as follows:

***Planning and Zoning Commission***

Final Plat of Jose Tobar Replat of HM Sumner 2<sup>nd</sup> Addition.

7. \* **4440 DRIPPING SPRINGS ROAD (Project No. 000353-2026)**  
 The request of Eucliel Rodriguez & Mayme Rodriguez (Owner), Chris Noah (Applicant) and Preston Trail Land Surveying (Surveyor), concerning the property located at 4440 Dripping Springs Road, consisting of 5.040 acres in the John McClenihan Survey, Abstract No. 789 and located in the ETJ (Extra-Territorial Jurisdiction), as follows:  
**Planning and Zoning Commission**  
 Final Plat of Rodriguez Addition on Dripping Springs Road.
8. \* **2515 MASTERS STREET (Project No. 000354-2026)**  
 The request of Nhat Hguyen Investments, LLC (Owner), and Underwood Drafting & Surveying (Surveyor), concerning the property located at 2515 Masters Street, consisting of 1.10 acres, being all of Lot 1-R, of the Second Replat of Lot 3, Block One Dr. J.H. Carraway Sub-Division in the J.B. McAnair Survey, Abstract No. 763 and currently zoned C-1 (Retail Business) District, as follows:  
**Planning and Zoning Commission**  
 Final Plat of MNLT-Nguyen Addition.
9. \* **1304 WEST LAMAR STREET (Project No. 000339-2026)**  
 The request of the City of Sherman (Owner) concerning the property located at 1304 West Lamar Street, consisting of 30.7 acres in the Elizabeth Jones Survey, Abstract No. 625 and currently zoned R-6 (Single-Family Residential) District, as follows:  
**Planning and Zoning Commission**  
 Site Plan for Parks Maintenance Building Addition.
10. \* **2000 BLOCK WEST WASHINGTON STREET (Project No. 000348-2026)**  
 The request of MAS Development 4, LLC (Owner), David Bond (Applicant) and Spiars Engineering, Inc (Surveyor) concerning the property located in the 2000 Block West Washington Street, consisting of 1.043 acres, being part of Lot 1, Block 1, Brookshire Addition in the J.B. McAnair Survey, Abstract No. 763 and currently zoned C-1 (Retail Business) District/F.M. Highway 1417 Overlay District, as follows:  
**Planning and Zoning Commission**  
 Site Plan for West Washington Medical Addition.
11. \* **217 AND 219 WEST PECAN STREET (Project No. 000356-2026)**  
 The request of City of Sherman (Owner) concerning the property located at 217 and 219 West Pecan Street, consisting of 0.3808 acres, being Lot 4, Part of Lot 5, and Lot E, Block N, Blacks Addition and currently zoned C-1 (Retail Business) District/Central Business District Overlay/ Downtown Subdistrict, as follows:  
**Planning and Zoning Commission**  
 Site Plan for City of Sherman's Water Quality Addition.
12. **1118 NORTH HOPSON STREET (Project No. 000313-2026) TABLED ON 3-24-2026**  
 The request of Travis and Emily May (Owners), La Cima Contracting, LLC (Applicant) and Underwood Drafting & Surveying (Surveyors) concerning the property located at 1118 North Hopson Street, being the South 40' of Lot 22, all of Lots 23 & 24, and the North 45' of Lot 25, Block 1, of the Birge's Addition, as follows:  
**Board of Adjustment**  
 A. Public Hearing and Variance under Section 14.04.002 to allow a 15' rear setback for the proposed structure.  
**Planning and Zoning Commission**  
 B. Public Hearing and Zone Change from R-6 (Single-Family Residential) District to R-12 (Single-Family Residential) District.  
**Bookmarked at 00:00:05:01**  
**Motion by Commission Member Blagg to remove Items A and B from the table. Second by Commission Member Whitaker.**  
**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS AND JOHNSON**  
**VOTING NAY: NONE**  
**MOTION CARRIED.**

The item was untabled by the commission.

*Board of Adjustment*

Motion by Commission Member Ramirez to deny Item A located at 1118 North Hopson Street. Second by Commission Member Blagg.

VOTING AYE: SIMS, WHITAKER, BLAGG, AND RAMIREZ

VOTING NAY: DUPUIS

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST DOES NOT CONFORM TO THE INTENT OF THE ORDINANCE.

*Planning and Zoning Commission*

Motion by Commission Member Blagg to approve Item B located at 1118 North Hopson Street. Second by Commission Member Whitaker.

VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS, AND JOHNSON

VOTING NAY: NONE.

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

13. 4111 TEXOMA PARKWAY (Project No. 000315-2026) **TABLED ON 3-24-2026**

The request of Saeid Taghvaci, ReliaCars, LLC. (Owner), and Copley Land Surveying (Surveyor) concerning the property located at 4111 Texoma Parkway, consisting of 1.001 acres in the W.F. Patterson Survey, Abstract No. 969, as follows:

*Planning and Zoning Commission*

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Automobile, motorcycle, boat or trailer sales, new or used in a C-2 (General Commercial) District.

*Bookmarked at 00:12:45*

Motion by Commission Member Blagg to remove the Specific Use Permit located at 4111 Texoma Parkway from the table. Second by Commission Member Ramirez.

VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS, AND JOHNSON

VOTING NAY: NONE.

MOTION CARRIED.

The item was removed from the table.

Motion by Commission Member Ramirez to approve the Specific Use Permit located at 4111 Texoma Parkway. Second by Commission Member Whitaker.

VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS AND JOHNSON

VOTING NAY: NONE.

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

14. 2005 SOUTH SAM RAYBURN FREEWAY (Project No. 000318-2026) **TABLED ON 3-24-2026**

An email was received from Dayna Ausing on April 20, 2026, at 12:15 P.M. requesting to move item to the May 19, 2026, meeting.

The request of NNN REIT, INC. (Owner), Dayna Ausing (Applicant), and Gonzalez & Schneeberg Engineers & Surveyors (Surveyor) concerning the property located at 2005 South Sam Rayburn Freeway, consisting of 7.036 acres in the Preston Kitchen Survey, Abstract No. 667 and currently zoned M-1 (Light Manufacturing) District/ Sam Rayburn Overlay District, as follows:

*Board of Adjustment*

Public Hearing and Variance under Section 14.07.009 to allow a 65' tall pylon sign in lieu of the allowed 50'.

*Bookmarked at 00:18:37*

No Action Taken by the Commission.

15. **506 NORTH GRAND AVENUE (Project No. 000323-2026)**

The request of Michael and Heather Putnam (Owners) and Helvey-Wagner Surveying, Inc. (Surveyors) concerning the property located at 506 North Grand Avenue, being Lots 3 and 4, Block 18, College Park Addition, as follows:

***Planning and Zoning Commission***

Public Hearing and Zone Change from MF-30 (Multifamily Residential) District/College Park Overlay District to R-6 (Single-Family Residential) District/College Park Overlay District.

***Bookmarked at 00:19:12***

**Motion by Commission Member Dupuis to approve the Zone Change located at 506 North Grand Avenue. Second by Commission Member Blagg.**

**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS AND JOHNSON**

**VOTING NAY: NONE.**

**MOTION CARRIED.**

**THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.**

16. **1501 BLOCK TATE CIRCLE (Project No. 000328-2026)**

The request of Sherman Lakes JV, LLC (Owner), Stacey Capogrossi (Applicant) and Windrose Land Surveying (Surveyor) concerning the property located in the 1501 Block Tate Circle, consisting of 183.681 acres in the Benjamin Lindsey Survey, Abstract No. 733 and the Henry Tucker Survey, Abstract No. 1217 and located in the E.T.J. (Extra-Territorial Jurisdiction), as follows:

***Planning and Zoning Commission***

Public Hearing and Zone Change from R-A (Residential Agricultural) District to a PD (Planned Development) District for Sherman Lakes Development.

***Bookmarked at 00:00:27:04***

**Motion by Commission Member Ramirez to table the Zone Change located at 1501 Block Tate Circle. Second by Commission Member Blagg.**

**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS AND JOHNSON**

**VOTING NAY: NONE.**

**MOTION CARRIED.**

**THE ITEM WAS TABLED BY THE COMMISSION.**

17. **400 EAST LAMAR STREET (Project No. 000332-2026)**

The request of MKBCCS Sherman Real Estate LLC (Owner), Cory Tate (Applicant) and Helvey-Wagner Surveying, Inc. (Surveyor) concerning the property located at 400 East Lamar Street, consisting of 1.101 acres, being part of Block 18, Original Town Plat, in the Samuel Blagg Survey, Abstract No. 56 and currently zoned M-2 (Heavy Manufacturing) District, as follows:

***Board of Adjustment***

- A. Public Hearing and Variance under Section 14.02.020 to allow 0' side setback in lieu of the required 25' for an existing structure.
- B. Public Hearing and Variance under Section 14.02.020 to allow side 12' setback in lieu of the required 25' for the proposed structure.

***Planning and Zoning Commission***

- C. Site Plan for Accessory Structure Addition.

***Bookmarked at 01:26:33***

***Board of Adjustment***

**Motion by Commission Member Blagg to approve Items A and B located at 400 East Lamar Street. Second by Commission Member Whitaker.**

**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ AND DUPUIS**

**VOTING NAY: NONE.**

**MOTION CARRIED.**

***Planning and Zoning Commission***

**Motion by Commission Member Blagg to approve Item C located at 400 East Lamar Street. Second by Commission Member Blagg.**

**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS AND JOHNSON**

VOTING NAY: NONE.  
MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

18. **4100 NORTH TRAVIS STREET (Project No. 000333-2026)**

The request of Legacy Title Holding Corporation (Owner) and Underwood Drafting & Surveying (Surveyor), concerning the property located at 4100 North Travis Street, consisting of 10.794 acres in the John Jennings Survey, Abstract No. 647 and currently zoned R-6 (Single-Family Residential) District/75 & 82 Overlay District, as follows:

***Board of Adjustment***

- A. Public Hearing and Variance under Section 14.02.006 to allow 11.1' rear setback in lieu of the required 20' for an existing structure.

***Planning and Zoning Commission***

- B. Final Plat for Legacy Title Addition.

***Bookmarked at 01:33:06***

***Board of Adjustment***

**Motion by Commission Member Ramirez to approve Item A located at 4100 North Travis Street. Second by Commission Member Blagg.**

**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ AND DUPUIS**

**VOTING NAY: NONE.**

**MOTION CARRIED.**

***Planning and Zoning Commission***

**Motion by Commission Member Ramirez to approve Item B located at 4100 North Travis Street. Second by Commission Member Whitaker.**

**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS AND JOHNSON**

**VOTING NAY: NONE**

**MOTION CARRIED.**

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

19. **1901 BLOCK SOUTH INWOOD STREET (Project No.000336-2026)**

The request of Douglass Distributing Co (Owner), Helvey-Wagner Surveying, Inc. (Surveyor), concerning the property located in the 1901 Block South Inwood Street, being Lots C and D of Texas Nursery Company's Replat of Blocks 23, 47 and 48 of South Side Addition, as follows:

***Planning and Zoning Commission***

Public Hearing and Zone Change from M-2 (Heavy Manufacturing) District to R-6 (Single-Family Residential) District.

***Bookmarked at 01:34:57***

**Motion by Commission Member Whitaker to approve the Zone Change located at 1901 Block South Inwood Street. Second by Commission Member Dupuis.**

**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS AND JOHNSON**

**VOTING NAY: NONE.**

**MOTION CARRIED.**

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

20. **301 BLOCK RIDDELS ROAD (Project No. 000343-2026)**

The request of Friendship Ranch Inc. (Owner), Pann S. Sribhen (Applicant) and Cox Land Surveying Co. (Surveyor), concerning the property located in the 301 Block Riddels Road, consisting of 61.763 acres in the P. Thompson Survey, Abstract No. 1208, as follows:

***Planning and Zoning Commission***

Public Hearing and Zone Change from R-6 (Single-Family Residential) District to R-5 (Single-Family Residential) District.

*Bookmarked at 01:36:15*

**Motion by Commission Member Ramirez to deny the Zone Change located at 301 Block Riddels Road. Second by Commission Member Whitaker.**

**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS AND JOHNSON**

**VOTING NAY: NONE.**

**MOTION CARRIED.**

**THE COMMISSION FOUND THE REQUEST DOES NOT CONFORM TO THE INTENT OF THE ORDINANCE.**

**21. OTHER BUSINESS**

An Ordinance Of The City Council Of The City Of Sherman, Texas, Amending The Code Of Ordinances Of The City Of Sherman, Texas, Chapter 14 (Zoning Ordinance), Article 14.01 (General Provisions), Article 14.04 (Supplementary District Regulations), Article 14.08 (Definitions) And Article 14.10 (Use Chart); Modifying Certain Existing Regulations And Prescribing New Regulations Related To Existing Non-Conforming Structures And Accessory Dwelling Units; Defining Terms; Providing A Penalty Clause With A Maximum Fine Of \$2,000, Savings/Repealing Clause, Severability Clause And An Effective Date; Providing For The Publication Of The Caption Hereof; Finding And Determining That The Meeting At Which This Ordinance Is Passed Was Noticed And Is Open To The Public As Required By Law

*Bookmarked at 01:40:55*

**Motion by Commission Member Ramirez to approve the Zoning Ordinance Amendment. Second by Commission Member Whitaker.**

**VOTING AYE: SIMS, WHITAKER, BLAGG, RAMIREZ, DUPUIS AND JOHNSON**

**VOTING NAY: NONE.**

**MOTION CARRIED.**

**THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.**

**22. ADJOURNMENT**

*Bookmarked at 01:56:55*

**Chairman Sims adjourned the meeting at 7:00p.m.**

---

**CHAIRMAN**



---

**ACTING SECRETARY**



**Planning & Zoning Commission Development Services**

Agenda Item No. 5.

**Meeting Date:** 5/19/2026

**Prepared By:**

**Approved By:**

**Requested Action/Proposed Use:**

**CONSENT AGENDA (ITEMS 6, 7, 8, 9, 10, 11, 12, 13 AND 14)**

**Background:**

**Origination:**

**Staff Recommendation:**

---

**Attachments:**

None



**Planning & Zoning Commission Development Services**

Agenda Item No. 6.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**\* 606 EAST LAMBERTH ROAD (Project No. 000358-2026)**

The request of Stanley V. Graff (Owner), Joel Vitela (Applicant), and Texas Heritage Surveying, LLC (Surveyor) concerning the property located at 606 East Lamberth Road, consisting of 1.990 acres, being Lots 2 & 3, Block 4, Dr. J.H. Carraway's Sub-Division, in the J.B. McAnair Survey, Abstract No. 763 and currently zoned C-2 (General Commercial) District/75 & 82 Overlay District, as follows:

***Planning and Zoning Commission***

Final Plat of Sherman Chevrolet Quick Lube.

**Background:**

The property is located at 606 East Lamberth Road. The owner is requesting final plat approval.

The following has been approved at this location:

- 2/16/2016 - To allow full height EFIS (Exterior Finish Insulation System) on the front and the north 50' on the east and west façade in lieu of the required masonry requirements for an addition to Earl Owen Supply, Inc. in a C-1 (Retail Business) District/O-1 (75 & 82) Overlay District.
- 9/16/2025 - To allow a metal building in lieu of the required masonry, or masonry veneer, or concrete siding for the existing structure. To allow a metal building in lieu of of the required masonry, or masonry veneer, or concrete siding for the proposed structure. SUP to allow an Automobile Repair, Body Work, Painting in a C-2(General Commercial) District. Zone Change from a C-1(Retail Business) District to a C-2(General Commercial) District. ORD# 6880 ZONE CHANGE & ORD# 6881 SUP
- 7/15/2025 - Preliminary Plat of Sherman Chevrolet Quick Lube (Conditionally Approved)

**Origination:**

The request of Stanley V. Graff (Owner), Joel Vitela (Applicant), and Texas Heritage Surveying, LLC (Surveyor).

**Staff Recommendation:**

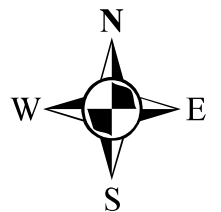
Staff recommends P&Z approve this item.

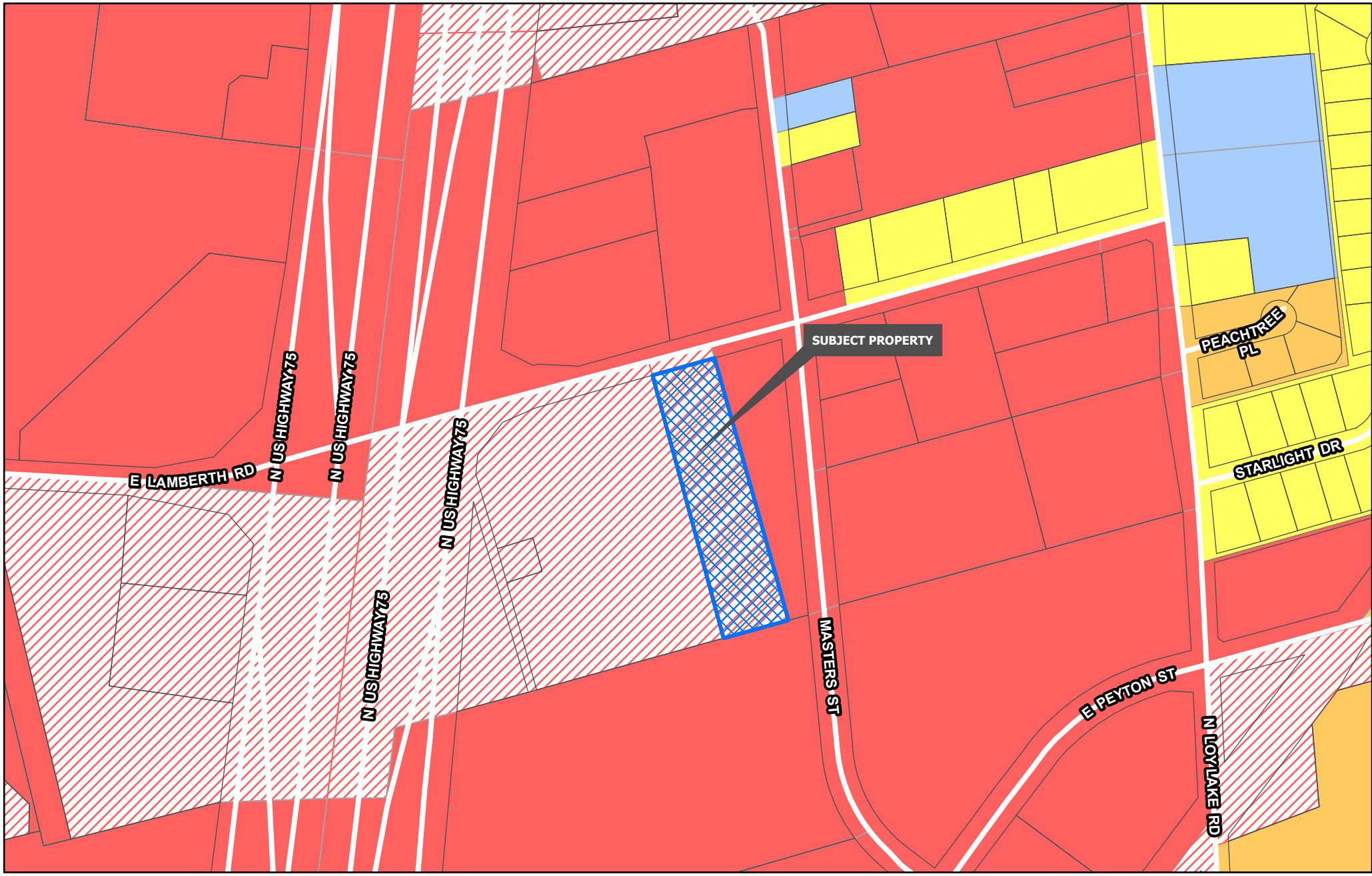
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**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Final Plat

5. Conditional Approval Letter





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN  
ZONING MAP  
606 E LAMBERTH RD**



**REGIONAL COMMERCIAL**

**Intent & Character**

The Regional Commercial category is intended to promote large-scale commercial development along US-75, while promoting community character through design. US-75 serves as the major gateway to and through the community; therefore, aesthetics and design should be promoted in this corridor. This category should allow large-scale commercial uses that serve the region and the community alike. A mix of uses and inter-connectivity between parcels should be encouraged.

**Appropriate Land Use Types**

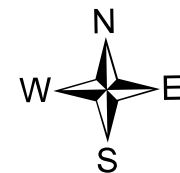
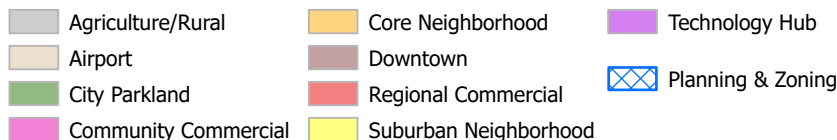
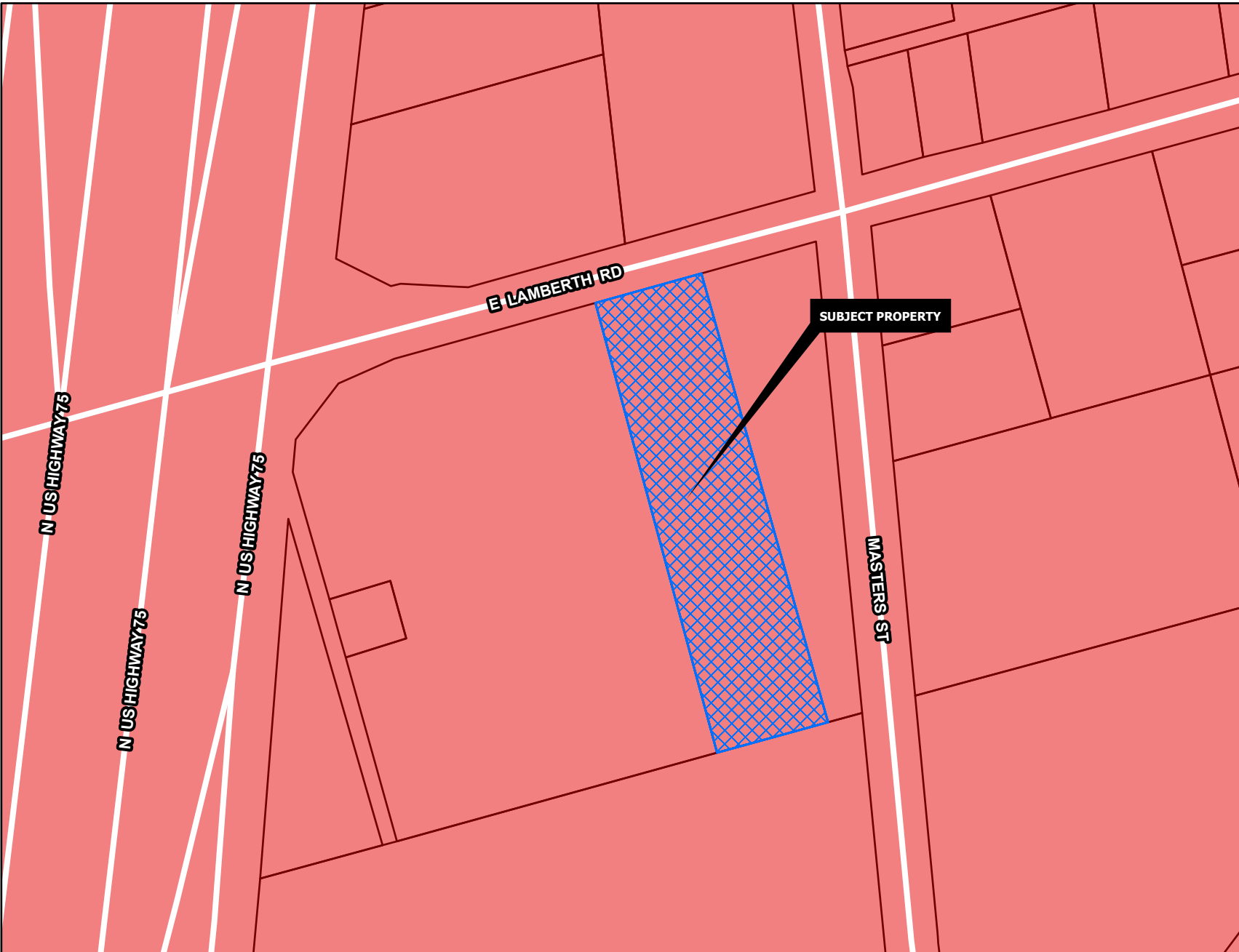
- Retail and Restaurants
- Multi-Family Living
- Office Complex
- Medical
- Mixed Use
- Indoor Entertainment

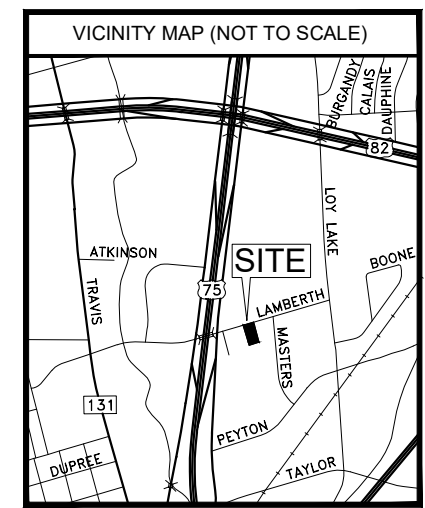
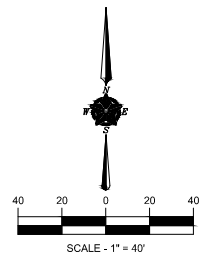
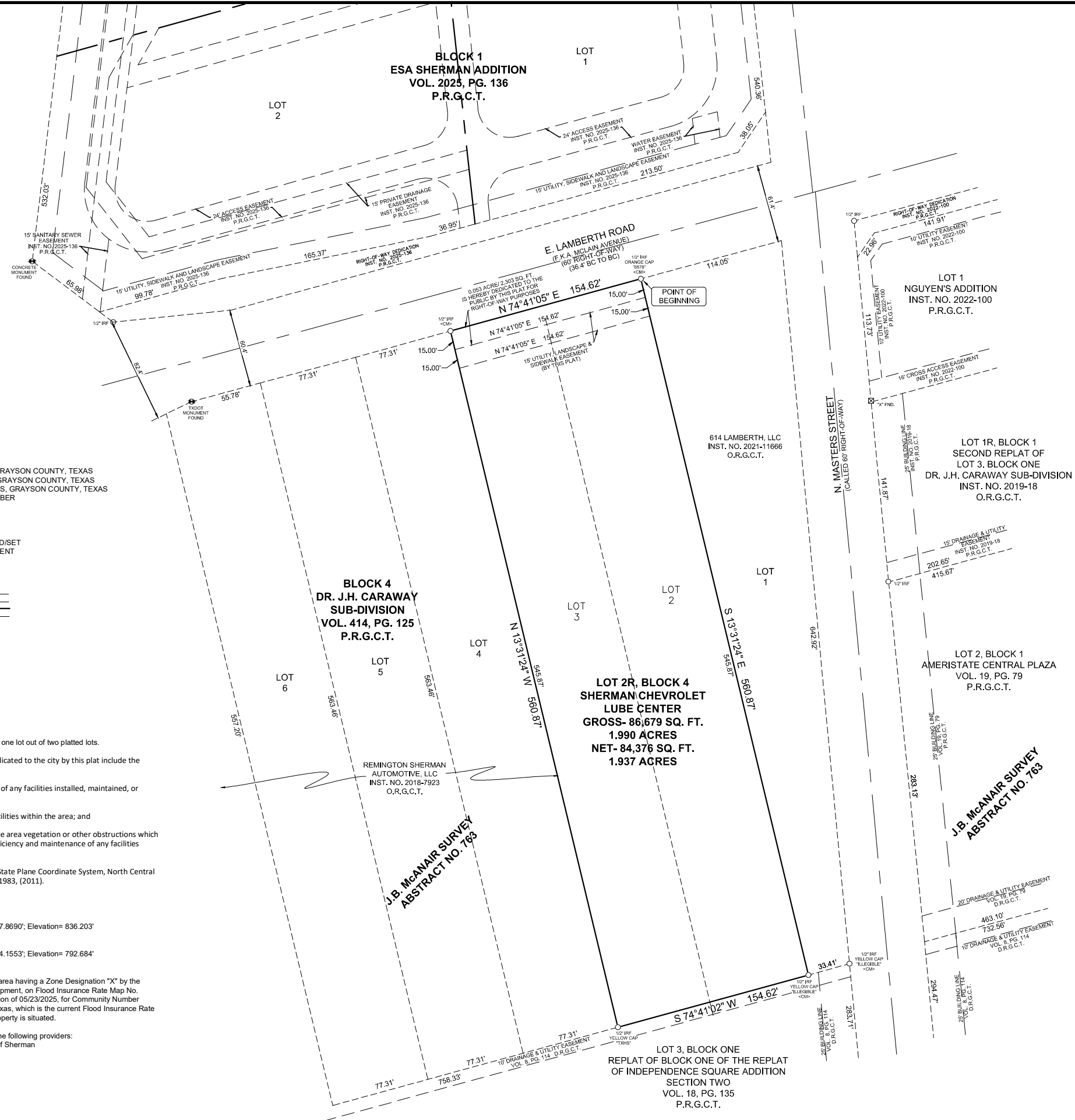
**Compatible Zoning Districts**

- Retail Business
- General Commercial
- Office
- Multi-Family Residential (MF-15 and MF-30)
- Planned Development (for larger tracts)

**Considerations**

- Site design considerations should be given to parking, landscaping, and building articulation.
- Where possible, parking should be screened from view or well-landscaped with native, drought-tolerant plants.
- All buildings facades fronting a public street or within significant public view should have aesthetically-pleasing horizontal and vertical articulation.
- Signage should be multi-tenant, where possible, and should match the character of the primary structure.
- High density residential should be included in mixed use developments.
- High density residential is appropriate behind commercial areas, with inter-connectivity.
- If high density is stand alone, the surrounding uses and connectivity should be considered to avoid an "island."





**LEGEND**  
P.R.D.C.T. PLAT RECORDS, GRAYSON COUNTY, TEXAS  
D.R.D.C.T. DEED RECORDS, GRAYSON COUNTY, TEXAS  
O.R.D.C.T. OFFICIAL RECORDS, GRAYSON COUNTY, TEXAS  
INST. NO. INSTRUMENT NUMBER  
VOL., PG. VOLUME, PAGE  
SQ. FT. SQUARE FEET  
IRF ○ IRON ROD FOUND  
X FND/SET ⊗ X CUT FOUND/SET  
MONUMENT FOUND/SET ⊕ MONUMENT FOUND/SET  
<CM> CONTROL MONUMENT

EASEMENT LINE - - - - -  
BUILDING LINE - - - - -  
BOUNDARY LINE - - - - -  
CENTERLINE = = = = =

**GENERAL NOTES:**

- The purpose of this replat is to create one lot out of two platted lots.
- All easements and rights-of-way dedicated to the city by this plat include the following rights:  
The right of the city to change the size of any facilities installed, maintained, or operated within the area;  
The right of the city to relocate any facilities within the area; and  
The right of the city to remove from the area vegetation or other obstructions which endanger or may interfere with the efficiency and maintenance of any facilities within the area.
- Bearings are based upon the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, (2011).
- City of Sherman Benchmarks:  
MON #1-102  
N= 7,296,768.7152'; E= 2,546,427.8690'; Elevation= 836.203'  
MON #1-103  
N= 7,290,326.7858'; E= 2,548,334.1553'; Elevation= 792.684'
- Subject property is located within an area having a Zone Designation "X" by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 48181C0290G, with a date of identification of 05/23/2025, for Community Number 485509, in Grayson County, State of Texas, which is the current Flood Insurance Rate Map for the community in which said property is situated.
- Subject property will be serviced by the following providers:  
Water, sanitary, and storm: City of Sherman  
Electrical: TXU Energy  
Natural Gas: ATMOS Energy  
Phone: AT&T

Preliminary plat, for inspection purposes only. In no way official or approved for record purposes. (04/17/2026)

**FINAL REPLAT**  
**SHERMAN CHEVROLET QUICK LUBE**  
**LOT 2R, BLOCK 4**  
BEING A REPLAT OF  
LOTS 2 & 3, BLOCK 4  
DR. J.H. CARRAWAY'S ADDITION  
J.B. McANAIR SURVEY,  
ABSTRACT NO. 763  
CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

10610 Metric Drive, Suite 124, Dallas, TX 75243  
Office 214-340-9700 Fax 214-340-9710  
txheritage.com  
Firm #10169300  
J.R. JANUARY RPLS#5382

**OWNER**  
**REMINGTON SHERMAN AUTOMOTIVE II, LLC**  
3311 OAK LAWN AVENUE, SUITE 250  
DALLAS, TEXAS 75219

LEGAL DESCRIPTION

WHEREAS, REMINGTON SHERMAN AUTOMOTIVE II, LLC, a Texas limited liability company, is the owner of a tract of land situated in the J.B. McAnair Survey, Abstract No. 763, City of Sherman, Grayson County, Texas, being that same tract of land as described in General Warranty Deed to REMINGTON SHERMAN AUTOMOTIVE II, LLC, a Texas limited liability company, recorded in Volume 2026, Page 7309, Official Records, Grayson County, Texas, same being Lots 2 & 3, Block 4, Dr. J.H. Carraway's Sub-Division, an addition to the City of Sherman, Grayson County, Texas, according to the plat thereof recorded in Volume 414, Page 125, Deed Records, Grayson County, Texas, and being more particularly described by metes and bounds as follows;

BEGINNING at a 1/2 inch iron rod found with orange plastic cap "6578" for the northwest corner of Lot 1, Block 4, of said Dr. J.H. Carraway's Sub-Division, same lying in the southeast right-of-way line of E. Lamberth Road (F.K.A. McLain Avenue)(60' right-of-way);

THENCE South 13 degrees 31 minutes 24 seconds East, departing said southeast right-of-way line of E. Lamberth Road and along the west line of said Lot 1, Block 4, a distance of 560.87 feet to a 1/2 inch iron rod found with yellow plastic cap "illegible" for the southwest corner of said Lot 1, Block 4, same lying in the north line of Lot 3, Block One, Replat of Block One of the Replat of Independence Square Addition, Section Two, an addition to the City of Sherman, Grayson County, Texas, according to the plat thereof recorded in Volume 18, Page 135, Plat Records, Grayson County, Texas;

THENCE South 74 degrees 41 minutes 02 seconds West, along the north line of said Lot 3, Block One, a distance of 154.62 feet to a 1/2 inch iron rod found with yellow plastic cap stamped "TXHS" for the southeast corner of Lot 4, Block 4 of said Dr. J.H. Carraway's Sub-Division;

THENCE North 13 degrees 31 minutes 24 seconds West, along the east line of said Lot 4, Block 4, a distance of 560.87 feet to a 1/2 inch iron rod found for the northeast corner of said Lot 4, Block 4 and lying in the said southeast right-of-way line of E. Lamberth Road;

THENCE North 74 degrees 41 minutes 05 seconds East, along the said southeast right-of-way line of E. Lamberth Road, a distance of 154.62 feet to the POINT OF BEGINNING and containing 86,679 square feet or 1.990 acres of land more or less.

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That REMINGTON SHERMAN AUTOMOTIVE, II, LLC, a Texas limited liability company, acting by and through its duly authorized agent, does hereby adopt this plat, designating the herein described property as SHERMAN CHEVROLET QUICK LUBE, an addition to the City of Sherman, Grayson County, Texas, Being 1.990 acres situated in the J.B. McAnair Survey, Abstract No. 763, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever any streets and easements shown on this plat for the mutual use and accommodation of all public and private utilities desiring to use or using same. Any public or private utility shall have the right to remove and keep removed all or parts of any building, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on any of these easement strips and any public of private utility shall, at all times, have a right of ingress and egress to and from and upon the said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or parts of its respective system without permission of anyone.

This plat approved subject to all ordinances, rules and regulations and resolutions of the City of Sherman, Texas.

WITNESS MY HAND THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2026.

REMINGTON SHERMAN AUTOMOTIVE, II, LLC, a Texas limited liability company

By: \_\_\_\_\_ Stanley V. Graff - Trustee

STATE OF TEXAS COUNTY OF GRAYSON

Before me, the undersigned authority, a Notary Public in and for the County and State on this day personally appeared Stanley V. Graff, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Notary Public, State of Texas

AVIGATION RELEASE

STATE OF TEXAS COUNTY OF GRAYSON

KNOW ALL MEN BY THESE PRESENTS:

That REMINGTON SHERMAN AUTOMOTIVE, II, LLC, a Texas limited liability company, hereinafter called OWNER (whether one or more), is the owner of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described in this plat.

OWNER does hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Grayson County, Texas, a home-rule municipality, hereinafter called CITY, and the Sherman Municipal Airport, hereinafter called AIRPORT, and their respective successors and assigns, of and from any and all claims for damages of any kind that OWNER may now have or may hereinafter have in the future by reason of the passage of any and all aircraft ("aircraft" being defined for the purpose of this instrument as any contrivance now known or hereinafter invented, including by not limited to jet, propeller-driven, civil, military, experimental or commercial aircraft and helicopters, regardless of existing or future noise levels, designed or used for the purpose of transporting persons or property through the air, by whoever owned or operated), in the airspace over OWNER'S property. Such release shall include, but not be limited to, any damages to OWNER'S property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at, taking off from, operating at or on, or being maintained at the Sherman Municipal Airport, whether such claim be by injury or death to person or persons or damages to or taking of property.

This Release shall be binding upon OWNER and OWNER'S successors, heirs, executors, administrators and assigns, and shall be a covenant running with the land.

Executed this \_\_\_\_ day of \_\_\_\_\_, AD, 2026.

REMINGTON SHERMAN AUTOMOTIVE II, LLC, a Texas limited liability company

By: \_\_\_\_\_ STANLEY V. GRAFF, TRUSTEE

Before me, the undersigned authority, a Notary Public in and for the County and State on this day personally appeared STANLEY V. GRAFF, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Notary Public, State of Texas

SURVEYORS STATEMENT

STATE OF TEXAS

I, J.R. JANUARY, do hereby certify that I prepared this replat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of Sherman, Texas.

Dated this the \_\_\_\_ day of \_\_\_\_\_, 2026.

**Preliminary plat, for inspection purposes only. In no way official or approved for record purposes. (04/17/2026)**

J.R. JANUARY Texas Registered Professional Land Surveyor No. 5382

STATE OF TEXAS COUNTY OF GRAYSON

Before me, the undersigned authority, a Notary Public in and for the County and State on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Notary Public, State of Texas

GENERAL NOTES:

- 1) The purpose of this replat is to create one lot out of two platted lots.
2) All easements and rights-of-way dedicated to the city by this plat include the following rights:
The right of the city to change the size of any facilities installed, maintained, or operated within the area;
The right of the city to relocate any facilities within the area; and
The right of the city to remove from the area vegetation or other obstructions which endanger or may interfere with the efficiency and maintenance of any facilities within the area.
3) Bearings are based upon the Texas State Plane Coordinate System, North Central Zone 4202, North American Datum of 1983, (2011).
4) City of Sherman Benchmarks:
MON #1-102
N= 7,296,768.7152'; E= 2,546,427.8690'; Elevation= 836.203'
MON #1-103
N= 7,290,326.7858'; E= 2,548,334.1553'; Elevation= 792.684'

5) Subject property is located within an area having a Zone Designation "X" by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 48181C0290G, with a date of identification of 04/12/2021, for Community Number 480171, in Dallas County, State of Texas, which is the current Flood Insurance Rate Map for the community in which said property is situated.

CITY APPROVAL
Approved this \_\_\_\_ day of \_\_\_\_\_, 2026, by the City Planning and Zoning Commission of the City of Sherman, Texas.
Chairman Secretary

TEXAS HERITAGE SURVEYING, LLC
10610 Metric Drive, Suite 124, Dallas, TX 75243
Office 214-340-9700 Fax 214-340-9710
txheritage.com Firm #10169300
J.R. JANUARY RPLS#5382

FINAL REPLAT
SHERMAN CHEVEROLET QUICK LUBE
LOT 2R, BLOCK 4
BEING A REPLAT OF
LOTS 2 & 3, BLOCK 4
DR. J.H. CARRAWAY'S ADDITION
J.B. McANAIR SURVEY,
ABSTRACT NO. 763
CITY OF SHERMAN, GRAYSON COUNTY, TEXAS
DATE: 04/14/2026 / JOB # 2301939-3 / SCALE= 1" = 40' / DRAWN: KO
PAGE 2 OF 2



Eng. File No. 2833-A  
CSS # 000091-2025-PLAT

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**PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER**

July 15, 2025

Stanley V. Graff, Trustee of the Reed  
Remington Graff 2004 Trust II  
3311 Oak Lawn Ave., Ste. 250  
Dallas, TX 76219

Texas Heritage Surveying, LLC  
Attn: J.R. January, RPLS  
10610 Metric Dr., Ste. 124  
Dallas, TX 75243

Dear Applicants,

The request for approval of the Preliminary Plat of Sherman Chevrolet Quick Lube has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

1. Privately owned and maintained detention in accordance with City criteria may be required for any impervious additions. Engineering documentation shall be provided to the City of Sherman Engineering Department for review and approval. If detention is required, Ownership and Maintenance information to be shown on plat. *Code of Ordinances Chapter 10.03.006; Engineering Design Standards Manual Sec. 4.18*
2. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
3. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

If additional information or clarification is needed, do not hesitate to email [engineering@cityofsherman.com](mailto:engineering@cityofsherman.com) prior to the meeting.

Respectfully,



Wayne E. Lee, P.E., CFM  
Director of Engineering

cc: Dr. Zachary Flores, City Manager  
Tom Pruitt, Utility Engineer  
Clint Philpott, Assistant City Manager  
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney  
Rob Rae, Director of Development Services  
Dillon Stewart, Fire Marshal



**Planning & Zoning Commission Development Services**

Agenda Item No. 7.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**\* 2206 EAST LAMAR STREET (Project No. 000372-2026)**

The request of Goodwill Industries of Northeast Texas, Inc. (Owner), Katherine Alford (Applicant) and Kimley-Horn and Associates, Inc. (Surveyor) concerning the property located at 2206 East Lamberth Street, consisting of 12.670 acres in the George B. Pilant Survey, Abstract No. 963 and currently zoned C-2 (General Commercial) District, as follows:

***Planning and Zoning Commission***

Final Plat of Goodwill Sherman

**Background:**

The property is located at 2206 East Lamar Street. The owner is requesting final plat approval.

The following has been approved at this location:

- 09/16/2025 - to allow a 57' side set back in lieu of the required 60' for the existing structure. To allow a 39' tall building in lieu of the allowed 35' for the existing structure. To allow a 39' tall building in lieu of the allowed 35' for the proposed structure. Zone Change from a C-1(Retail Business) District to a C-2 (General Commercial) District. SUP to allow Warehousing in a C-2(General Commercial) District. ORD# 6882 ZONE CHANGE & ORD# 6883 SUP
- 09/12/2025 - Preliminary Plat of Goodwill Sherman. (Conditionally Approved)
- 08/21/2007 - To allow tire sales and automobile repair with outdoor displays in a C-2 (General Commercial) District P&Z Condition: 2 wheel racks (2'x10'x6') 3 tire stacks (4 tires each) up against wall of bldg & remove north sign CC - NO OUTSIDE DISPLAYS & REMOVE NORTH SIGN
- 08/21/2007 - To not require the owner to provide screening between the commercial zoned tract adjacent to residential zoning until future development on the lot occurs.
- 09/19/2006 - Zone Change R-1 to C-1 ORD# 5420

**Origination:**

The request of Goodwill Industries of Northeast Texas, Inc. (Owner), Katherine Alford (Applicant) and Kimley-Horn and Assoc. Inc (Surveyor).

**Staff Recommendation:**

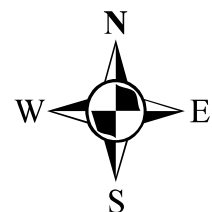
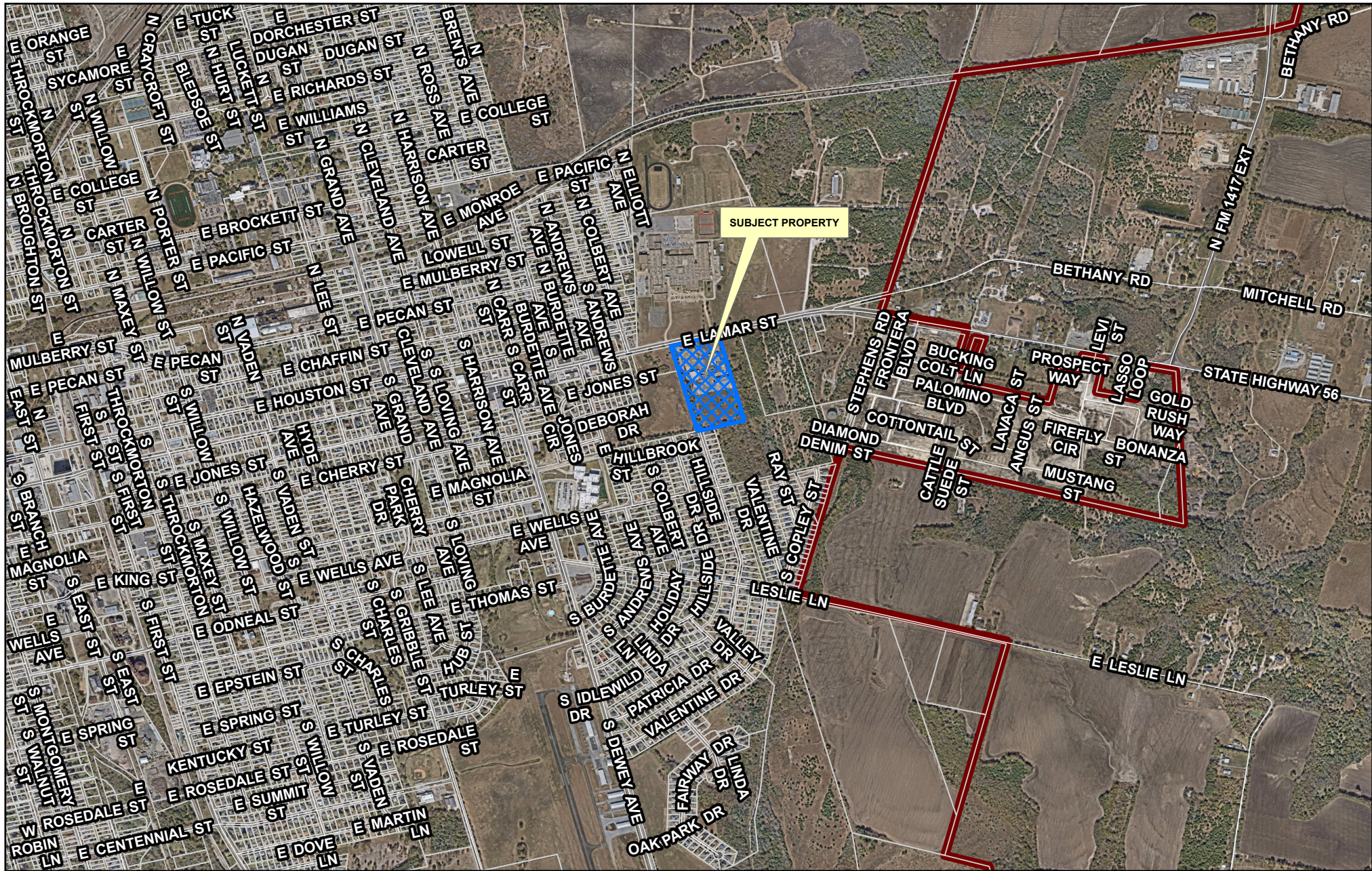
Staff recommends that P&Z approve this item.

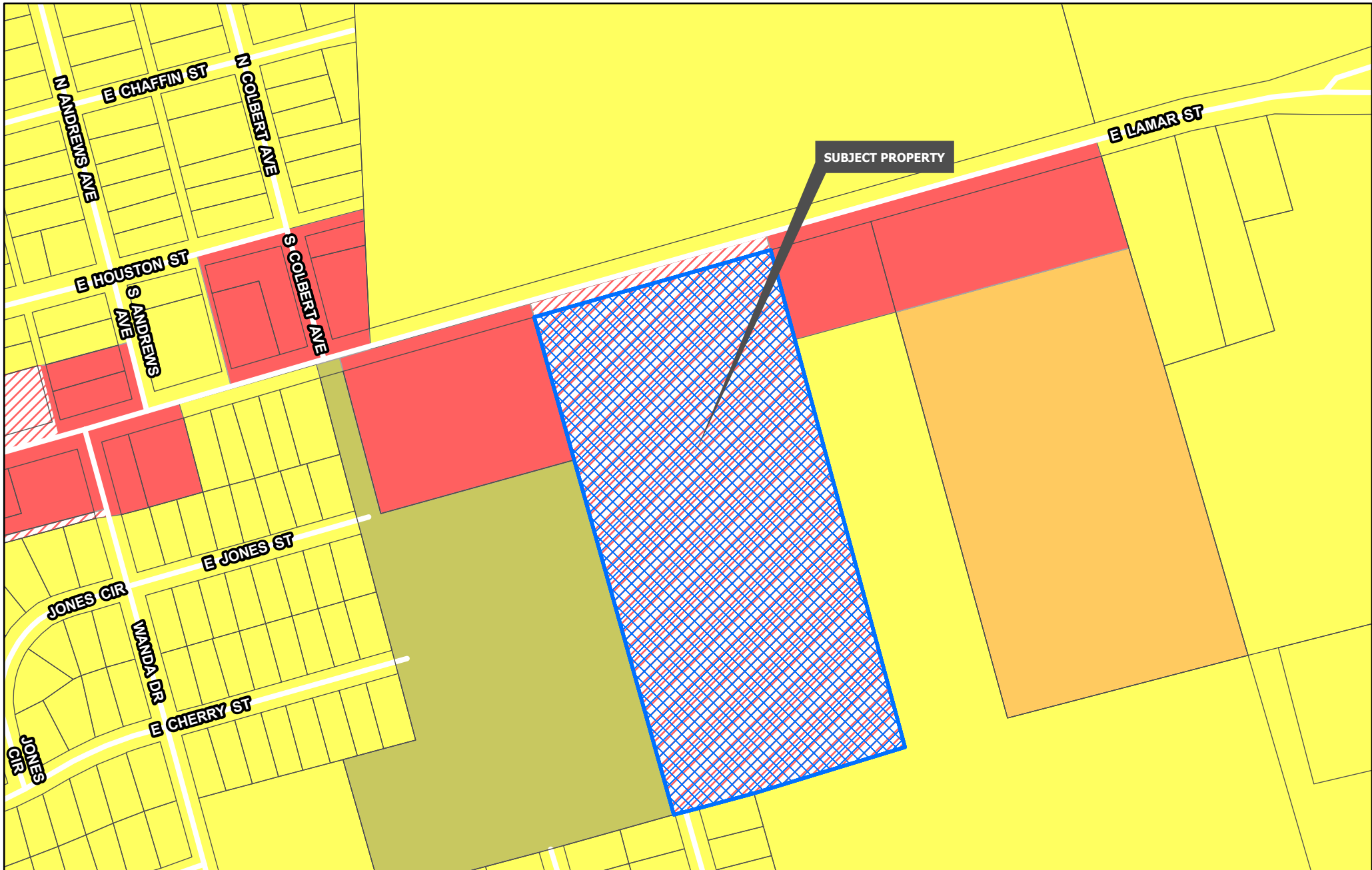
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**Attachments:**

1. Location Map

2. Zoning Map
3. Future Landuse Map
4. Final Plat
5. Conditional Approval Letter





- |                                |                                |                            |
|--------------------------------|--------------------------------|----------------------------|
| Planning & Zoning              | R-4 Patio Home Residential     | C-O Office                 |
| R-A Residential Agricultural   | R-2F Duplex Residential        | C-1 Retail Business        |
| R-E Estate Residential         | R-TH Townhome Residential      | C-2 General Commercial     |
| R-12 Single Family Residential | MF-15 Multi-Family Residential | M-1 Light Manufacturing    |
| R-6 Single Family Residential  | MF-30 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-5 Single Family Residential  | MH Manufactured Housing        | M-2 Heavy Manufacturing    |
|                                | C-N Neighborhood Commercial    | PD Planned Development     |

**CITY OF SHERMAN**  
**ZONING MAP**  
**2206 E LAMAR ST**



**CORE NEIGHBORHOOD**

**Intent & Character**

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

**Appropriate Land Use Types**

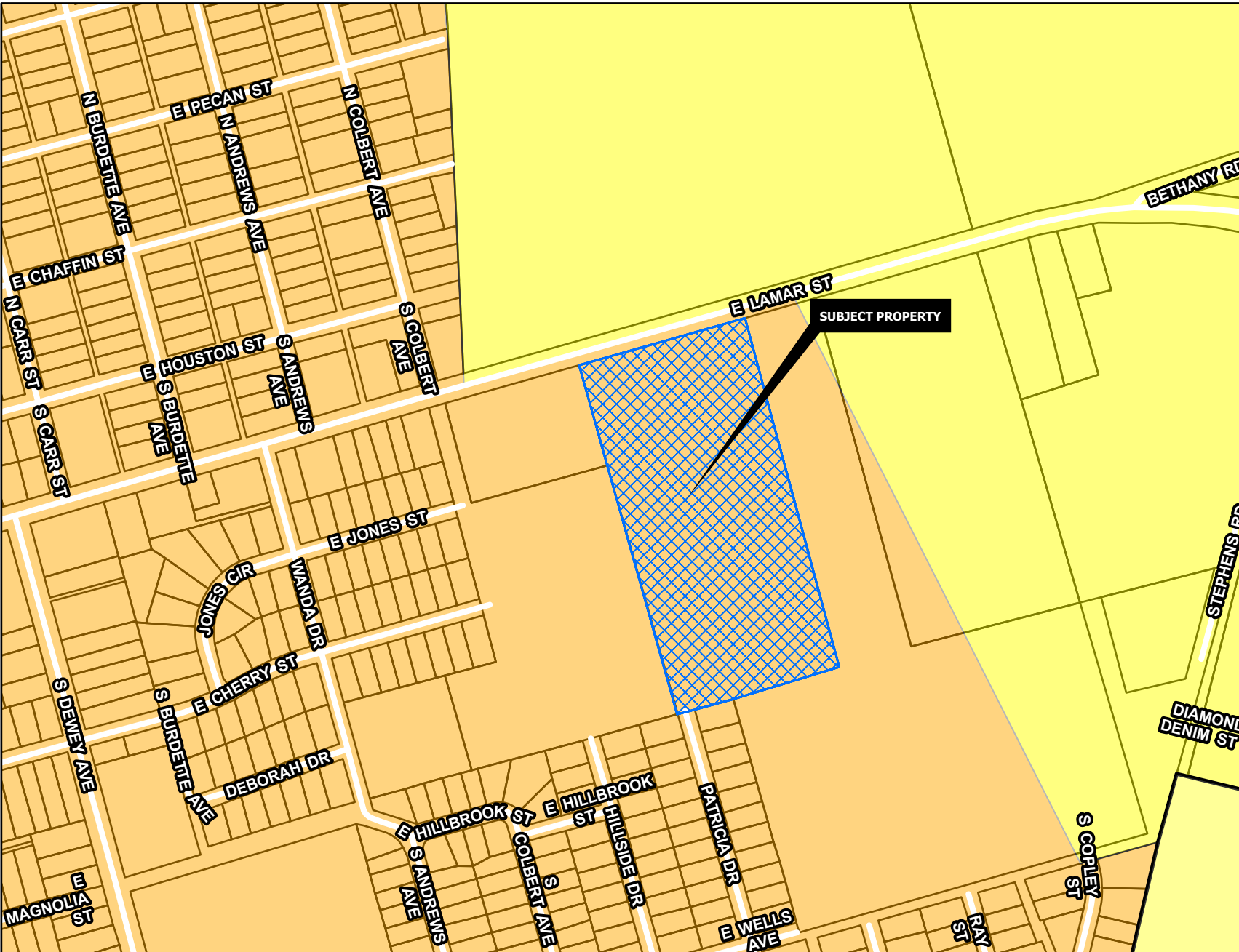
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

**Compatible Zoning Districts**

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

**Considerations**

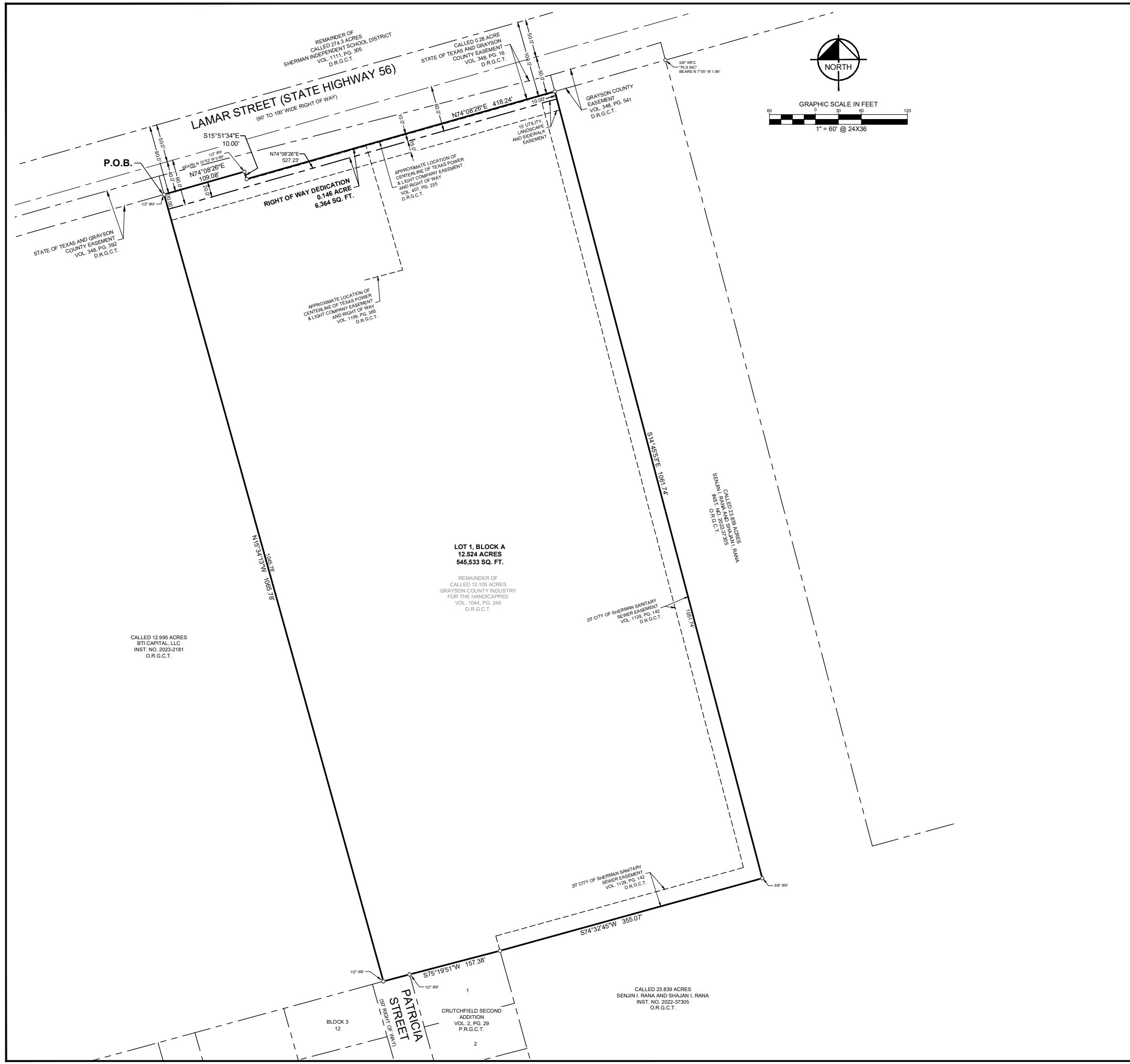
- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



- |                      |                       |                   |
|----------------------|-----------------------|-------------------|
| Agriculture/Rural    | Core Neighborhood     | Technology Hub    |
| Airport              | Downtown              | Planning & Zoning |
| City Parkland        | Regional Commercial   |                   |
| Community Commercial | Suburban Neighborhood |                   |

**CITY OF SHERMAN  
FUTURE LANDUSE MAP  
2206 E LAMAR ST**





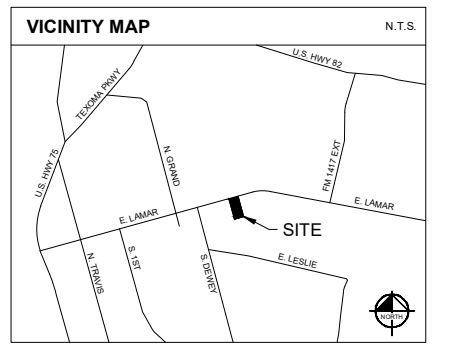
**LEGEND**

ROOF DRAIN	MAL BOX	SANITARY SEWER CLEAN OUT
CABLE TV BOX	SANITARY SEWER MANHOLE	SANITARY SEWER MARKER FLAG
CABLE TV HANDHOLE	SANITARY SEWER MARKER SIGN	SANITARY SEWER SEPTIC TANK
CABLE TV MANHOLE	STORM SEWER BOX	SANITARY SEWER VAULT
CABLE TV MARKER FLAG	STORM SEWER DRAIN	STORM SEWER MANHOLE
CABLE TV MARKER SIGN	STORM SEWER VAULT	STORM SEWER MARKER SIGN
COMMUNICATIONS BOX	UNIDENTIFIED BOX	UNIDENTIFIED MANHOLE
COMMUNICATIONS HANDHOLE	UNIDENTIFIED HANDHOLE	UNIDENTIFIED MARKER FLAG
COMMUNICATIONS MANHOLE	UNIDENTIFIED MANHOLE	UNIDENTIFIED MARKER SIGN
COMMUNICATIONS MARKER FLAG	UNIDENTIFIED MARKER FLAG	UNIDENTIFIED POLE
COMMUNICATIONS MARKER SIGN	UNIDENTIFIED POLE	UNIDENTIFIED TANK
FIBER OPTIC BOX	UNIDENTIFIED TANK	UNIDENTIFIED VALVE
FIBER OPTIC HANDHOLE	UNIDENTIFIED VALVE	WATER VALVE
FIBER OPTIC MANHOLE	WATER VALVE	WATER VAULT
FIBER OPTIC MARKER FLAG	WATER VAULT	WATER VALVE
FIBER OPTIC MARKER SIGN	WATER VALVE	WATER VALVE
FIBER OPTIC VAULT	WATER VALVE	WATER VALVE
MONITORING WELL	WATER VALVE	WATER VALVE
GAS HANDHOLE	WATER VALVE	WATER VALVE
GAS METER	WATER VALVE	WATER VALVE
GAS MANHOLE	WATER VALVE	WATER VALVE
GAS MARKER FLAG	WATER VALVE	WATER VALVE
GAS SIGN	WATER VALVE	WATER VALVE
GAS TANK	WATER VALVE	WATER VALVE
GAS VAULT	WATER VALVE	WATER VALVE
GAS VALVE	WATER VALVE	WATER VALVE
TELEPHONE BOX	WATER VALVE	WATER VALVE
TELEPHONE HANDHOLE	WATER VALVE	WATER VALVE
TELEPHONE MANHOLE	WATER VALVE	WATER VALVE
TELEPHONE MARKER FLAG	WATER VALVE	WATER VALVE
TELEPHONE MARKER SIGN	WATER VALVE	WATER VALVE
TELEPHONE VAULT	WATER VALVE	WATER VALVE
PIPELINE MARKER SIGN	WATER VALVE	WATER VALVE
ELECTRIC BOX	WATER VALVE	WATER VALVE
FLOOD LIGHT	WATER VALVE	WATER VALVE
GUY ANCHOR	WATER VALVE	WATER VALVE
GUY ANCHOR POLE	WATER VALVE	WATER VALVE
ELECTRIC HANDHOLE	WATER VALVE	WATER VALVE
ELECTRIC METER	WATER VALVE	WATER VALVE
ELECTRIC MANHOLE	WATER VALVE	WATER VALVE
ELECTRIC MARKER FLAG	WATER VALVE	WATER VALVE
ELECTRIC MARKER SIGN	WATER VALVE	WATER VALVE
ELECTRIC VAULT	WATER VALVE	WATER VALVE
UTILITY POLE	WATER VALVE	WATER VALVE
ELECTRIC TRANSFORMER	WATER VALVE	WATER VALVE
HANDICAPPED PARKING	WATER VALVE	WATER VALVE
SIGN	WATER VALVE	WATER VALVE

D.R.G.C.T. DEED RECORDS OF GRAYSON COUNTY, TEXAS  
 D.R.G.C.T. PLAT RECORDS OF GRAYSON COUNTY, TEXAS  
 D.P.R.G.C.T. OFFICIAL PUBLIC RECORDS OF GRAYSON COUNTY, TEXAS

**LINE TYPE LEGEND**

BOUNDARY LINE	ADJACENT PROPERTY LINE
EASEMENT LINE	EASEMENT LINE
BUILDING LINE	BUILDING LINE
WATER LINE	WATER LINE
SS - SANITARY SEWER LINE	SANITARY SEWER LINE
ST - STORM SEWER LINE	STORM SEWER LINE
GAS - UNDERGROUND GAS LINE	UNDERGROUND GAS LINE
OE - OVERHEAD UTILITY LINE	OVERHEAD UTILITY LINE
UE - UNDERGROUND ELECTRIC LINE	UNDERGROUND ELECTRIC LINE
UT - UNDERGROUND TELEPHONE LINE	UNDERGROUND TELEPHONE LINE
FENCE	FENCE
CONCRETE PAVEMENT	CONCRETE PAVEMENT
ASPHALT PAVEMENT	ASPHALT PAVEMENT



- NOTES:**
- All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983. All dimensions shown are ground distances. To obtain a grid distance, multiply the ground distance by the Project Combined Factor (PCF) of 0.9998926377.
  - All corners are a 5/8-inch iron rod with plastic cap stamped "KHA" set, unless otherwise noted.
  - Existing structures shown hereon are based upon topographic survey performed on 07/14/2025 and information by others.
  - Existing underground utility information shown hereon is based upon City resources provided on 08/28/2025.
  - Water supply to be provided by City of Sherman.
  - Sewer service to be provided by City of Sherman.
  - Electrical service to be provided by Oncor Electric Delivery Company, LLC.
  - Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
  - Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
  - The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion.
  - All easements and rights-of-way dedicated to the city by this plat include the following rights:
    - The right of the city to change the size of any facilities installed, maintained, or operated within the area;
    - The right of the city to relocate any facilities within the area; and
    - The right of the city to remove from the area vegetation or other obstructions which endanger or may interfere with the efficiency and maintenance of any facilities within the area.

**FLOOD STATEMENT:**

According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48181C0290G, for Grayson County, Texas and incorporated areas, dated September 1, 2022, this property is located within Zone X (unshaded) defined as "Areas determined to be outside the 0.2% annual chance floodplain". If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

**FINAL PLAT  
 GOODWILL SHERMAN  
 LOT 1, BLOCK A**

BEING 12.670 ACRES SITUATED IN  
 THE GEORGE B. PILANT SURVEY,  
 ABSTRACT NO. 963  
 CITY OF SHERMAN,  
 GRAYSON COUNTY, TEXAS

**Kimley»Horn**

6160 Warren Parkway, Suite 210 Tel. No. (972) 335-3580  
 Frisco, Texas 75034 FIRM # 10193822 Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	SG	KHA	03/18/2026	069229002	1 OF 2

**OWNER:**  
 GOODWILL INDUSTRIES OF  
 NORTHEAST OF TEXAS, INC.  
 2208 E. Lamar Street  
 Sherman, TX 75090  
 Contact: Craig D. Boone

**ENGINEER:**  
 KIMLEY-HORN AND ASSOC. INC.  
 2600 N. Central Expressway, Suite 400  
 Richardson, TX 75080  
 Tel. No. (469) 200-3062  
 Contact: Jonathan Kerby, P.E.

3/18/2026 4:31 PM Copyright © 2026 Kimley-Horn and Associates, Inc. All rights reserved.

**OWNER'S CERTIFICATE**

**STATE OF TEXAS §**

**COUNTY OF GRAYSON §**

**WHEREAS GOODWILL INDUSTRIES OF NORTHEAST TEXAS, INC.**, is the sole owner of a tract of land situated in the George B. Pilant Survey, Abstract No. 963, City of Sherman, Grayson County, Texas, and being the remainder of a called 13.105 acre tract of land described in a deed to Grayson County Industry for the Handicapped, Inc., as recorded in Volume 1044, Page 249 of the Deed Records of Grayson County, Texas, and being more particularly described as follows:

**BEGINNING** at a 1/2 inch iron rod found for the southwest corner of a called 0.28 acre tract dedicated as a State of Texas and Grayson County Easement as recorded in Volume 348, Page 16 of the Deed Records of Grayson County, Texas, common to the southeast corner of a called a State of Texas and Grayson County Easement recorded in Volume 348, Page 392 of the Deed Records of Grayson County, Texas, same being on the southerly right of way line of Lamar Street (State Highway 56), a variable width right of way, and the westerly line of said 13.105 acre tract;

**THENCE** North 74°08'26" East, departing the westerly line of said 13.105 acre tract, along the southeasterly line of said 0.28 acre tract and the southeasterly right of way line of said Lamar Street and crossing said 13.105 acres, a distance of 109.08 feet to a point for corner, from which, a 1/2 inch iron rod found for witness bears North 15°52' West, 0.86 feet;

**THENCE** South 15°51'34" East, continuing along the southerly line of said 0.28 acre tract and the southerly right of way line of said Lamar Street and across said 13.105 acre tract, a distance of 10.00 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for corner;

**THENCE** North 74°08'26" East, continuing along the southerly line of said 0.28 acre tract and the southerly right of way line of said Lamar Street and across said 13.105 acre tract, a distance of 418.24 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the southeast corner of said 0.28 acre tract, common to the southwest corner of a Grayson County Easement recorded in Volume 348, Page 541 of the Deed Records of Grayson County, Texas, and the northwest corner of a called 23.839 acre tract of land described in a deed to Senjin I. Rana and Shajan I. Rana, as recorded in Instrument No. 2022-37305 of the Official Records of Grayson County, Texas, same being on the northeasterly line of said 13.105 acre tract;

**THENCE** South 14°45'53" East, departing the southerly right of way line of said Lamar Street, along the northeasterly line of said 13.105 acre tract and the southwesterly line of said 23.839 acre tract, a distance of 1,061.74 feet to a 3/8 inch iron rod found for the southeast corner of said 13.105 acre tract, common to an ell corner of said 23.839 acre tract;

**THENCE** South 74°32'45" West, along the southeasterly line of said 13.105 acre tract and the northwesterly line of said 23.839 acre tract, a distance of 355.07 feet to a 5/8 inch iron rod with plastic cap stamped "KHA" set for the southerly northwest corner of said 23.839 acre tract, common to the northeast corner of Crutchfield Second Addition, according to the plat thereof recorded in Volume 2, Page 29 of the Plat Records of Grayson County, Texas;

**THENCE** South 75°19'51" West, continuing along the southeasterly line of said 13.105 acre tract and along the northwesterly line of said Crutchfield Second Addition, a distance of 157.38 feet to a 1/2 inch iron rod found for the southwest corner of said 13.105 acre tract, common to the southeast corner of a called 12.995 acre tract of land described in a deed to BTI Capital, LLC, as recorded in Instrument No. 2023-2181 of the Official Records of Grayson County, Texas;

**THENCE** North 15°34'13" West, departing the northwesterly line of said Crutchfield Second Addition, along the southwesterly line of said 13.105 acre tract and the northeasterly line of said 12.995 acre tract, a distance of 1,065.78 feet to the **POINT OF BEGINNING** and containing 12.670 acres (551,897 square feet) of land, more or less.

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

**THAT GOODWILL INDUSTRIES OF NORTHEAST TEXAS, INC.**, acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as **GOODWILL SHERMAN, LOT 1, BLOCK A**, an addition to the City of Sherman, Grayson County, Texas. Being 12.670 acres situated in and being a portion of the George B. Pilant Survey, Abstract No. 963, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat for the mutual use and accommodation of all public and private utilities desiring to use or using same. Any public or private utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective systems on any of these easement strips and any public or private utility shall, at all times, have a right of ingress and egress to and from and upon said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without permission of anyone. This plat is approved subject to all ordinances, rules and regulations and resolutions of the City of Sherman, Texas.

WITNESS, my hand at \_\_\_\_\_ County, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

**BY: GOODWILL INDUSTRIES OF NORTHEAST TEXAS, INC.**, a Texas non-profit corporation

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

**STATE OF TEXAS §**

**COUNTY OF \_\_\_\_\_ §**

BEFORE ME, the undersigned authority, a Notary Public in and for the County and State on this day personally appeared \_\_\_\_\_, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Notary Public, State of Texas

**AVIGATION RELEASE**

**STATE OF TEXAS**

**COUNTY OF GRAYSON**

**KNOW ALL MEN BY THESE PRESENTS:**

**WHEREAS, GOODWILL INDUSTRIES OF NORTHEAST TEXAS, INC.**, hereinafter called OWNER, is the owner of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described in this plat.

OWNER does hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a home-rule municipality, hereinafter called CITY, and the Sherman Municipal Airport, hereinafter called AIRPORT, and their respective successors and assigns, of and from any and all claims for damages of any kind that OWNER may now have or may hereinafter have in the future by reason of the passage of and all aircraft ("aircraft" being defined for the purpose of this instrument as any contrivance now known or hereinafter invented, including but not limited to jet, propeller-driven, civil, military, experimental or commercial aircraft and helicopters, regardless of existing or future noise levels, designed or used for the purpose of transporting persons or property through air, by whoever owned or operated), in the airspace over OWNER'S property. Such release shall include, but not be limited to, any damages to OWNER'S property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at, taking off from, or operating at or on, or being maintained at the Sherman Municipal Airport, whether such claim be for injury or death to person or persons or damages to or taking of property.

This Release shall be binding upon OWNER and OWNER's successors, heirs, executors, administrators and assigns, and shall be a covenant running with the land.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, AD, 20\_\_.

\_\_\_\_\_  
(Owner)

**SURVEYOR'S CERTIFICATION**

KNOW ALL MEN BY THESE PRESENTS:

That I, Sylvania Gunawan, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision ordinance of the City of Sherman, Texas.

Sylvania Gunawan  
Registered Professional Land Surveyor No. 6461  
Kimley-Horn and Associates, Inc.  
6160 Warren Pkwy, Suite 210  
Frisco, Texas 75034  
Phone 972-335-3580

Date: \_\_\_\_\_

**STATE OF TEXAS §**

**COUNTY OF COLLIN §**

BEFORE ME, the undersigned authority, a Notary Public in and for the County and State on this day personally appeared Sylvania Gunawan, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purpose and consideration therein and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Notary Public, State of Texas

**PRELIMINARY**

THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

**ACCEPTANCE**

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, by the City Planning and Zoning Commission of the City of Sherman, Texas.

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Secretary

**FINAL PLAT  
GOODWILL SHERMAN  
LOT 1, BLOCK A**

**BEING 12.670 ACRES SITUATED IN  
THE GEORGE B. PILANT SURVEY,  
ABSTRACT NO. 963  
CITY OF SHERMAN,  
GRAYSON COUNTY, TEXAS**

**OWNER:**  
GOODWILL INDUSTRIES OF  
NORTHEAST OF TEXAS, INC.  
2208 E. Lamar Street  
Sherman, TX 75090  
Contact : Craig D. Boone  
**ENGINEER:**  
KIMLEY-HORN AND ASSOC. INC.  
2600 N. Central Expressway, Suite 400  
Richardson, TX 75080  
Tel. No. (469) 200-3062  
Contact: Jonathan Kerby, P. E.

**Kimley»Horn**

6160 Warren Parkway, Suite 210  
Frisco, Texas 75034  
FIRM # 10193822  
Tel. No. (972) 335-3580  
Fax No. (972) 335-3779

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	SG	KHA	03/18/2026	069229002	2 OF 2



Eng. File No. 2844-A  
CSS # 000144-2025-PLAT

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## PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER

September 6, 2025

Goodwill Industries of  
Northeast of Texas, Inc.  
Attn: Craig D. Boone  
2206 E. Lamar St.  
Sherman, TX 750090

Kimley-Horn and Assoc. Inc.  
Attn: Jonathan Kirby, PE  
2600 N. Central Expressway, Ste. 400  
Richardson, TX 75080

Dear Applicants,

The request for approval of the Preliminary Plat of Goodwill Sherman Suites has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

Engineering Comments:

1. Dedicate a 15' Wastewater Easement over existing Wastewater main traversing subject property. *Code of Ordinances Chapter 10.03.007(a); Engineering Design Standards Manual 6.2*
2. Privately owned and maintained detention in accordance with City criteria may be required for any additional impervious area for parking or new buildings. Engineering documentation shall be provided to the City of Sherman Engineering Department for review and approval. If detention is required, Ownership and Maintenance information to be shown on plat. *Code of Ordinances Chapter 10.03.006; Engineering Design Standards Manual Sec. 4.18*
3. City Council approval of Encroachment Agreement for existing parking spaces that will encroach into the plat required right-of-way dedication is required prior to submitting Final Plat. Encroachment Agreement requirements can be obtained by emailing [engineering@cityofsherman.com](mailto:engineering@cityofsherman.com). *Code of Ordinances 10.03.007(d)*
4. City Council approval of Encroachment Agreement for existing parking spaces that will encroach into the plat required 15' Utility, Landscape, and Sidewalk Easement dedication is required prior to submitting Final Plat. Encroachment Agreement requirements can be obtained by emailing [engineering@cityofsherman.com](mailto:engineering@cityofsherman.com). *Code of Ordinances 10.03.007(d)*

5. Final Plat shall not be submitted to the Planning & Zoning Commission until the civil engineering plans, if required, are sufficiently complete. *Code of Ordinances Chapter 10.02.003(a)(4)*
6. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
7. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

If additional information or clarification is needed, do not hesitate to email [engineering@cityofsherman.com](mailto:engineering@cityofsherman.com) prior to the meeting.

Respectfully,



Wayne E. Lee, P.E., CFM  
Director of Engineering

cc: Dr. Zachary Flores, City Manager  
Tom Pruitt, Utility Engineer  
Clint Philpott, Assistant City Manager  
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney  
Rob Rae, Director of Development Services  
Dillon Stewart, Fire Marshal



**Planning & Zoning Commission Development Services**

Agenda Item No. 8.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**\* 615 SOUTH MAXEY STREET (Project No. 000384-2026)**

The request of Gustavo Vega Cortes & Mayra Yanet Gutierrez Campos (Owners), and Keeton Surveying Company (Surveyor) concerning the property located at 615 South Maxey Street, consisting of 0.211 acres, being Lots 7 and 8, and part of Lot 9 Block 7, W. Elliot's Addition, in the George B. Pilant Survey, Abstract No. 963 and currently zoned R-6 (Single-Family Residential) District, as follows:

***Planning and Zoning Commission***

Final Plat of CC Addition.

**Background:**

The property is located at 615 South Maxey Street. The owner is requesting final plat approval.

The following has been approved at this location:

- 3/11/2026 - Preliminary Plat of Lot 7R, Block 7, CC Addition. (Conditionally Approved)

**Origination:**

The request of Gustavo Vega Cortes & Mayra Yanet Gutierrez Campos (Owners), and Keeton Surveying Company (Surveyor).

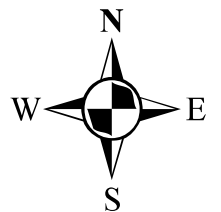
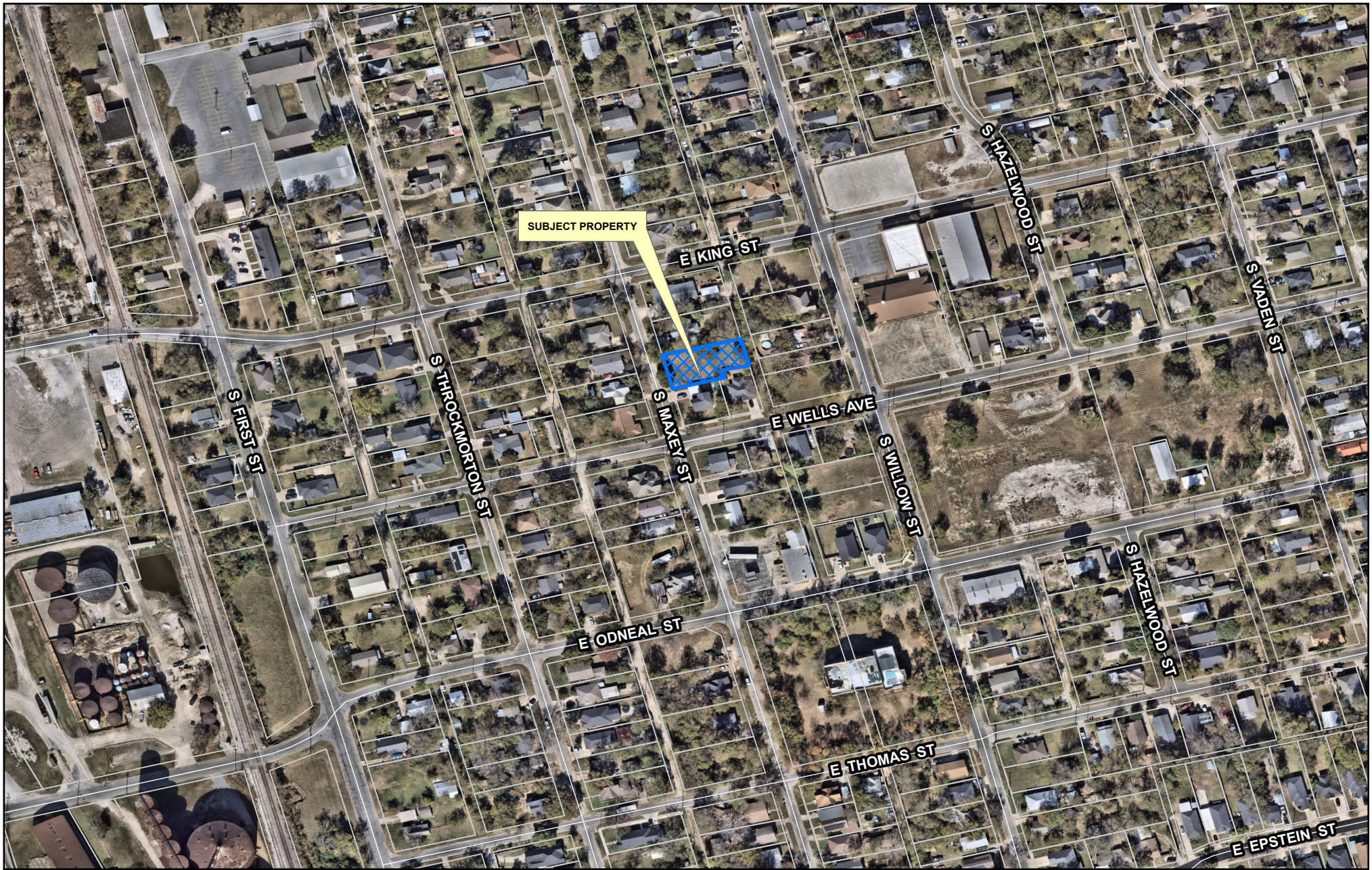
**Staff Recommendation:**

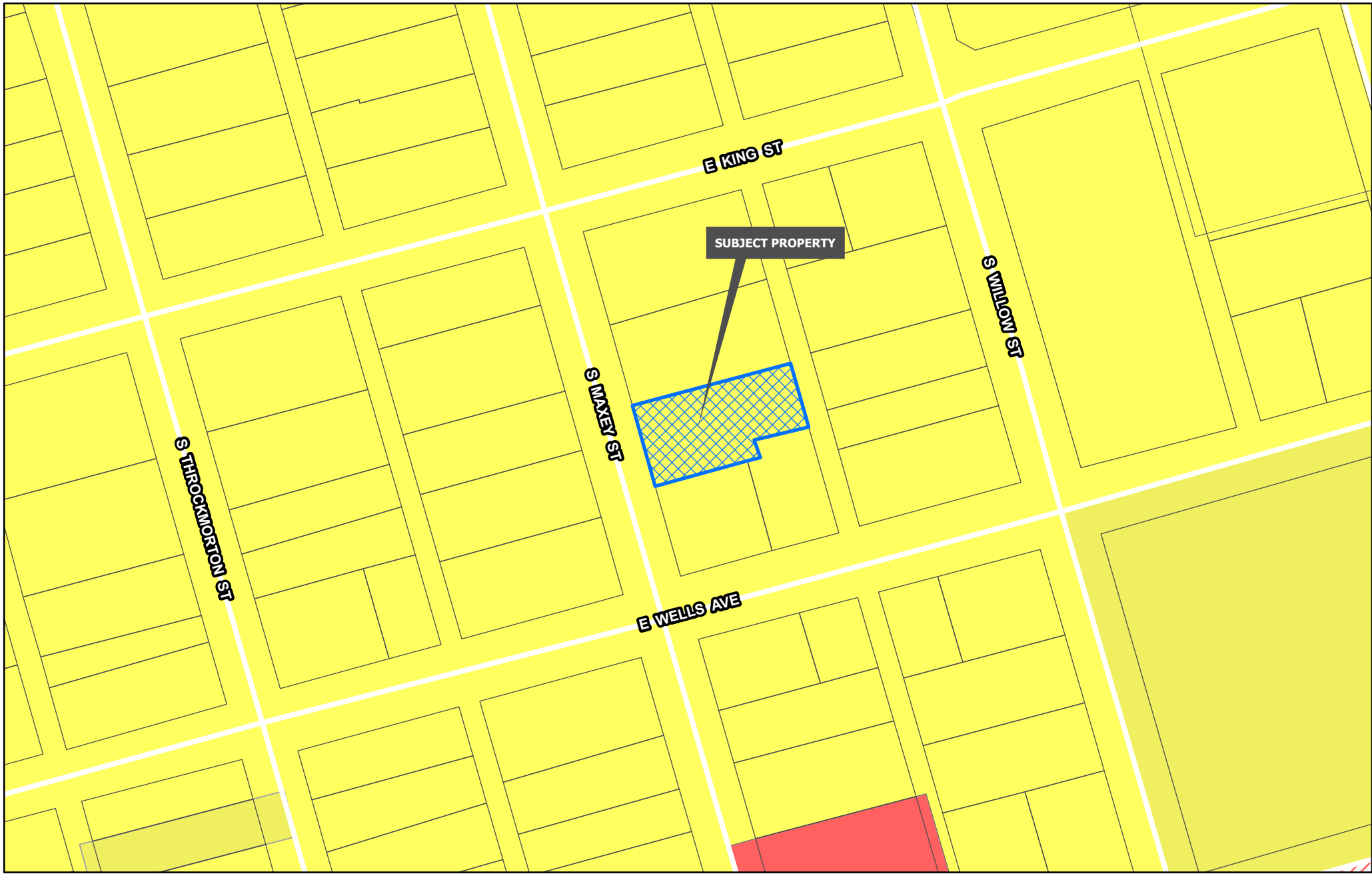
Staff recommends that P&Z approve this item.

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**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Final Plat
5. Conditional Approval Letter





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN  
ZONING MAP  
615 S MAXEY ST**





**CORE NEIGHBORHOOD**

**Intent & Character**  
 The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

**Appropriate Land Use Types**

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

**Compatible Zoning Districts**

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

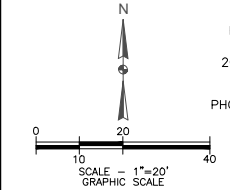
**Considerations**

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



**PREPARED BY:**  
**KEETON SURVEYING COMPANY**  
 H.B. KEETON M.S. KEETON  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 2037 DALWORTH STREET P.O. BOX 530204  
 GRAND PRAIRIE, TEXAS 75051-0204  
 EMAIL: ksc4019@sbcglobal.net  
 PHONE: (972) 641-0843 TBPELS FIRM NO. 1009050

**OWNERS:**  
**GUSTAVO VEGA CORTES**  
**MAYRA YANET GUTIERREZ CAMPOS**  
 2015 BRIDGET DRIVE  
 MESQUITE, TEXAS 75149



**OWNERS DEDICATION:**

State of Sherman:  
 County of Grayson:  
 NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT **GUSTAVO VEGA CORTES AND MAYRA YANET GUTIERREZ CAMPOS**, do hereby adopt this plat designating the hereon above described real property as **CC Addition, Lot 7R, Block 7**, an addition to the City of Sherman, Grayson County, Texas, Being 0.211 acres situated in and being a portion of the George B. Pilant Survey, Abstract No. 963, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat for the mutual use and accommodation of all public and private utilities desiring to use or using same. Any public or private utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths which in any way endanger or interfere with the construction, maintenance, or efficiency of its respective systems on any of these easement strips any any public or private utility shall, at all times, have a right of ingress and egress to and from and upon said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without permission of anyone. This plat is approved subject to all ordinances, rules and regulations and resolutions of the City of Sherman, Texas.

Witness, my hand at \_\_\_\_\_ County Texas this \_\_\_\_ day of \_\_\_\_\_, 2026

By:

**GUSTAVO VEGA CORTES**  
 (Owner)

**MAYRA YANET GUTIERREZ CAMPOS**  
 (Owner)

**AVIGATION RELEASE:**

State of Sherman:  
 County of Grayson:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, **GUSTAVO VEGA CORTES AND MAYRA YANET GUTIERREZ CAMPOS**, herein called OWNER, are the owners of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described in this plat.

OWNER does hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a home-rule municipality, hereinafter called CITY, and the Sherman Municipal Airport, hereinafter called AIRPORT, and their respective successors and assigns, of and from any and all claims for damages of any kind that OWNER may now have or may hereinafter have in the future by reason of the passage of any and all aircraft ("aircraft" being defined for the purpose of this instrument as any contrivance now know or hereinafter invented, including but not limited to jet, propeller-driven, civil, military, experimental or commercial aircraft and helicopters, regardless of existing or future noise levels, designed or used for the purpose of transporting person or property through the air, by whoever owned or operated), in the airspace over OWNER's property. Such release shall include, but not be limited to, any damages to OWNER's property. Such release shall include, but not be limited to, any damages to OWNER's property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at, taking off from, operating at or on, or being maintained at the Sherman Municipal Airport, whether such claim be for injury or death to person or person or damages to or taking of property.

This Release shall be binding upon OWNER and OWNER's successors, heirs, executors, administrators and assigns, and shall be covenant running with the land.

Executed this \_\_\_\_ day of \_\_\_\_\_, 2026.

**GUSTAVO VEGA CORTES**  
 (Owner)

**MAYRA YANET GUTIERREZ CAMPOS**  
 (Owner)

**ACKNOWLEDGMENTS:**

STATE OF TEXAS:  
 COUNTY OF GRAYSON:

Before me the undersigned authority, a Notary Public, in and for the County and State on this day personally appeared **GUSTAVO VEGA CORTES**, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein and in the capacity therein stated.

Given under my hand and seal of office on the \_\_\_\_ day of \_\_\_\_\_, 2026.

NOTARY PUBLIC, State of Texas

**ACKNOWLEDGMENTS:**

STATE OF TEXAS:  
 COUNTY OF GRAYSON:

Before me the undersigned authority, a Notary Public, in and for the County and State on this day personally appeared **MAYRA YANET GUTIERREZ CAMPOS**, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purposes and consideration therein and in the capacity therein stated.

Given under my hand and seal of office on the \_\_\_\_ day of \_\_\_\_\_, 2026.

NOTARY PUBLIC, State of Texas

**OWNERS CERTIFICATE:**

State of Texas:  
 County of Grayson:

WHEREAS, **Gustavo Vega Cortes and Mayra Yanet Gutierrez Campos**, are the sole owners of a tract of land situated in the George B. Pilant Survey, Abstract No. 963, County of Grayson, City of Sherman, according to the General Warranty Deed thereof recorded in Instrument No. 2025-21091, of the Official Public Records of Grayson County, Texas, said tract being known as all of Lots 7 and 8, and a part of Lot 9, Block 7, W. Elliott's Addition, an Addition to the City of Sherman, Grayson County, Texas, according to the Plat thereof recorded in Volume 101, Page 4-5, of the Deed Records of Grayson County, Texas, and being more particularly described as follows:

**BEGINNING** at a 1/2 inch iron rod marked "RPLS 6585 Preston" found for most south corner of said Cortes-Campos tract, the most west corner of Lot 10R, Block 7, Moran Addition an addition to the City of Sherman thereof recorded in Instrument No. 2021-129, of the Official Public Records of Grayson County, Texas, said point also being in the east line of Maxey Street (50 foot right-of-way) and the west line of said Lot 9;

**THENCE** N. 16°01'321" W., with the west line of said Cortes-Campos tract same being the west line of said Lots 9, 8, and 7, and the said east line of Maxey Street, a distance of 71.55 feet to a 1/2 inch iron rod with cap marked "RPLS 6578" found for the most west corner of said Cortes-Campos tract same being the most west corner of said Lot 7, and the most south corner of Lot 6, said Block 7;

**THENCE** N. 74°56'42" E., departing said east line of Maxey Street and with the north line of said Cortes-Campos tract same being the north line of said Lot 7 and the south line of said Lot 6, a distance of 140.07 feet to a 1/2 inch iron rod with cap marked "RPLS 6578" found for the most north corner of said Cortes-Campos tract same being the most north corner of said Lot 7 and the most east corner of said Lot 6, said point also being in the west line of a 20 foot alley of said Block 7;

**THENCE** S. 15°58'02" E., with the most easterly east line of said Cortes-Campos tract same being the east line of said Lots 7, 8, and 9 and said west line of 20 foot alley, a distance of 54.06 feet to a 1/2 inch iron rod with cap marked "RPLS 6578" found for the most east corner of said Cortes-Campos tract and the most north corner of Lot 11R, Block 7, of said Moran Addition;

**THENCE** S. 74°52'28" W., departing said 20 foot alley, over and across said Lot 9, and with the most northerly south line of said Cortes-Campos tract and the most northerly north line of said Lot 11R, a distance of 47.03 feet to a point for corner from which a 1/2 inch iron rod found bears S. 45°45'58" W., 0.15 feet;

**THENCE** S. 16°05'22" E., over and across said Lot 9, and with the common line of said Cortes-Campos tract and said Lot 11R, a distance of 17.25 feet to a point for corner 1/2 inch iron rod found bears S. 24°58'59" W., 0.15 feet;

**THENCE** S. 74°49'56" W., over and across said Lot 9, and with the common line of said Cortes-Campos tract and said Lot 11R, passing at a distance of 11.00 feet a 1/2 inch iron rod with cap marked "RPLS" found for the most west corner of said Lot 11R, continuing with over and across said Lot 9, and with the common line of said Cortes-Campos tract and said Lot 10R, a total distance of 93.00 feet to the **POINT OF BEGINNING** and **CONTAINING** 9,188 square feet or 0.211 acres of land more or less.

**SURVEYORS CERTIFICATE:**

Know All Men By These Presents:

THAT I, **Kurtis R. Webb**, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision ordinance of the City of Sherman, Texas.

"PRELIMINARY, FOR REVIEW ONLY  
 NOT TO BE RECORDED FOR ANY PURPOSES"

**Kurtis R. Webb**  
 Registered Professional Land Surveyor  
 Texas Registration No. 4125

Date: \_\_\_\_\_

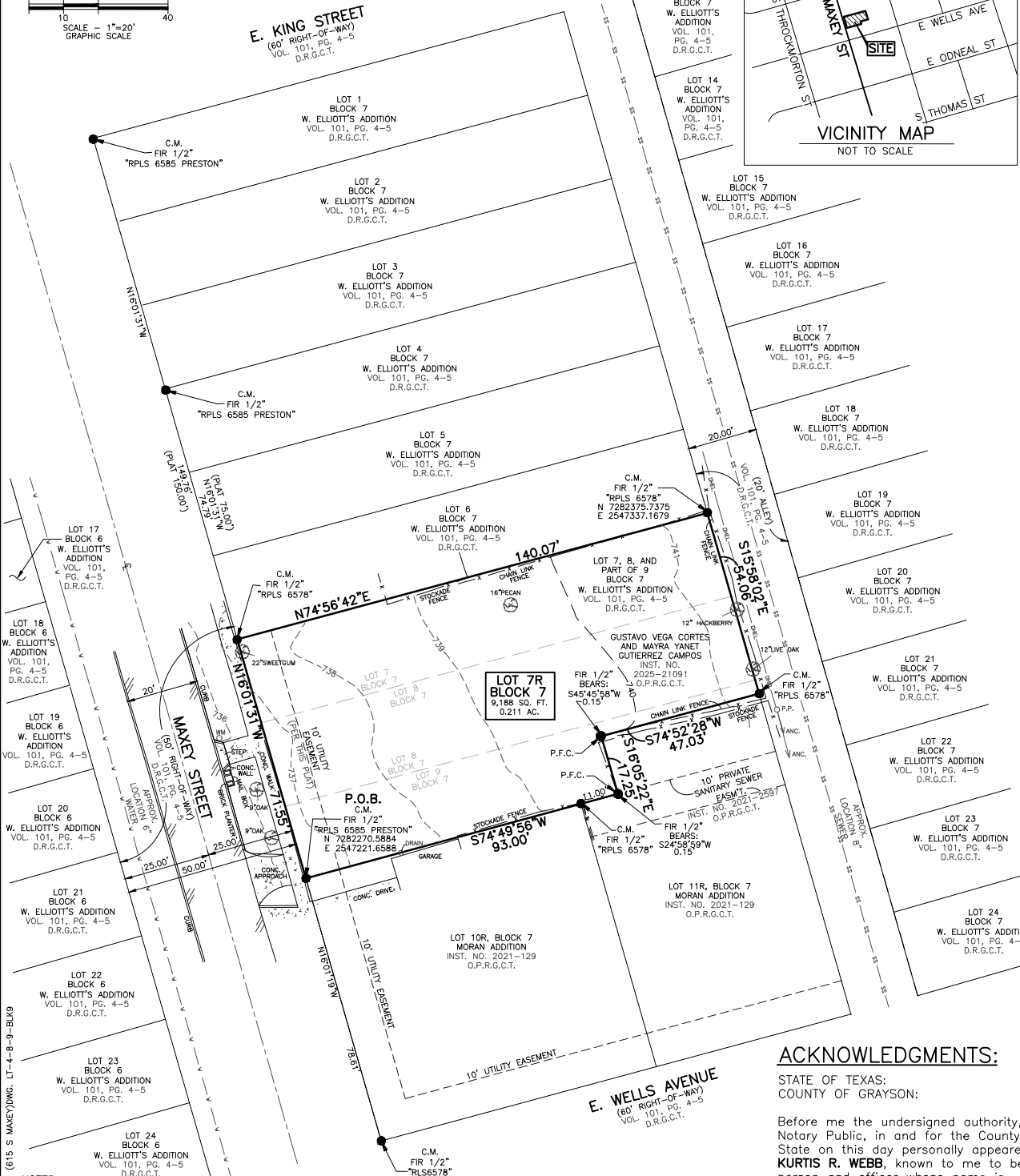
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026, BY THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF SHERMAN, TEXAS.

Chairman \_\_\_\_\_ Secretary \_\_\_\_\_

**FINAL PLAT**  
**CC ADDITION**  
**LOT 7R, BLOCK 7**  
 ONE LOT CONTAINING 9,188 SQ. FT. OR 0.211 ACRES  
 AN ADDITION TO  
 THE CITY OF SHERMAN,  
 GRAYSON COUNTY, TEXAS  
 BEING A REPLAT OF  
 LOTS 7 AND 8, AND A PART OF 9, BLOCK 7  
 W. ELLIOTT'S ADDITION  
 AN ADDITION TO THE CITY OF SHERMAN  
 GRAYSON COUNTY, TEXAS

DATE: FEBRUARY 28, 2026  
 REVISED: MARCH 27, 2026

CASE NO. \_\_\_\_\_



**NOTES:**  
 1. Basis of bearing and coordinates for this survey is the Texas State Plane Coordinate System, NAD83, Realization 2011, Texas North Central Zone, 4202, based upon GPS measurements, according to the SmartNet GPS Reference Network. Coordinates are grid.  
 2. C.M. ~ Denotes Controlling Monuments  
 3. Existing or future minimum set-backs established by the city ordinance shall take precedence over building lines indicated on this plat.  
 4. The purpose of this replat is to create one lot out of two lots and a part of a lot.  
 5. I have examined the Flood Insurance Rate Map for the City of Sherman, Grayson County, Texas, Community Panel No. 48181C0290G, Map Effective Date: 9-1-22, Zone "X", and it appears that no part of the subject property lies in a special flood hazard area.  
 6. The Surveyor has not abstracted the record title and/or easements of the subject property. The Surveyor prepared this survey without the benefit of a title commitment and assumes no liability for any easements, right-of-way dedications or other title matters affecting the subject property.  
 7. Water and sewer to be provided by City of Sherman, Electrical to be provided by Oncor Electric Delivery Co.  
 8. All easements and rights-of-way dedicated to the city by this plat include the following rights: a. The right of the city to change the size of any facilities installed, maintained, or operated within the area; b. The right of the city to relocate any facilities within the area; and c. The right of the city to remove from the area vegetation or other obstructions which endanger or may interfere with the efficiency and maintenance of any facilities within the area.

**ACKNOWLEDGMENTS:**

STATE OF TEXAS:  
 COUNTY OF GRAYSON:

Before me the undersigned authority, a Notary Public, in and for the County and State on this day personally appeared **KURTIS R. WEBB**, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein and in the capacity therein stated.

Given under my hand and seal of office on the \_\_\_\_ day of \_\_\_\_\_, 2026.

NOTARY PUBLIC,  
 State of Texas

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**PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER**

April 13, 2026

Gustavo Vega Cortes  
Mayra Yanet Gutierrez Campos  
2015 Bridget Drive  
Mesquite, TX 75149

Keeton Surveying Company  
2037 Dalworth Street  
P.O. Box 530204  
Grand Prairie, TX 75051

Dear Applicants,

The request for approval of the Preliminary Plat CC Addition Lot, 7R, Block 7 has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

Additional Informational Engineering Comments:

1. References to State and County in Owners Dedication and Avigation Release shall read State of Texas and County of Grayson.
2. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
3. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

If additional information or clarification is needed, do not hesitate to email [engineering@cityofsherman.com](mailto:engineering@cityofsherman.com) prior to the meeting.

Respectfully,



Wayne E. Lee, P.E., CFM  
Director of Engineering

cc: Dr. Zachary Flores, City Manager  
Tom Pruitt, Utility Engineer  
Clint Philpott, Assistant City Manager  
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney

Rob Rae, Director of Development Services  
Dillon Stewart, Fire Marshal



**Planning & Zoning Commission Development Services**

Agenda Item No. 9.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**\* 10 TIMBERCREEK ROAD (Project No. 000386-2026)**

The request of Tonya and Harry Hudgins (Owners), and Copley Land Surveying (Surveyor) concerning the property located at 10 Timbercreek Road, consisting of 6.421 acres, being all of Lot 1 and Lot 2, of a Replat of Lot Three (3) of the Corrected Plat, Lisa Addition, in the George W. McGlothlin Survey, Abstract No. 828 and William Thompson Survey, Abstract No. 1210 and currently zoned R-6 (Single-Family Residential) District, as follows:

***Planning and Zoning Commission***

Final Plat of Hudgins Addition.

**Background:**

The property is located at 10 Timbercreek Road. The owner is requesting final plat approval.

The following has been approved at this location:

- 3/11/2026 - Preliminary Plat of Hudgins Addition. (Conditionally Approved)

**Origination:**

The request of Tonya and Harry Hudgins (Owners), and Copley Land Surveying (Surveyor).

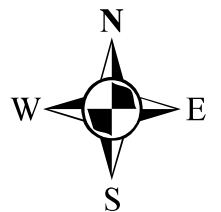
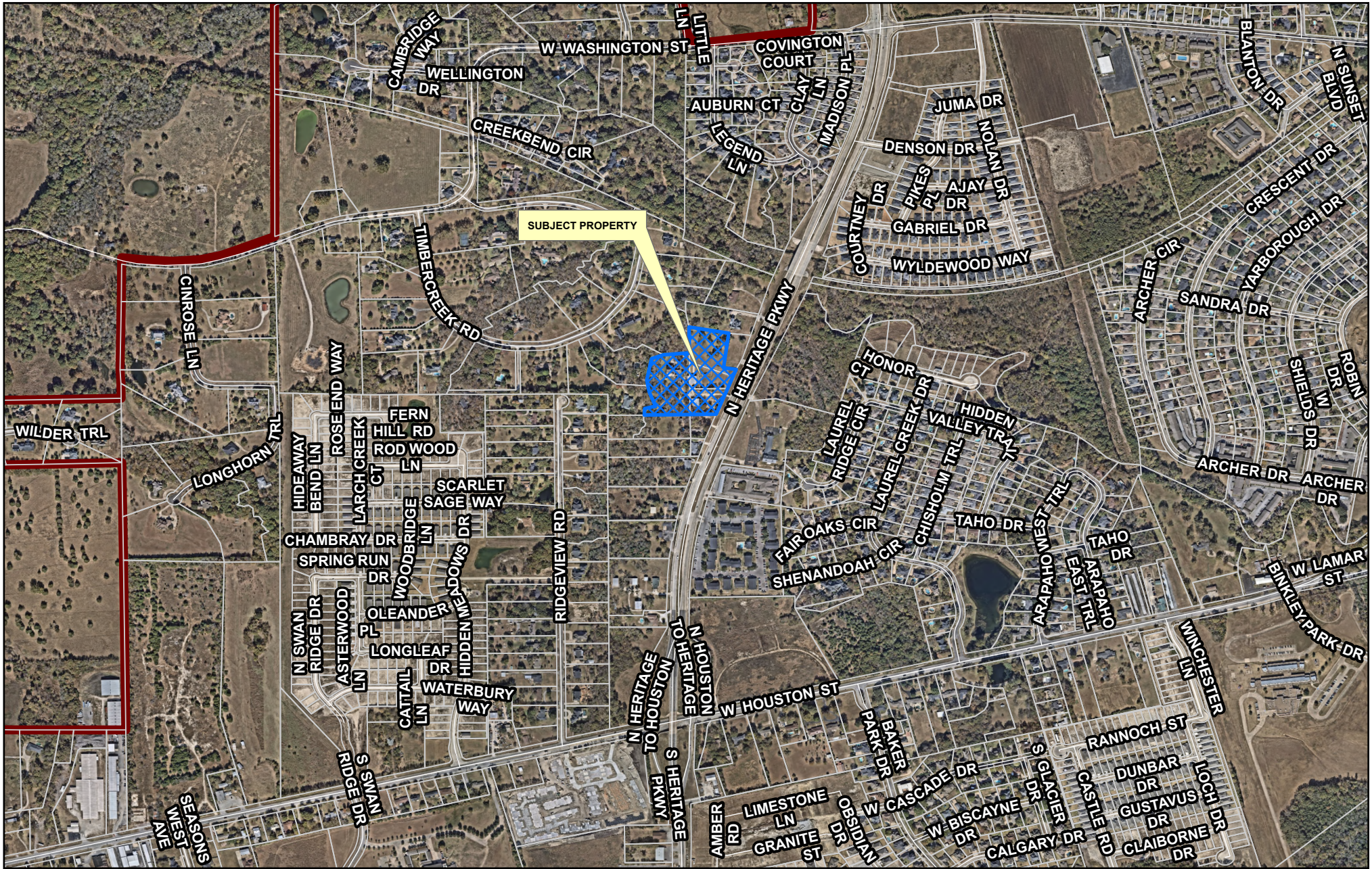
**Staff Recommendation:**

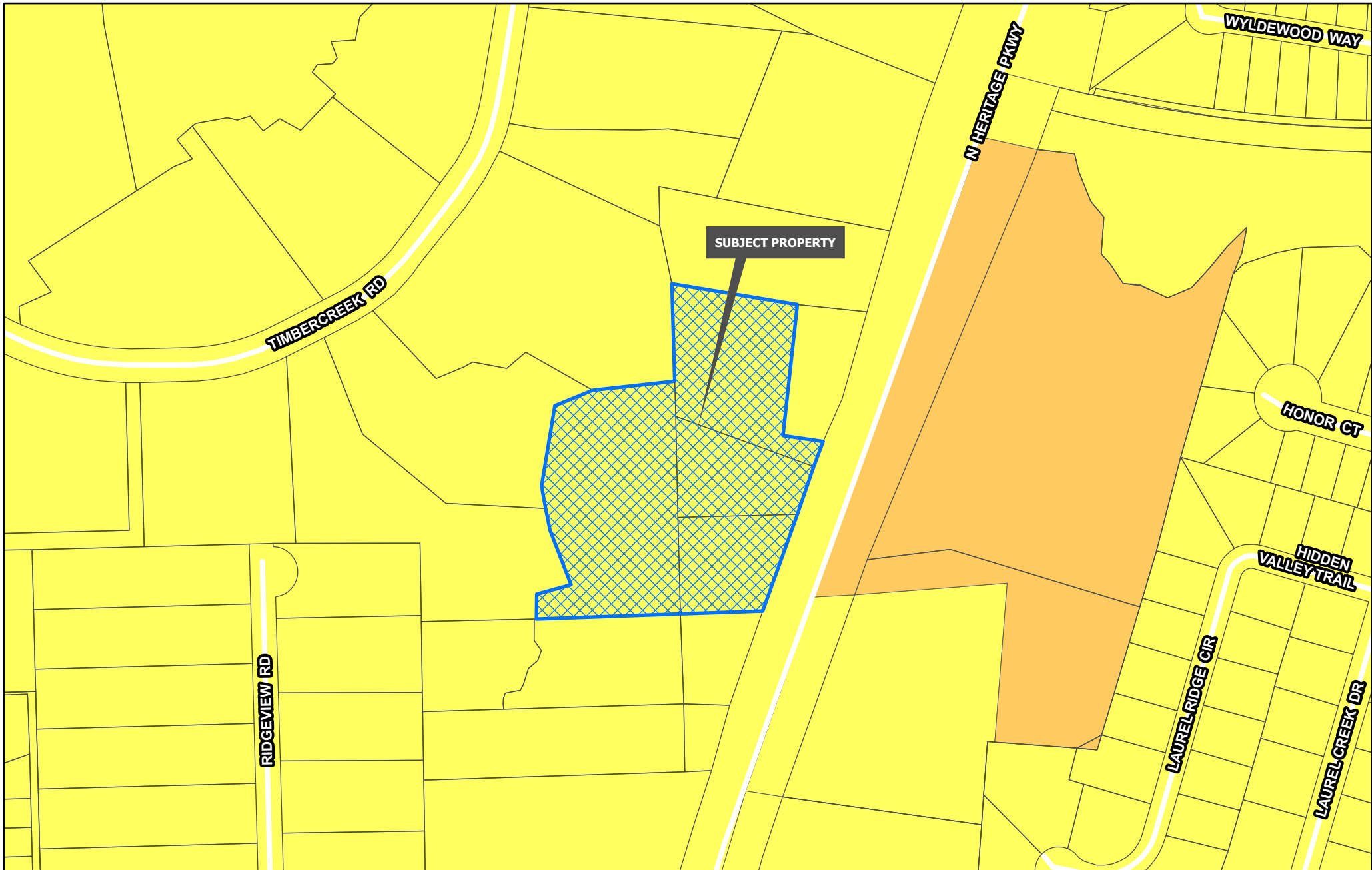
Staff recommends that P&Z approve this item.

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**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Final Plat
5. Conditional Approval Letter





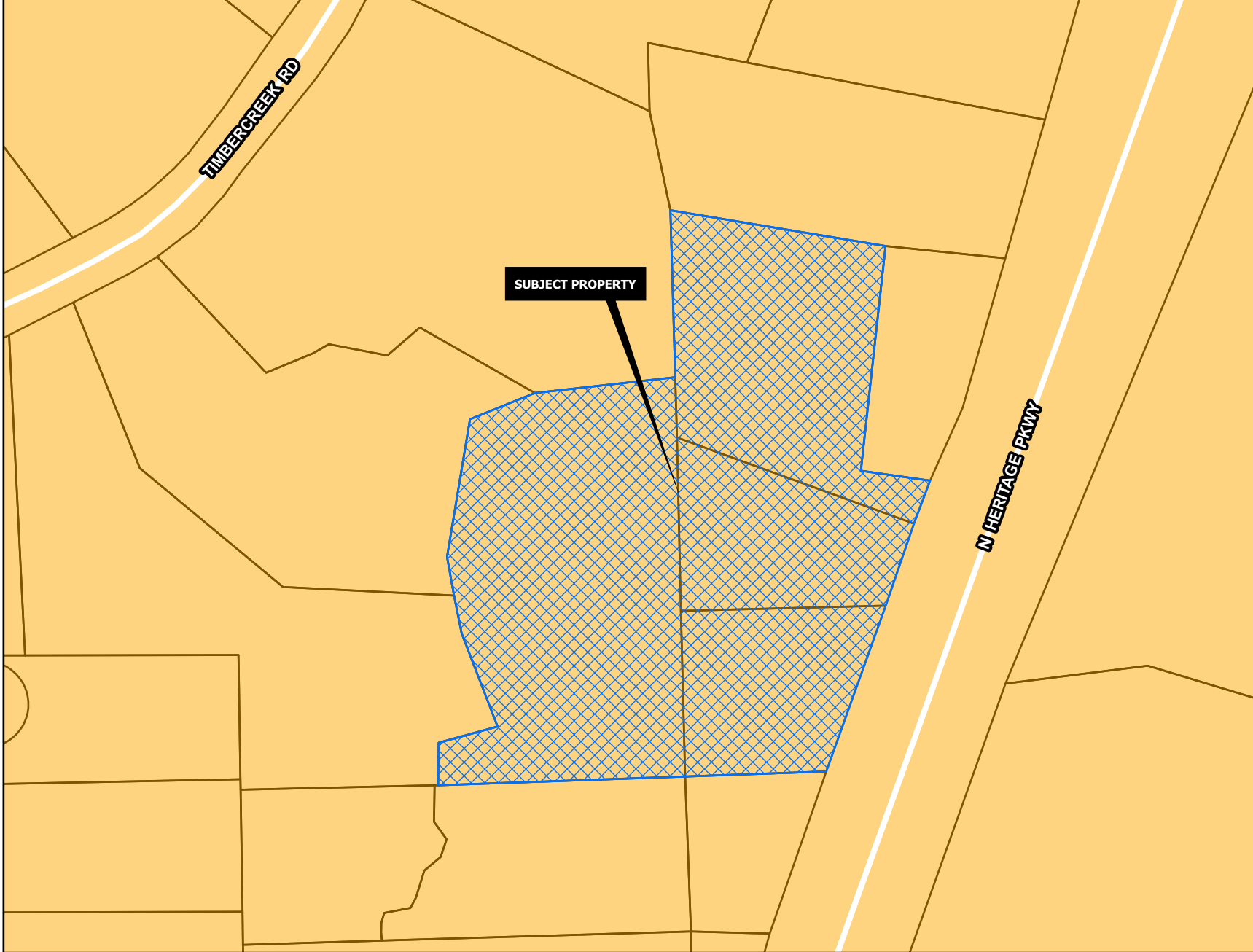
SUBJECT PROPERTY



Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN  
ZONING MAP  
10 TIMBERCREEK RD**





**CORE NEIGHBORHOOD**

**Intent & Character**  
 The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

**Appropriate Land Use Types**

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

**Compatible Zoning Districts**

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

**Considerations**

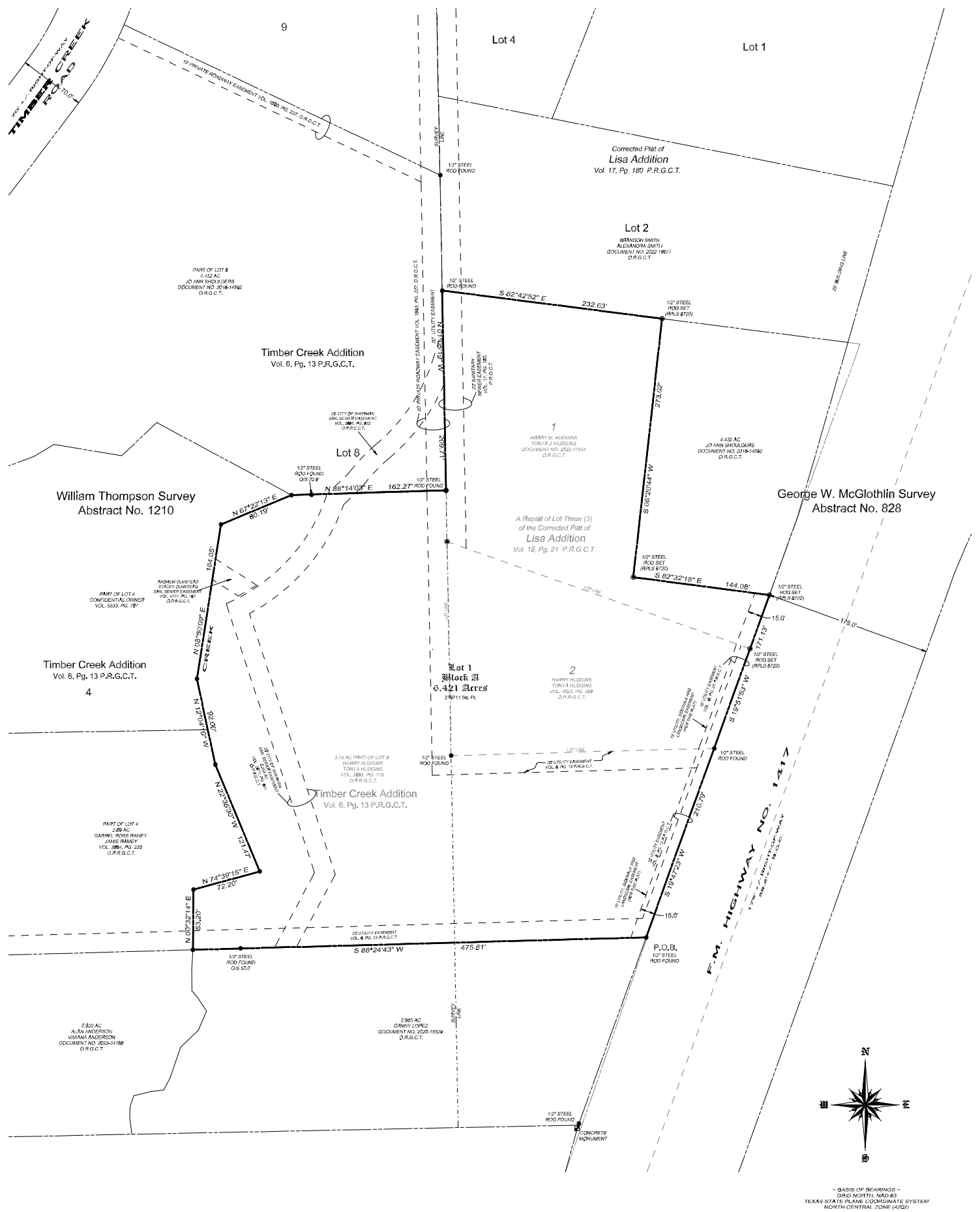
- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



- |                      |                       |                   |
|----------------------|-----------------------|-------------------|
| Agriculture/Rural    | Core Neighborhood     | Technology Hub    |
| Airport              | Downtown              | Planning & Zoning |
| City Parkland        | Regional Commercial   |                   |
| Community Commercial | Suburban Neighborhood |                   |

**CITY OF SHERMAN  
 FUTURE LANDUSE MAP  
 10 TIMBERCREEK RD**





Legal Description

Situated in the City of Sherman, County of Grayson, State of Texas, being a part of the George W. McGlothlin Survey, Abstract No. 828 and William Thompson Survey, Abstract No. 1210, and being all of Lot 1 and Lot 2, of A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition, an addition to the City of Sherman, Texas as shown by plat of record in Volume 18, Page 21, Plat Records, Grayson County, Texas and being the 3.75 acre part of Lot 8, Timber Creek Addition, an addition to the City of Sherman, Texas as shown by plat of record in Volume 6, Page 13 of said Plat Records conveyed to Harry Hudgins and Tonya Hudgins by deed of record in Volume 3625, Page 110, Official Public Records, Grayson County, Texas and being more particularly described by metes and bounds as follows:

Beginning at a 1/2" steel rod found in the west right-of-way line F.M. Highway No. 1417 maintaining the southeast corner of said Lot 8, Timber Creek Addition, and the northeast corner of a 2.985 acre tract of land conveyed to Danny Lopez by deed of record in Document No. 2020-15529, Official Records, Grayson County, Texas;

Thence South 88°24'43" West, along the south line of said Lot 8, Timber Creek Addition, and the north line of said 2.985 acre tract, passing a 1/2" steel rod found at a distance of 425.77 feet, continuing for a total distance of 475.81 feet to a point in the center of a branch of Timber Creek, said point being the most southerly southwest corner of said Lot 8, Timber Creek Addition, the southeast corner of Lot 4 of said Timber Creek Addition, the northwest corner of said 2.985 acre tract, and the northeast corner of a 0.932 acre tract of land conveyed to Alan Anderson and Viviana Anderson by deed of record in Document No. 2022-34168 of said Official Records;

Thence along the center of said creek branch, the west line of said Lot 8 and east line of said Lot 4, Timber Creek Addition the following calls and distances: North 00°32'14" East, a distance of 63.20 feet to a point; North 74°39'15" East, a distance of 72.20 feet to a point; North 22°36'30" West, a distance of 121.47 feet to a point; North 12°04'10" West, a distance of 92.00 feet to a point; North 08°50'09" East, a distance of 184.05 feet to a point; North 67°22'13" East, a distance of 80.19 feet to a point said point being the northwest corner of said 3.75 acre part of Lot 8, Timber Creek Addition and the most southerly southwest corner of a 4.432 acre part of Lot 8, Timber Creek Addition;

Thence North 88°14'03" East, along the north line of said 3.75 acre part of Lot 8, Timber Creek Addition and the south line of said 4.432 acre part of Lot 8, passing a 1/2" steel rod found at a distance of 20.89 feet, continuing for a total distance of 162.27 feet to a 1/2" steel rod found maintaining the most northerly northeast corner of said 3.75 acre part of Lot 8, Timber Creek Addition, the southeast corner of said 4.432 acre part of Lot 8 and in the west line of said Lot 1, A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition;

Thence North 01°05'19" West, along the west line of said Lot 1, A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition, and the east line of said Lot 8, Timber Creek Addition, a distance of 209.71 feet to a 1/2" steel rod found maintaining the northwest corner of said Lot 1, A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition and the southwest corner of Lot 2, of the Corrected Plat of Lisa Addition, an addition to the City of Sherman, Texas as shown by plat record in Volume 17, Page 180 of said Plat Records;

Thence South 82°42'52" East, along the north line of said Lot 1, A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition, and the south line of said Lot 2, of the Corrected Plat of Lisa Addition, a distance of 232.63 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 for the northeast corner of said Lot 1, A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition and the northwest corner of a 4.432 acre tract of land conveyed to Jo Ann Shoulders by deed of record in Document No. 2018-14592 of said Official Records;

Thence South 06°20'44" West, along the east line of said Lot 1, A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition, and the west line of said 4.432 acre tract, a distance of 273.02 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 for the southwest corner of said 4.432 acre tract and the inside ell corner of said Lot 1, A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition;

Thence South 82°32'18" East, along the north line of said Lot 1, A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition, and the south line of said 4.432 acre tract, a distance of 144.08 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 in the west right-of-way line of said F.M. Highway No. 1417 for the most southerly northeast corner of said Lot 1, A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition and the southeast corner of a 4.432 acre tract;

Thence South 19°51'53" West, along the east line of said A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition, and the west right-of-way line of said F.M. Highway No. 1417, a distance of 171.13 feet to a 1/2" steel rod found maintaining the southeast corner of said Lot 2, A Replat of Lot Three (3) of the Corrected Plat of Lisa Addition and the most southerly northeast corner of said Lot 8, Timber Creek Addition;

Thence South 19°47'23" West, continuing along the west right-of-way line of said F.M. Highway No. 1417, and the east line of said Lot 8, Timber Creek Addition, a distance of 210.79 feet to the Point-of-Beginning and containing 6.421 acres of land.

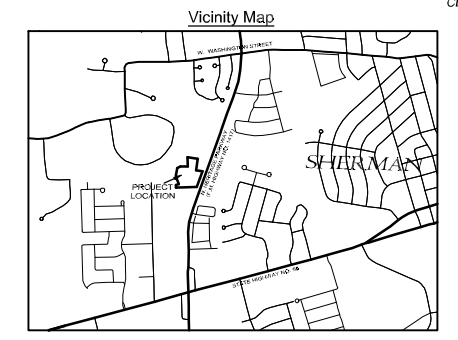
KNOWN ALL MEN BY THESE PRESENTS:

That I, John C. Copley, Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments thereon where property placed, under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

John C. Copley Registered Professional Land Surveyor No. 6720 Firm No. 10194429 Date

- GENERAL NOTES -
- Water Supply to be provided by the City of Sherman.
  - Sewer service to be provided by the City of Sherman.
  - Electrical service is provided by Oncoor Electrical Delivery.
  - Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
  - Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
  - The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion.
  - Neither the City of Sherman nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
  - The owners and builders must comply with all other local, state and federal regulations regarding developments of this type.
  - Meetings are based on the City of Sherman Control Monument Network.
  - The City of Sherman reserves the right to require submission of Development Plat based on proposed use of each lot.
  - All easements and rights of way dedicated to the City of Sherman by this plat include the following rights:
    - (i) The right of the City to change the size of any facilities installed, maintained, or operated within the area;
    - (ii) The right of the City to relocate any facilities within the area; and
    - (iii) The right of the City to remove from the area vegetation or other obstructions which endanger or may interfere with the efficiency and maintenance of any facilities within the area.

Purpose: The purpose of this Replat is to combine part of 1 Lot and all of 2 Lots into 1 Lot. Plat Summary: Lot 1: 6.421 Acres, Residential



Owner's Certificate of Dedication

That HARRY HUDGINS AND TONYA HUDGINS, acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as the Replat Hudgins Addition, an addition to the City of Sherman, Grayson County, Texas, Being 6.421 acres situated in and being a portion of the George W. McGlothlin Survey, Abstract No. 828 and William Thompson Survey, Abstract No. 1210, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat. HARRY HUDGINS AND TONYA HUDGINS does herein certify the following:

- The streets and alleys are dedicated in fee simple for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens, and other encumbrances.
- The easements and public use areas, as shown, and created by this plat, are dedicated for the public use forever for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the City of Sherman.
- The City of Sherman is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Sherman's use thereof.
- The City of Sherman and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The City of Sherman and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the City of Sherman.

WITNESS my hand at \_\_\_\_\_ County, Texas, this \_\_\_\_\_ day of \_\_\_\_\_, (2026).

HARRY HUDGINS

TONYA HUDGINS

STATE OF TEXAS COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared HARRY HUDGINS known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public, State of Texas

STATE OF TEXAS COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared TONYA HUDGINS known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

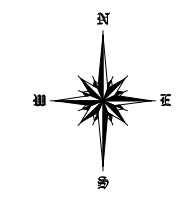
GIVEN UNDER MY HAND AND SEAL OF OFFICE this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public, State of Texas

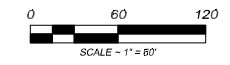
Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2026, by the City Planning Commission to the City of Sherman, Texas.

Chairman

Secretary



BASE OF BEARINGS - GRID NORTH: NAD 83 TEXAS STATE PLANE COORDINATE SYSTEM NORTH CENTRAL: 20N (42SP)



Copley Land Surveying 5590 JFH 120, Sherman, Texas 75020 903-415-0643 john@copleylandsurveying.com

OWNERS/DEVELOPER HARRY HUDGINS TONYA HUDGINS 10 TIMBERCREEK ROAD SHERMAN, TEXAS 75092

SURVEYOR JOHN C. COPLEY R.P.L.S. NO. 6720 1702 VERDI LN. SHERMAN, TEXAS 75092

Replat Hudgins Addition an addition to the City of Sherman Grayson County, Texas Being a Replat of Lot 1 & 2, of the Replat of Lot Three (3) of the Corrected Plat of Lisa Addition and being a Replat of a part of Lot 8, of Timber Creek Addition

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**PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER**

April 13, 2026

Harry Hudgins  
Tonya Hudgins  
10 Timbercreek Road  
Sherman, TX 75092

John C. Copley  
1702 Verdi Lane  
Sherman, TX 75090

Dear Applicants,

The request for approval of the Preliminary Plat of Hudgins Addition has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

Additional Informational Engineering Comments:

1. Show instrument information for existing 20' Utility Easement as established in Volume 6, Page 13, PRGCT. *Code of Ordinances Chapter 10.02.002(e)(11)*
2. Remove building setback lines from Final Plat. *Code of Ordinances, Chapter 10, Sec. 10.02.003*
3. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
4. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

If additional information or clarification is needed, do not hesitate to email [engineering@cityofsherman.com](mailto:engineering@cityofsherman.com) prior to the meeting.

Respectfully,



Wayne E. Lee, P.E., CFM  
Director of Engineering

cc: Dr. Zachary Flores, City Manager  
Tom Pruitt, Utility Engineer  
Clint Philpott, Assistant City Manager  
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney

Rob Rae, Director of Development Services  
Dillon Stewart, Fire Marshal



## Planning & Zoning Commission Development Services

Agenda Item No. 10.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

### **Requested Action/Proposed Use:**

#### **\* 506 NORTH GRAND AVENUE (Project No. 000388-2026)**

The request of Michael and Heather Putnam (Owners) and Helvey-Wagner Surveying, Inc. (Surveyors) concerning the property located at 506 North Grand Avenue, consisting of 0.938 acres, being Lots 3, 4, 7 and 8, Block 18, College Park Addition, in the C. Carter Survey, Abstract No. 229 and currently zoned R-6 (Single-Family Residential) District/College Park Overlay District as follows:

#### ***Planning and Zoning Commission***

Final Plat of Putnam Estate.

### **Background:**

The property is located at 506 North Grand Avenue. The owner is requesting final plat approval.

The following has been approved at this location:

- 4/21/2026 - Public Hearing and Zone Change from MF-30 (Multifamily Residential) District to R-6 (Single Family Residential) District.
- 4/13/2026 - Preliminary Plat of Putnam Estate. (Conditionally Approved)
- 2/20/2018 - To allow a 5' side yard setback (south property line) for a residential dwelling in lieu of the required 9' in an R-1 (One Family Residential) District/College Park Overlay District.
- 8/22/2017 - Specific Use Permit and site plan approval to allow a bed and breakfast with existing building finishes in an R-1 (One Family Residential) District, R-2 (Multi-family Residential) District/College Park Overlay District. **Ord. No 6060**
- 5/13/2003 - Bed & Breakfast in an R-1. **Ord. No. 5135**

### **Origination:**

The request of Michael and Heather Putnam (Owners) and Helvey-Wagner Surveying, Inc. (Surveyors).

### **Staff Recommendation:**

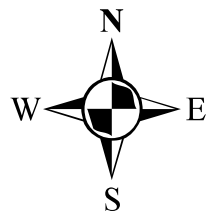
Staff recommends that P&Z approve this item.

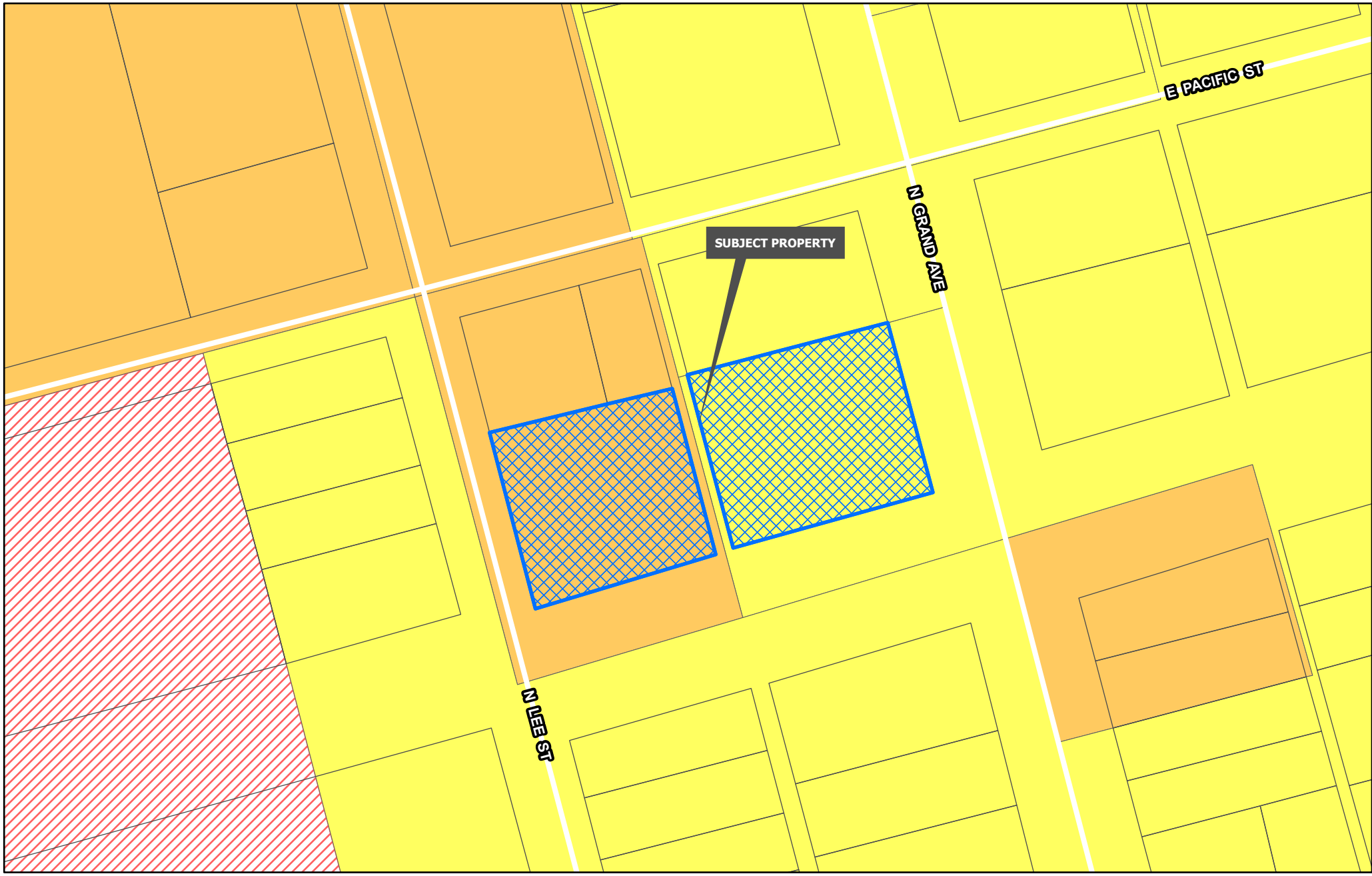
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### **Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map

4. Final Plat
5. Conditional Approval Letter





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN  
ZONING MAP  
506 N GRAND AVE**



### CORE NEIGHBORHOOD

#### Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

#### Appropriate Land Use Types

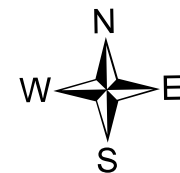
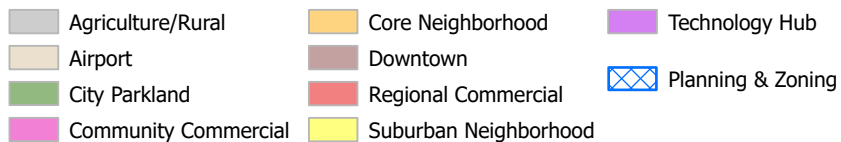
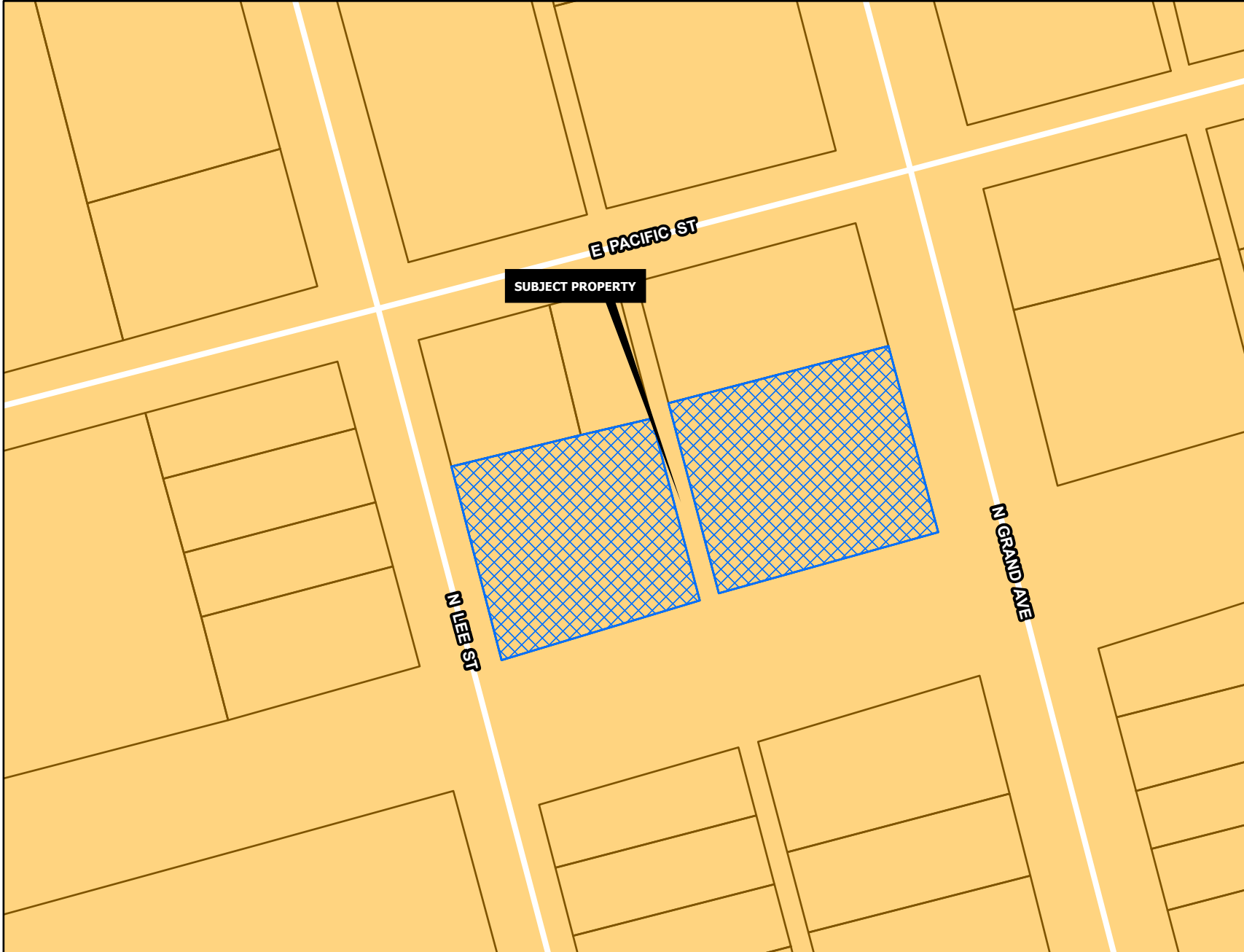
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

#### Compatible Zoning Districts

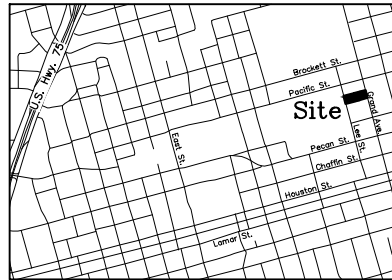
- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

#### Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.

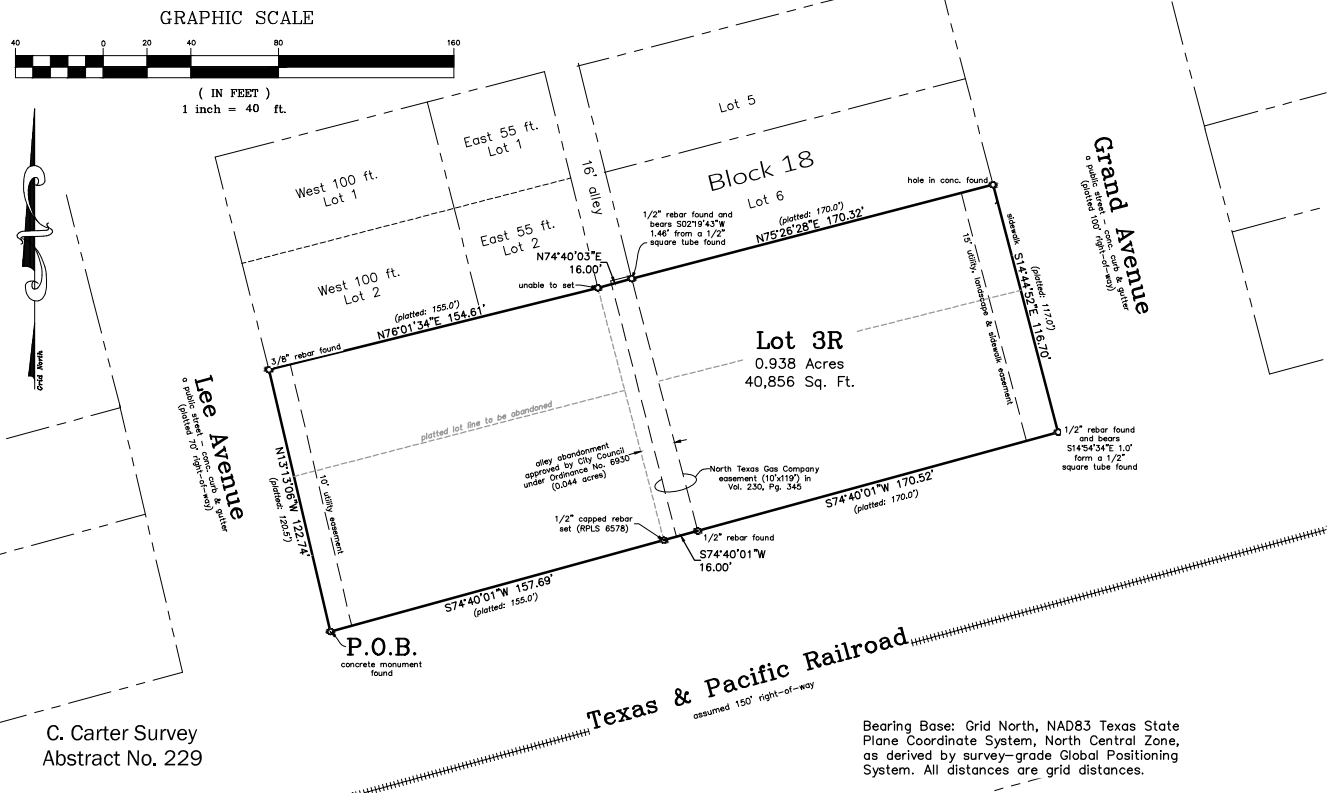


**Vicinity Map**  
(not to scale)



**General Notes:**

1. Water Supply to be provided by City of Sherman.
2. Sewer service to be provided by City of Sherman.
3. Electrical service is provided by Oncor Electric Delivery Co.
4. Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
5. Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
6. The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion.
7. The property shown on the plat hereon lies within a Zone "X" (areas determined to be outside 500-year floodplain) Designation, as shown on the Flood Insurance Rate Map for Grayson County, Texas and Incorporated Areas, Map No. 4818100290 G, Revised Date: September 1, 2022.
8. Neither the City of Sherman nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
9. The owners and builders must comply with all other state and federal regulations regarding developments of this type.



C. Carter Survey  
Abstract No. 229

**LEGAL DESCRIPTION**

**SITUATED** in the City of Sherman, County of Grayson, being a part of the C. Carter Survey, Abstract No. 229 and being all of Lots 3, 4, 7 and 8, Block 18, of College Park Addition to the City of Sherman, Texas, as per plat of record in Volume 81, Page 438, Deed Records, Grayson County, Texas, and being a part of the 16 ft. wide alley lying West of said Lots 7 and 8 and East of said Lots 3 and 4 as approved by City Council Ordinance No. 6930 and being more particularly described by metes and bounds as follows, to-wit:

**BEGINNING** at a concrete monument found in the North right-of-way line of the Texas and Pacific Railroad and the East right-of-way line of Lee Avenue, a public street, and being the Southwest corner of both said Lot 4 and the herein described tract;

**THENCE** North 13 deg. 13 min. 06 sec. West, with the East line of said Lee Avenue and the West lines of said Lot 3 and 4, a distance of 122.74 ft. to a 3/8 inch rebar found at the Southwest corner of Lot 2, Block 18, said College Park Addition and being the Northwest corner of both said Lot 3 and the herein described tract;

**THENCE** North 76 deg. 01 min. 34 sec. East, with the South line of said Lot 2 and the North line of said lot 3, a distance of 154.61 ft. to a point (unable to set) at the Northeast corner of said Lot 3 and the Northwest corner of said alley abandonment tract;

**THENCE** North 74 deg. 40 min. 03 sec. East, over and across said alley, a distance of 16.00 ft. to a 1/2 inch rebar found at the Southwest corner of Lot 6, Block 18 of said College Park Addition, and being the Northwest corner of said Lot 7, said rebar bears North 02 deg. 19 min. 43 sec. East, 1.46 ft. from another 1/2 inch square tube found

**THENCE** North 75 deg. 26 min. 28 sec. East, with the South line of said Lot 6 and the North line of said Lot 7, a distance of 170.32 ft. to a hole in concrete found in the West line of Grand Avenue, a public street, at the Southeast corner of said Lot 6 and being the Northeast corner of both said Lot 7 and the herein described tract;

**THENCE** South 14 deg. 44 min. 52 sec. East, with the West line of said Grand Avenue and the East lines of said Lots 7 and 8, a distance of 116.70 ft. to a 1/2 inch rebar found in the North line of said Texas and Pacific Railroad and being the Southeast corner of both said Lot 8 and the herein described tract, SAID rebar being North 14 deg. 54 min. 34 sec. West, 1.0 ft. from a 1/2 inch square tube found;

**THENCE** South 74 deg. 40 deg. 01 sec. West, with the North right-of-way line of said Texas and Pacific Railroad and the South line of said Lot 8, a distance of 170.52 ft. to a 1/2 inch rebar found at the Southeast corner of said alley abandonment tract and being the Southwest corner of said Lot 8;

**THENCE** South 74 deg. 40 min. 01 sec. West, continuing with the North right-of-way line of said Texas and Pacific Railroad and over and across said alley, a distance of 16.00 ft. to a 1/2 inch capped rebar set (RPLS 6578) at the Southwest corner of said alley abandonment tract and being the Southeast corner of said Lot 4;

**THENCE** South 74 deg. 40 min. 01 sec. West, with the North right-of-way line of said Texas and Pacific Railroad and the South line of said Lot 4, a distance of 157.69 ft. to the **PLACE OF BEGINNING** and containing **0.938 ACRES** of land.

**KNOW ALL MEN BY THESE PRESENTS:**

**THAT** I, Kate A. Wagner, Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

Kate A. Wagner, R. P. L. S. No. 6578 Date:



Owners:  
Michael Sean Putnam  
& Heather L. Putnam  
506 N. Grand Avenue  
Sherman, Texas 75090

**SURVEYOR:**

Helvey-Wagner Surveying, Inc.  
222 W. Main St., Denison, Texas 75020  
Phone (903) 463-6191  
Email: kate@helvewagnersurveying.net  
TBPELS Firm Registration No. 10088100

**STATE OF TEXAS  
COUNTY OF GRAYSON**

We, Michael Sean Putnam & Heather L. Putnam, sole owners of Putnam Estate to the City of Sherman, Texas, do hereby dedicate the streets, easements, alleys, rights-of-way, parks, school sites and other public places shown hereon to the public use forever.

Michael Sean Putnam

Heather L. Putnam

**AVIGATION RELEASE**

**KNOW ALL MEN BY THESE PRESENTS:**

WHEREAS, Michael Sean Putnam & Heather L. Putnam, hereinafter called OWNERS, are the owners of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described in this plat.

OWNERS do hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a home-rule municipality, hereinafter called CITY, and the Sherman Municipal Airport, hereinafter called AIRPORT, and their respective successors and assigns, of and from any and all claims for damages of any kind that OWNER may now have or may hereinafter have in the future by reason of the passage of any and all aircraft ("aircraft" being defined for the purpose of this instrument as any contrivance now known or hereinafter invented, including but not limited to jet, propeller-driven, civil, military, experimental or commercial aircraft or helicopters, regardless of existing or future noise levels, designed or used for the purpose of transporting persons or property through the air, by whoever owned or operated), in the airspace over OWNER's property. Such release shall include, but not be limited to, any damages to OWNER'S property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at, taking off from, operating at or on, or being maintained at the Sherman Municipal Airport, whether such claim be for injury or death to person or persons or damages to or taking of property.

This Release shall be binding upon OWNER and OWNER'S successors, heirs, executors, administrators and assigns, and shall be a covenant running with the land.

Executed this \_\_\_\_\_ day of \_\_\_\_\_ AD, 2026.

Michael Sean Putnam

Heather L. Putnam

Before me the undersigned, a notary public in and for said County and State, on this day personally appeared Michael Sean Putnam, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public, Grayson County, Texas

Before me the undersigned, a notary public in and for said County and State, on this day personally appeared Heather L. Putnam, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public, Grayson County, Texas

**CITY ACCEPTANCE**



City Engineer  
City of Sherman

Date

ATTEST:

City Clerk

**Final Replat**  
**Lot 3R, Block 18**  
**Putnam Estate**  
**Being a Replat of Lots 3, 4, 7 & 8 and a**  
**portion of an abandoned alley, of**  
**Block 18, College Park Addition**  
**to the**  
**City of Sherman**  
**Grayson County, Texas**  
**0.938 Acres**  
**in the**  
**C. Carter Survey**  
**Abstract No. 229**

DATE OF PREPARATION: APRIL 21, 2026  
JOB No. CGS550426



Eng. File No.2870-A  
CSS # 000340-2026 PLAT

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## PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER

April 13, 2026

Michael Sean Putnam  
Heather L. Putnam  
506 N. Grand Avenue  
Sherman, TX 75090

Helvey-Wanger Surveying, Inc.  
222 W. Main Street  
Denison, TX 75020

Dear Applicants,

The request for approval of the Preliminary Plat of Putnam Estate has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

Additional Informational Engineering Comments:

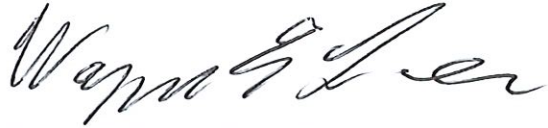
1. Abandonment of alley between Lee Avenue and Grand Avenue to be approved by City Council with instrument information of abandonment shown in General Notes of plat prior to submitting Final Plat. Abandonment Request to be reviewed by City Council on April 20, 2026. *Code of Ordinances Chapter 10.03.007(c); Engineering Design Standards Manual 1.10(E)*
2. Dedicate a 10' Utility Easement along Lee Avenue. *Code of Ordinances Chapter 10.03.007(a)*
3. Dedicate a 15' Utility, Landscape, & Sidewalk Easement along Grand Avenue. *Code of Ordinances Chapter 10.03.007(a); Engineering Design Standards Manual Sec. 2.1*
4. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
5. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

Informational Zoning Comments:

6. \*Item on April 21, 2026 Planning & Zoning Commission Meeting Agenda for Zone Change to R-12 (Single-Family Residential) District

If additional information or clarification is needed, do not hesitate to email [engineering@cityofsherman.com](mailto:engineering@cityofsherman.com) prior to the meeting.

Respectfully,

A handwritten signature in black ink, appearing to read "Wayne E. Lee". The signature is written in a cursive, flowing style.

Wayne E. Lee, P.E., CFM  
Director of Engineering

cc: Dr. Zachary Flores, City Manager  
Tom Pruitt, Utility Engineer  
Clint Philpott, Assistant City Manager  
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney  
Rob Rae, Director of Development Services  
Dillon Stewart, Fire Marshal



**Planning & Zoning Commission Development Services**

Agenda Item No. 11.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**\* 1414 SOUTH AUSTIN STREET (Project No. 00089-2026)**

The request of Victor Hugo Cabrera Cano (Owners), and Helvey-Wagner Surveying, Inc. (Surveyor) concerning the property located at 1414 South Austin Street, consisting of 0.230 acres, being part of Lot 4, Block 24, B.H. Moore Heirs Addition, in the Samuel Blagg Survey, Abstract No. 56 and currently zoned R-6 (Single-Family Residential) District/Sam Rayburn Overlay District, as follows:

***Planning and Zoning Commission***

Final Plat of Victor Addition.

**Background:**

The property is located at 1414 South Austin Street. The owner is requesting final plat approval.

The following has been approved for this location:

- 10/17/2025 - Preliminary Plat of Victor Addition. (Conditionally Approved).

**Origination:**

The request of Victor Hugo Cabrera Cano (Owners), and Helvey-Wagner Surveying, Inc. (Surveyor).

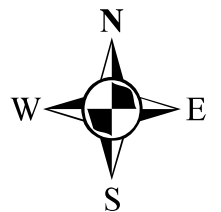
**Staff Recommendation:**

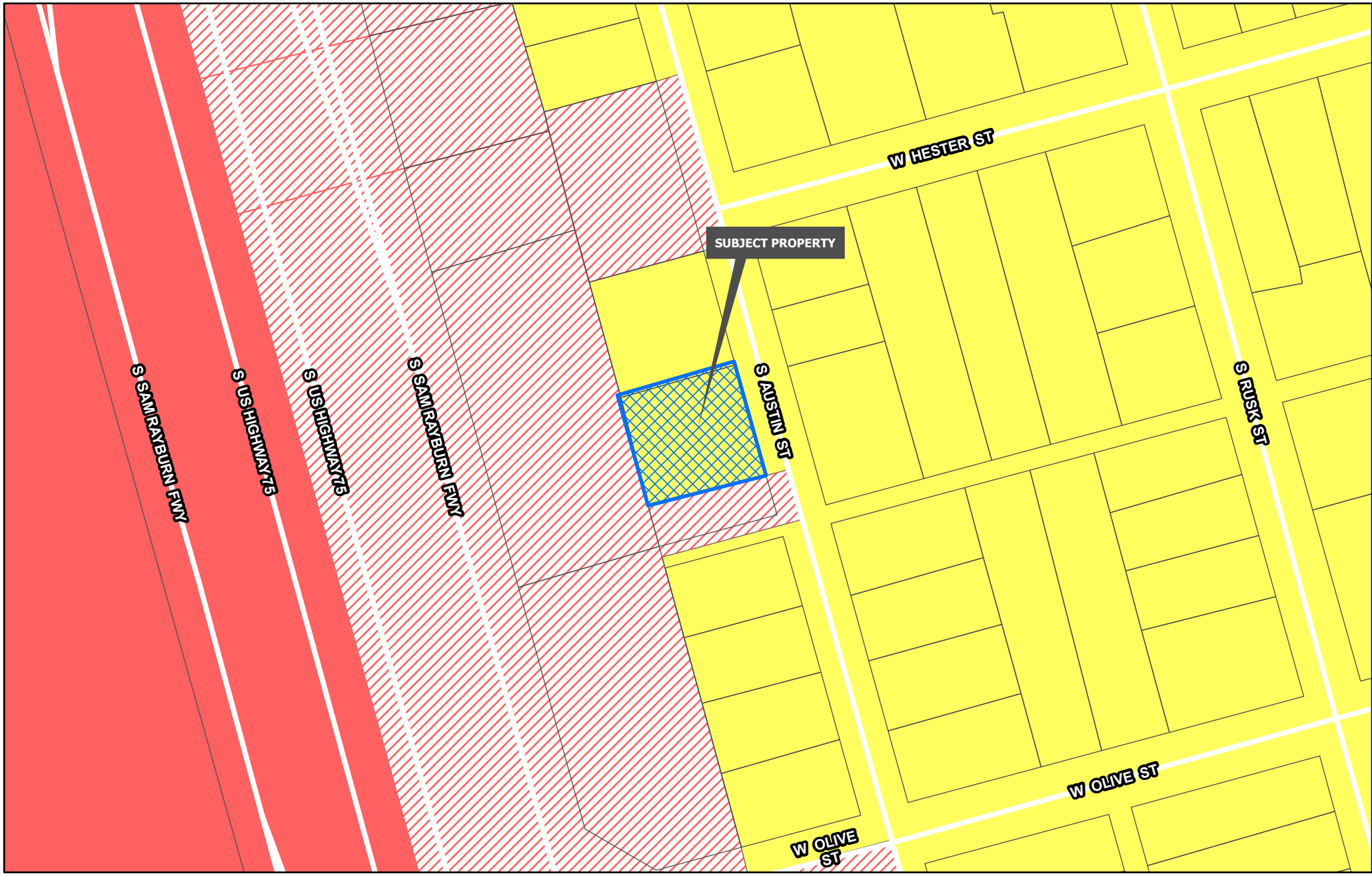
Staff recommends that P&Z approve this item.

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
















**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Final Plat
5. Conditional Approval Letter





**Sherman**  
 CLASSIC TOWN. BROAD HORIZON.  
 Development Services Department

 Planning & Zoning	 R-4 Patio Home Residential	 C-O Office
 R-A Residential Agricultural	 R-2F Duplex Residential	 C-1 Retail Business
 R-E Estate Residential	 R-TH Townhome Residential	 C-2 General Commercial
 R-12 Single Family Residential	 MF-15 Multi-Family Residential	 M-1 Light Manufacturing
 R-6 Single Family Residential	 MF-30 Multi-Family Residential	 M-1.5 Medium Manufacturing
 R-5 Single Family Residential	 MH Manufactured Housing	 M-2 Heavy Manufacturing
	 C-N Neighborhood Commercial	 PD Planned Development

**CITY OF SHERMAN  
 ZONING MAP  
 1414 S AUSTIN ST**



### CORE NEIGHBORHOOD

#### Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

#### Appropriate Land Use Types

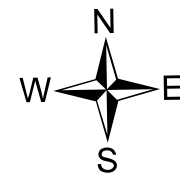
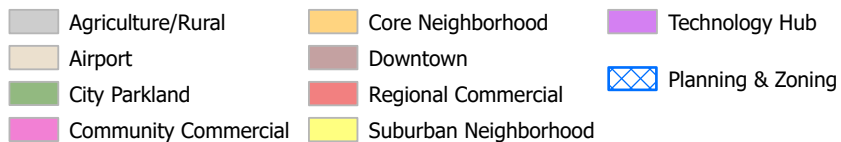
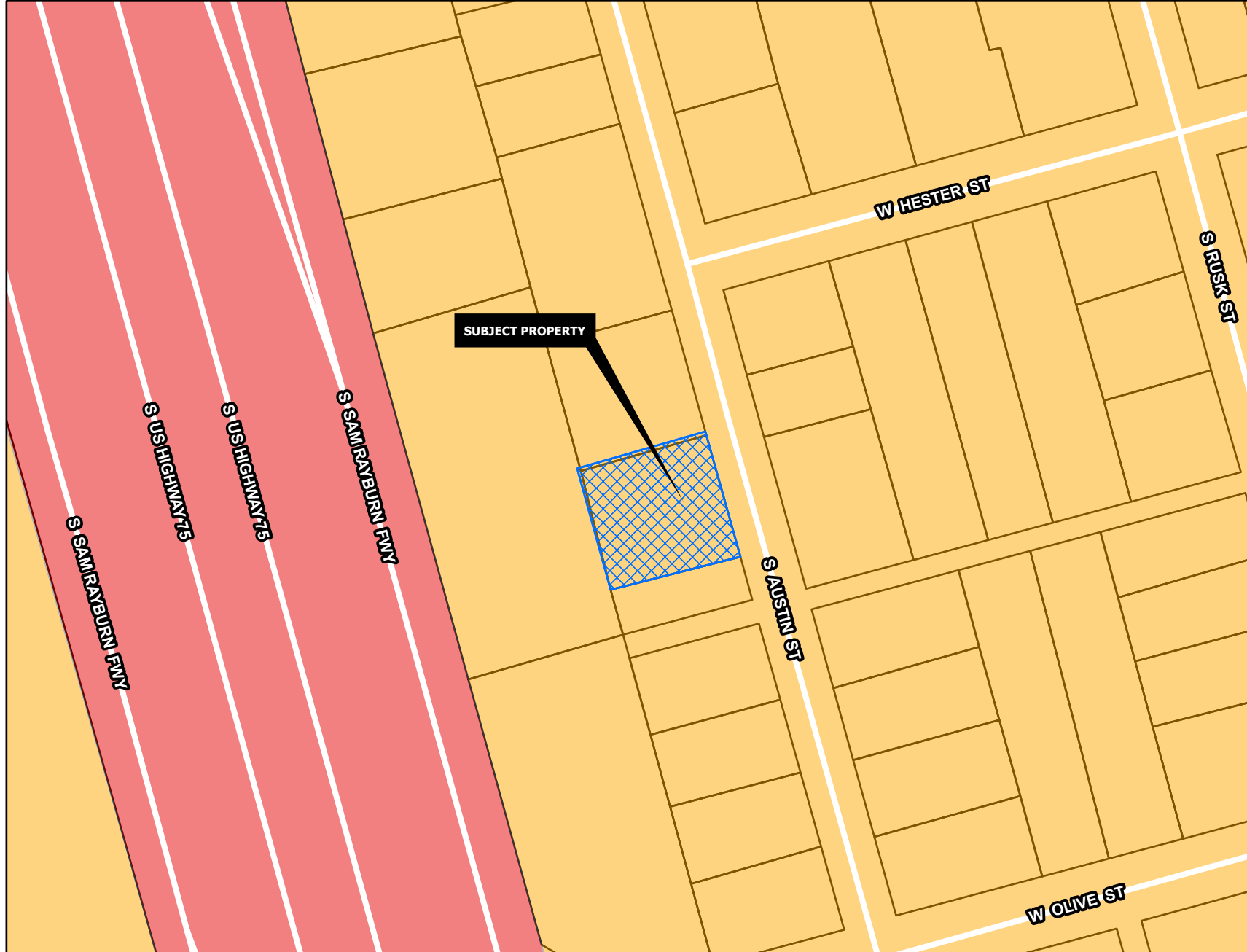
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

#### Compatible Zoning Districts

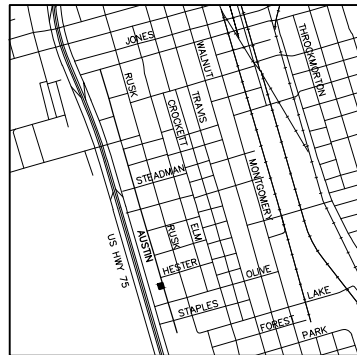
- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

#### Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.

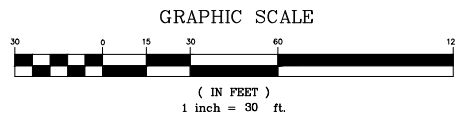


**Vicinity Map**  
(not to scale)



**General Notes:**

1. Water Supply to be provided by City of Sherman.
2. Sewer service to be provided by City of Sherman.
3. Electrical service is provided by Oncor Electric Delivery Co.
4. Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
5. Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
6. The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion.
7. The subject property does not lie within a 100-year Flood Hazard Area Designation, as scaled from the Flood Insurance Rate Map for Grayson County, Texas and Incorporated Areas, Map No. 48181C0405 G, Revised Date: September 1, 2022.
8. Neither the City of Sherman nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
9. The owners and builders must comply with all other state and federal regulations regarding developments of this type.



Replat of Nata Crossing  
City of Sherman, Texas  
Vol. 18, Pg. 3, P.R.G.C.T.

**LEGAL DESCRIPTION**

**SITUATED** in the City of Sherman, County of Grayson, State of Texas, being a part of the Samuel Blagg Survey, Abst. No. 56, and being a part Lot 4, Block 24, B.H. Moore Heirs Addition to the City of Sherman, Texas as recorded in Vol. "0", Pg. 405, District Court Records, Grayson County, Texas, being the same 100 ft. by 100 ft. tract of land conveyed by Warranty Deed with Vendor's Lien from Mark A. Boren to Victor Hugo Cabrera Cano on April 3, 2007, recorded in Vol. 4221, Pg. 9, Official Public Records, Grayson County, Texas and being more particularly described by metes and bounds as follows to wit;

**BEGINNING** at a 1/2 inch rebar found at the Northeast corner of said Cano 100 ft. by 100 ft. tract and the Southwest corner of Lot 2, SCR 1 Addition, to the City of Sherman, Texas as recorded in Doc. No. 2017-3235, Plat Records, Grayson County, Texas, lying in the West line of Austin Street, a public street and in the East line of said Lot 4, SAID rebar bears North 15 deg. 29 min. 35 sec. West, 100.02 ft. to a 1/2 inch capped rebar found at the Northeast corner of said Lot 2, SCR 1 Addition;

**THENCE** South 15 deg. 12 min. 14 sec. East, with the East line of both said Cano 100 ft. by 100 ft. tract and Lot 4 and the West line of said Austin Street, a distance of 100.00 ft. to a 1/2 inch capped rebar set (RPLS 6578) at the base of a pecan tree, at the Southeast corner of said Cano 100 ft. by 100 ft. tract and the Northeast corner of the "called" 40 ft. by 100 ft. tract of land conveyed to Avoue Marchand Investments, Inc. as recorded in Vol. 2024-12257, said Real Property Records;

**THENCE** South 74 deg. 37 min. 50 sec. West, with the South line of said Cano 100 ft. by 100 ft. tract and the North line of said Avoue Marchand Investments, Inc. 40 ft. by 100 ft. tract, a distance of 100.00 ft. to a 1/2 inch capped rebar set (RPLS 6578) at the Southwest corner of said Cano 100 ft. by 100 ft. tract and the Northwest corner of said Avoue Marchand Investments, Inc. 40 ft. by 100 ft. tract, in the West line of said Lot 4 and the East line of Lot 1, Block One, Replat of Nata Crossing to the City of Sherman, Texas as recorded in Vol. 8, Pg. 3, said Plat Records;

**THENCE** North 15 deg. 16 min. 08 sec. West, with the West line of both Cano 100 ft. by 100 ft. tract and Lot 4 and the East line of said Lot 1, Replat of Nata Crossing, a distance of 100.00 ft. to a 1/2 inch capped rebar found (RPLS 3694), at the Northwest corner of said Cano 100 ft. by 100 ft. tract and the Southwest corner of said Lot 2, SCR 1 Addition;

**THENCE** North 74 deg. 37 min. 50 sec. East, with the North line of said Cano 100 ft. by 100 ft. tract, and the South line of said Lot 2, a distance of 100.11 ft. to the POINT OF BEGINNING and containing 0.230 ACRES of land.

**STATE OF TEXAS  
COUNTY OF GRAYSON**

I, Kate A. Wagner, Registered Professional Land Surveyor, do hereby certify that a survey was made on the ground of the property shown hereon under my personal and direct supervision, and that the corner monumentation meets the standards set according to the Subdivision Regulations of the City of Sherman, Texas.

Kate A. Wagner, R. P. L. S. No. 6578 Date: \_\_\_\_\_



Helvey-Wagner Surveying, Inc.  
222 W. Main St., Denison, Texas 75020  
Phone (903) 463-6191  
Email: kate@helveywagnersurveying.net  
TBPELS Firm Registration No. 10088100

Owner:  
Victor Hugo Cabrera Cano  
2924 Dixie Road  
Sadler, TX 76264

**Final Replat**  
**Lot 4R, Block 24**  
**Victor Addition**  
Being a Replat of part of Lot 4,  
Block 24, B.H. Moore Heirs Addition  
to the  
**City of Sherman**  
**Grayson County, Texas**  
**0.230 Acres**  
in the  
**Samuel Blagg Survey**  
**Abstract No. 56**

DATE OF PREPARATION: APRIL 22, 2026  
JOB NO. CGS600426

**STATE OF TEXAS  
COUNTY OF GRAYSON**

I, Victor Hugo Cabrera Cano, sole owner of Victor Addition to the City of Sherman, Texas, do hereby dedicate the streets, easements, alleys, rights-of-way, parks, school sites and other public places shown hereon to the public use forever.

Victor Hugo Cabrera Cano

**AVIGATION RELEASE**

**KNOW ALL MEN BY THESE PRESENTS:**

WHEREAS, Victor Hugo Cabrera Cano, hereinafter called OWNERS, are the owners of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described in this plat.

OWNERS do hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a home-rule municipality, hereinafter called CITY, and the Sherman Municipal Airport, hereinafter called AIRPORT, and their respective successors and assigns, of and from any and all claims for damages of any kind that OWNER may now have or may hereinafter have in the future by reason of the passage of any and all aircraft ("aircraft" being defined for the purpose of this instrument as any contrivance now known or hereinafter invented, including but not limited to jet, propeller-driven, civil, military, experimental or commercial aircraft and helicopters, regardless of existing or future noise levels, designed or used for the purpose of transporting persons or property through the air, by whoever owned or operated), in the airspace over OWNER'S property. Such release shall include, but not be limited to, any damages to OWNER'S property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at, taking off from, operating at or on, or being maintained at the Sherman Municipal Airport, whether such claim be for injury or death to person or persons or damages to or taking of property.

This Release shall be binding upon OWNER and OWNER'S successors, heirs, executors, administrators and assigns, and shall be a covenant running with the land.

Executed this \_\_\_\_\_ day of \_\_\_\_\_, AD, 2026.

Victor Hugo Cabrera Cano

Before me the undersigned, a notary public in and for said County and State, on this day personally appeared Victor Hugo Cabrera Cano, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

Notary Public, Grayson County, Texas

**CITY ACCEPTANCE**

City Engineer  
City of Sherman

Date

ATTEST:

City Clerk

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**PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER**

October 16, 2025

Victor Hugo Cabrera Cano  
2924 Dixie Road  
Sadler, TX 76264

Helvey-Wagner Surveying, Inc.  
222 W. Main St.  
Denison, TX 75020

Dear Applicants,

The request for approval of the Preliminary Plat of Victor Addition has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

Engineering Comments:

1. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
2. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

Informational Zoning Comments:

3. Accessory buildings and structures must have a rear and interior side yard setback of not less than five (5) feet. *(Sec. 14.04.002(b)(3))*
  - a. A Variance to allow a 0' side setback and a 4.7 rear setback in lieu of the required 5' for the existing accessory structures must be approved by the Board of Adjustment.
4. Accessory buildings or structures must be separated from the main building or other structures by a distance of not less than 5 feet. *(Sec. 14.04.002(b)(2))*
  - b. A Variance to allow a 2.5' building separation in lieu of the required 5' for the existing accessory structures must be approved by the Board of Adjustment.
    - i. No new division of any lot or parcel shall be made that creates a new nonconforming situation. *(Sec. 10.05.001(a))*
      1. Variances must be submitted according to the Planning and Zoning and Board of Adjustment Calendar to be presented at the same meeting or a meeting prior to the Planning and Zoning meeting that the Final Plat is to be presented.

If additional information or clarification is needed, do not hesitate to email [engineering@cityofsherman.com](mailto:engineering@cityofsherman.com) prior to the meeting.

Respectfully,



Wayne E. Lee, P.E., CFM  
Director of Engineering

cc: Dr. Zachary Flores, City Manager  
Tom Pruitt, Utility Engineer  
Clint Philpott, Assistant City Manager  
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney  
Rob Rae, Director of Development Services  
Dillon Stewart, Fire Marshal



**Planning & Zoning Commission Development Services**

Agenda Item No. 12.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**\* 3401 STEEPLE CHASE DRIVE (Project No. 000368-2026)**

The request of Steeple Chase 3401 LLC (Owner), Preetam Palchuru (Applicant), and KAZ Surveying (Surveyor) concerning the property located at 3401 Steeple Chase Drive, consisting of 10.30 acres in the Elizabeth Jones Survey, Abstract No. 625 and currently zoned MF-30 (Multifamily Residential) District, as follows:

***Planning and Zoning Commission***

Site Plan of Pebblebrook Multifamily Development.

**Background:**

The property is located at 3401 Steeple Chase Drive. The owner is requesting Site Plan approval for Pebblebrook Multifamily Development. The applicant has revised the proposed site plan that was approved by P&Z earlier in 2026. This update conforms with the regulations in the city ordinances.

The following has been approved at this location:

- 02/17/2026 - Site Plan for Pebblebrook Multifamily Development.
- 02/13/2026 - Preliminary Plat of Artisan Addition. (Conditionally Approved)
- 05/11/2022 - Final plat approval of Lot 1, Block A, Artisan Addition.

**Origination:**

The request of Steeple Chase 3401 LLC (Owner), Preetam Palchuru (Applicant), and KAZ Surveying (Surveyor).

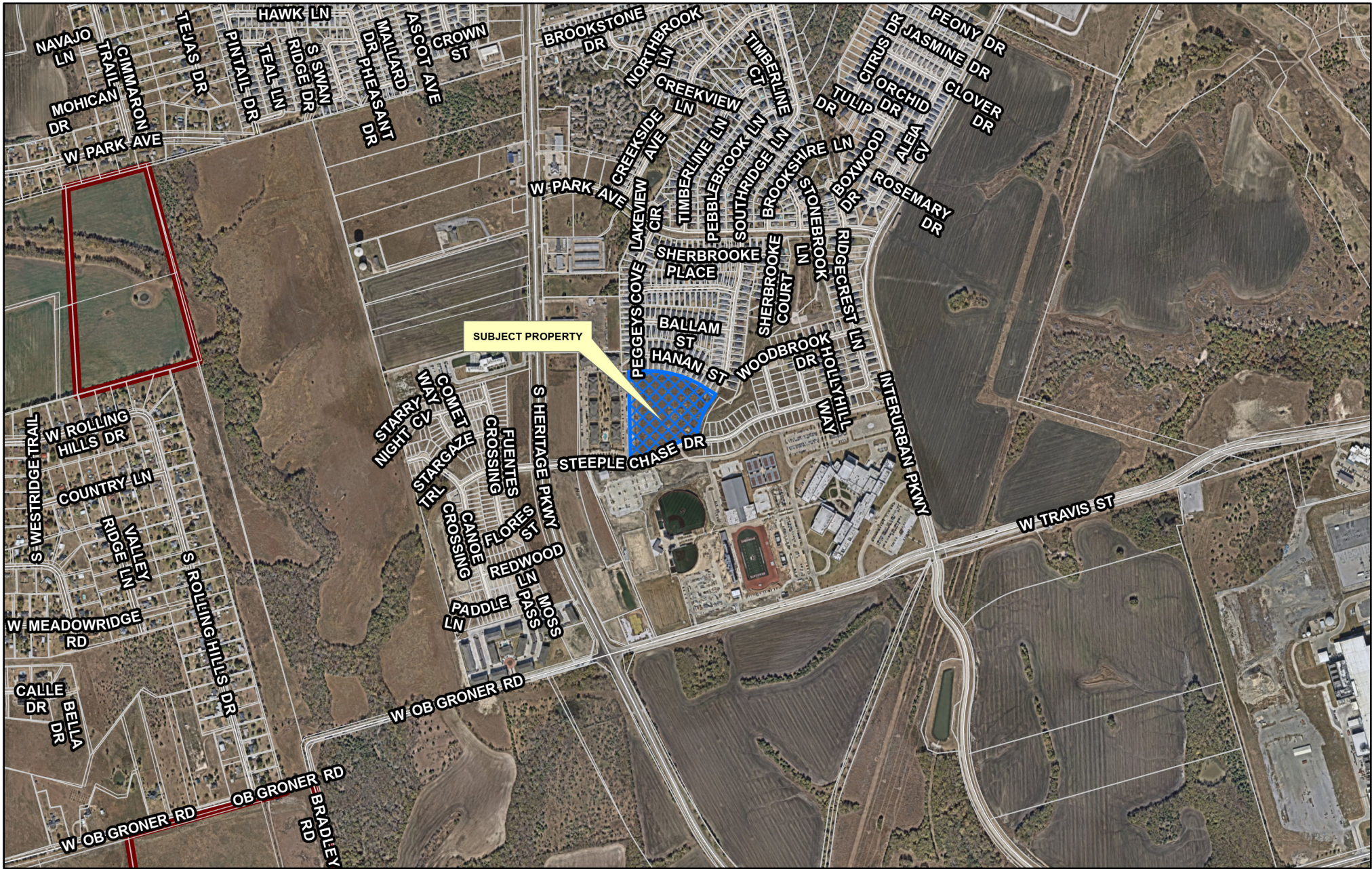
**Staff Recommendation:**

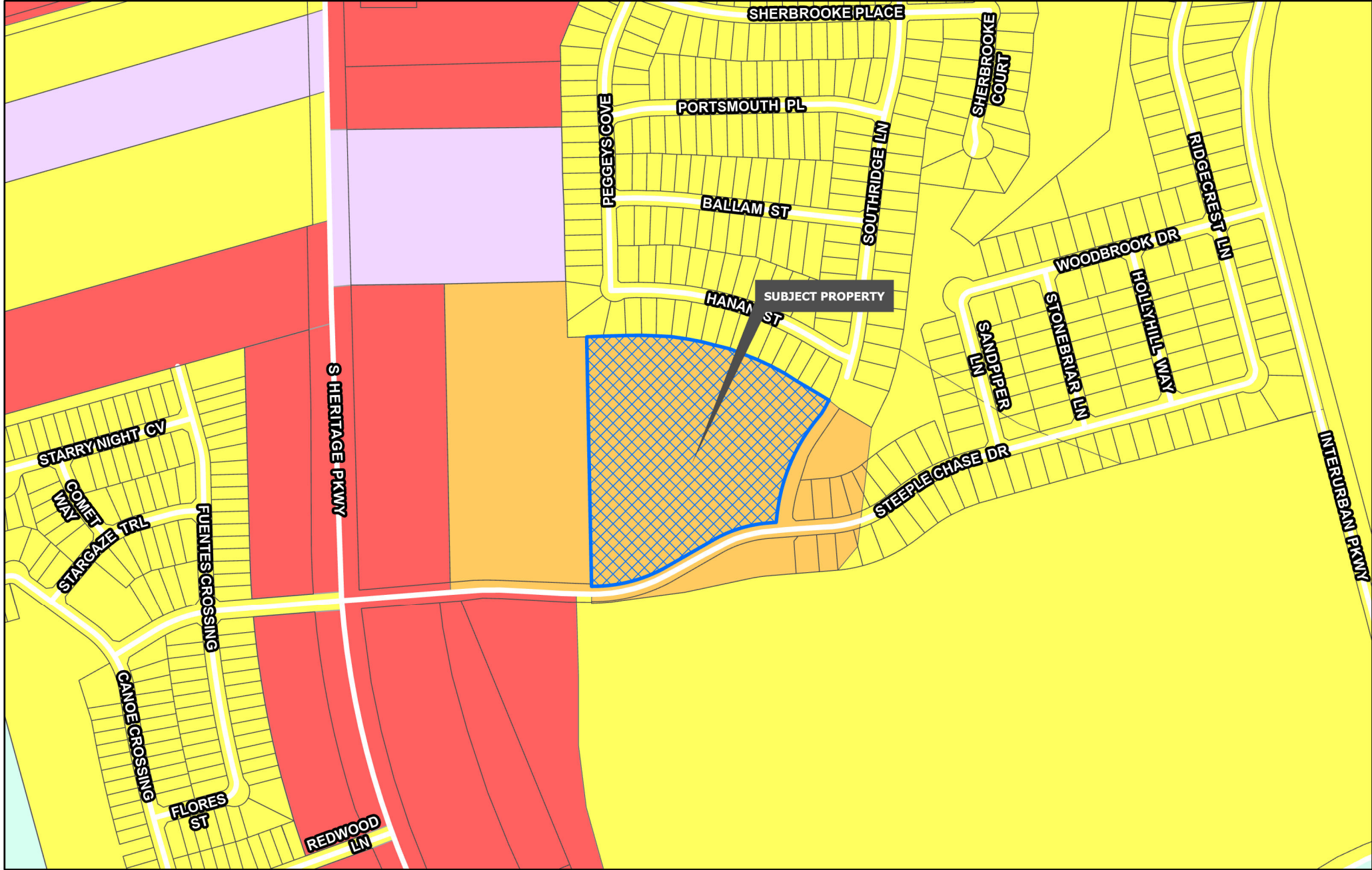
Staff recommends that P&Z approve this item.

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**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Survey
5. Site Plan
6. Elevation
7. Landscape Plan





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN  
 ZONING MAP  
 3401 STEEPLE CHASE DR**



**CORE NEIGHBORHOOD**

**Intent & Character**

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

**Appropriate Land Use Types**

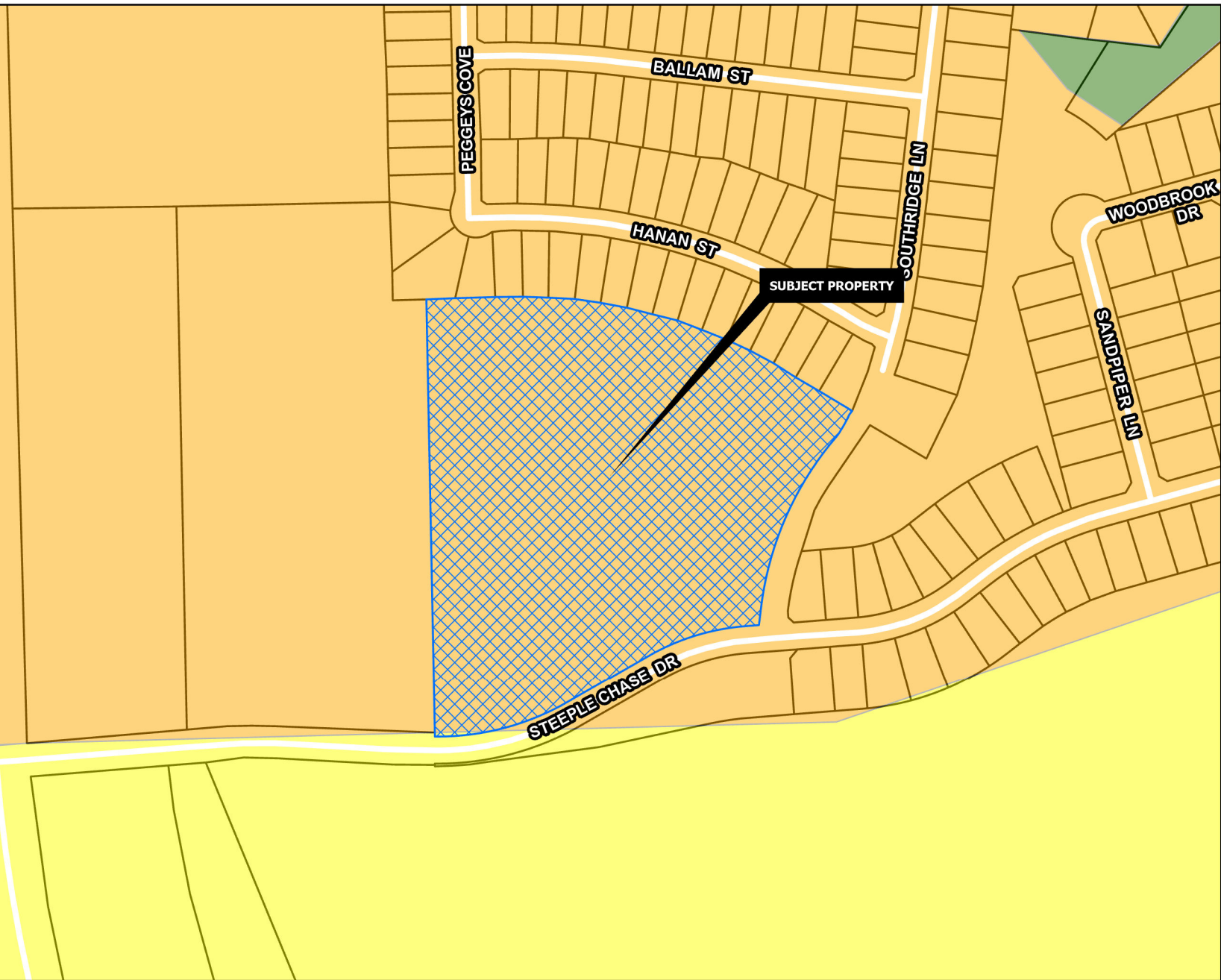
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

**Compatible Zoning Districts**

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

**Considerations**

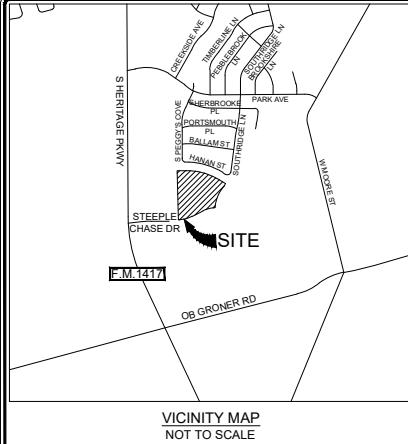
- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



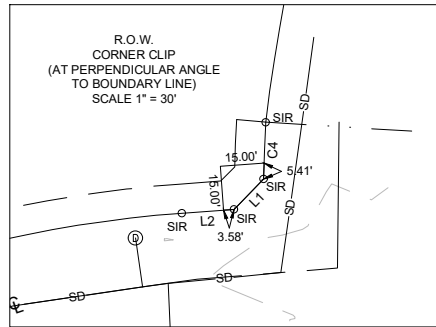
Agriculture/Rural	Core Neighborhood	Technology Hub
Airport	Downtown	Planning & Zoning
City Parkland	Regional Commercial	
Community Commercial	Suburban Neighborhood	

**CITY OF SHERMAN  
ZONING MAP  
3401 STEEPLE CHASE DR**





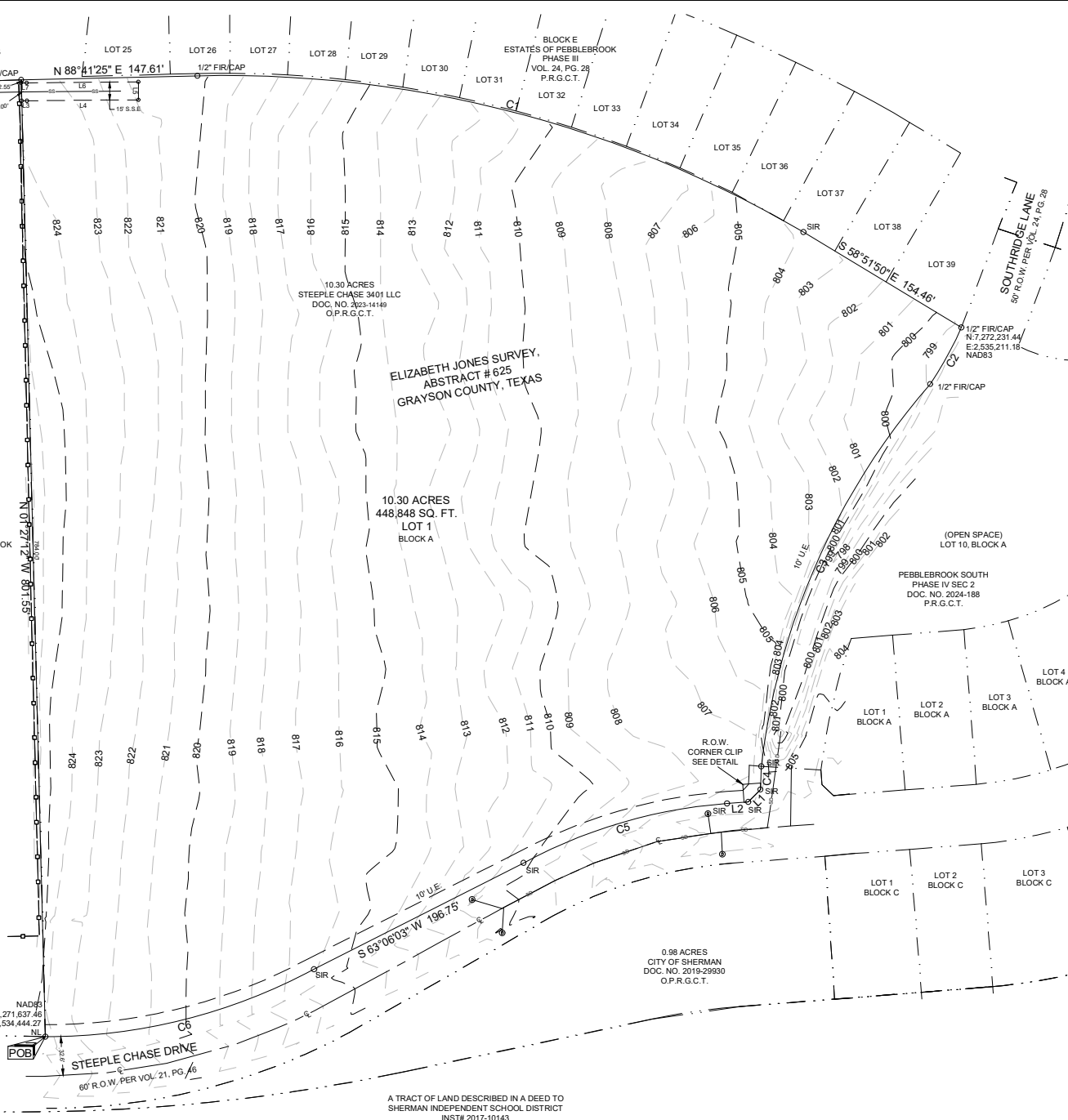
- GENERAL NOTES:
- ALL CORNERS ARE MARKED WITH CAPPED 1/2" IRON RODS STAMPED "KAZ" UNLESS OTHERWISE NOTED.
  - FLOOD STATEMENT: I HAVE REVIEWED THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF SHERMAN, COMMUNITY NUMBER 485509 EFFECTIVE DATE 09-29-2010 AND THAT MAP INDICATES AS SCALED, THAT THIS PROPERTY IS WITHIN "NON-SHADED ZONE X" DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD (500-YEAR)" AS SHOWN ON PANEL 400 F OF SAID MAP.
  - THE PURPOSE OF THIS FINAL PLAT IS TO CREATE 1 LOT FROM A PREVIOUSLY UNPLATTED TRACT.
  - NOTE: BEARINGS SHOWN HEREON ARE REFERENCED TO THE TEXAS COORDINATE SYSTEM OF 1983, NORTH CENTRAL ZONE (4202), AND ARE BASED ON THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT.
  - THIS PROPERTY IS CURRENTLY ZONED R-2 (MULTI-FAMILY RESIDENTIAL).
  - CONTOURS SHOWN HEREON ON FROM A TOPOGRAPHY SURVEY PERFORMED IN 2022.



Closure Report

Northing	Eastng	Bearing	Distance
7271637.464	2534444.271	N 01°27'12" W 801.550	
7272438.756	2534423.942	N 88°41'25" E 147.607	
7272442.130	2534571.510	Radius: 955.970 Chord: 524.052 Degree: 5°59'36" Dir: Right Length: 530.846 Delta: 31°48'58" Tangent: 272.460 Chord BRG: S 75°32'39" E Rad-In: S 01°27'08" E Rad-Out: S 30°21'50" W Radius Point: 7271486.467, 2534595.736	
7272311.308	2535078.970	S 58°51'50" E 154.462	
7272231.440	2535211.181	Radius: 275.000 Chord: 54.158 Degree: 20°50'05" Dir: Right Length: 54.246 Delta: 11°18'08" Tangent: 27.211 Chord BRG: S 28°52'57" W Rad-In: N 66°46'07" W Rad-Out: N 55°27'59" W Radius Point: 7272339.912, 2534958.476	
7272184.018	2535185.022	Radius: 594.350 Chord: 350.031 Degree: 9°38'24" Dir: Left Length: 355.298 Delta: 34°15'04" Tangent: 183.135 Chord BRG: S 23°48'59" W Rad-In: S 49°03'29" E Rad-Out: S 83°18'33" E Radius Point: 7271794.545, 2535633.979	
7271863.794	2535043.677	Radius: 420.000 Chord: 19.400 Degree: 13°38'31" Dir: Left Length: 19.402 Delta: 2°38'48" Tangent: 9.703 Chord BRG: S 02°11'59" W Rad-In: S 86°28'36" E Rad-Out: S 89°07'25" E Radius Point: 7271837.984, 2535462.883	
7271844.408	2535042.932	S 44°21'42" W 14.540	
7271834.013	2535032.766	S 85°45'23" W 17.840	
7271832.693	2535014.975	Radius: 425.000 Chord: 177.540 Degree: 13°28'53" Dir: Left Length: 178.857 Delta: 24°06'44" Tangent: 90.772 Chord BRG: S 73°42'02" W Rad-In: S 04°14'35" E Rad-Out: S 28°21'20" E Radius Point: 7271408.858, 2535046.421	
7271782.865	2534844.571	S 63°06'03" W 196.750	
7271693.852	2534669.108	Radius: 470.000 Chord: 231.800 Degree: 12°11'26" Dir: Right Length: 234.216 Delta: 28°33'08" Tangent: 119.593 Chord BRG: S 75°55'15" W Rad-In: N 28°21'19" W Rad-Out: N 00°11'50" E Radius Point: 7272107.461, 2534445.888	
7271637.464	2534444.271		

Closure Error Distance > 0.00000  
Total Distance > 2705.613  
Polyline Area: 448848 sq ft, 10.30 acres



A TRACT OF LAND DESCRIBED IN A DEED TO SHERMAN INDEPENDENT SCHOOL DISTRICT INST# 2017-10143 O.P.R.G.C.T.

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	955.97	530.85	524.05	S 75°32'39" E	31°48'58"
C2	275.00	54.25	54.16	S 28°52'57" W	11°18'08"
C3	594.35	355.30	350.03	S 23°48'59" W	34°15'04"
C4	420.00	19.40	19.40	S 02°11'59" W	2°38'48"
C5	425.00	178.86	177.54	S 73°42'02" W	24°06'44"
C6	470.00	234.22	231.80	S 75°55'15" W	28°33'08"

LINE	BEARING	DISTANCE
L1	S 44°21'42" W	14.54'
L2	S 85°45'23" W	17.84'
L3	N 89°02'21" E	4.37'
L4	N 89°31'18" E	93.41'
L5	N 00°28'42" W	15.00'
L6	S 89°31'18" W	93.47'
L7	S 89°02'21" W	4.56'

LEGEND

- R.O.W. = RIGHT-OF-WAY
- POB = POINT OF BEGINNING
- FIR/CAP = CAPPED IRON ROD FOUND
- SIR = CAPPED IRON ROD SET
- NL = NAIL FOUND
- O.P.R.G.C.T. = OFFICIAL PUBLIC RECORDS GRAYSON COUNTY TEXAS
- P.R.D.C.T. = PLAT RECORDS GRAYSON COUNTY TEXAS
- B.L. = BUILDING LINE
- = BOUNDARY LINE
- - - = ADJOINER LINE
- - - = STORM DRAIN LINE
- - - = SEWER LINE
- - - = EASEMENT LINE
- - - = CENTERLINE OF ROAD
- - - = STORM DRAIN

Chairman, City of Sherman Planning and Zoning Committee

Chairman, City of Sherman Planning and Zoning Committee

DATE

**OWNER'S CERTIFICATION**

WHEREAS, STEEPLE CHASE 3401, L.L.C., is the owner of all that certain lot, tract, or parcel of land lying in the Elizabeth Jones Survey, Abstract Number 625 and being all of a called 10.30 acres tract of land conveyed to Steeple Chase 3401, L.L.C., by deed of record in Document Number 2023-14149, Official Public Records, Grayson County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a nail found for the Southwest corner of the herein described tract, same being the Southeast corner of Lot 2, Block W, Estates of Pebblebrook, Phase I, recorded in Volume 21, Page 46, Plat Records, Grayson County, Texas;

THENCE North 01 degree 27 minutes 12 seconds West, along the common line of said herein described tract and said Lot 2, a distance of 801.55 feet to a capped 1/2 inch iron rod found for the Northwest corner of said herein described tract, same being the Northeast corner of said Lot 2;

THENCE North 88 degrees 41 minutes 25 seconds East, departing said common line, a distance of 147.61 feet to a capped 1/2 inch iron rod found for the beginning of a curve to the right;

THENCE along said curve to the right, whose chord bears South 75 degrees 32 minutes 39 seconds East, 524.05 feet, having a radius of 955.97 feet, and an arc length of 530.85 feet to a capped 1/2 inch iron rod set stamped "KAZ SURVEYING";

THENCE South 58 degrees 51 minutes 50 seconds East, a distance of 154.46 feet to a capped 1/2 inch iron rod found for the Northeast corner of said herein described tract, same being the beginning of a curve to the right;

THENCE along said curve to the right, whose chord bears South 28 degrees 52 minutes 57 seconds West, 54.16 feet, having a radius of 275.00 feet, and an arc length of 54.25 feet to a capped 1/2 inch iron rod found for the beginning of a curve to the left;

THENCE along said curve to the left, whose chord bears South 23 degrees 48 minutes 59 seconds West, 350.03 feet, having a radius of 594.35 feet, and an arc length of 355.30 feet to a capped 1/2 inch iron rod set stamped "KAZ SURVEYING" for the beginning of a curve to the left;

THENCE along said curve to the left, whose chord bears South 02 degrees 11 minutes 59 seconds West, 19.40 feet, having a radius of 420.00 feet, and an arc length of 19.40 feet to a capped 1/2 inch iron rod set stamped "KAZ SURVEYING" for the Southeast corner of said herein described tract, same being in the North right of way line of Steeple Chase Drive;

THENCE South 44 degrees 21 minutes 42 seconds West, along said North right of way line, a distance of 14.54 feet to a capped 1/2 inch iron rod set stamped "KAZ SURVEYING";

THENCE South 85 degrees 45 minutes 23 seconds West, continuing along said North right of way line, a distance of 17.84 feet to a capped 1/2 inch iron rod set stamped "KAZ SURVEYING" for the beginning of a curve to the left;

THENCE continuing along said North right of way line and along said curve to the left, whose chord bears South 73 degrees 42 minutes 02 seconds West, 177.54 feet, having a radius of 425.00 feet, and an arc length of 178.86 feet to a capped 1/2 inch iron rod set stamped "KAZ SURVEYING";

THENCE South 63 degrees 06 minutes 03 seconds West, continuing along said North right of way line, a distance of 196.75 feet to a capped 1/2 inch iron rod set stamped "KAZ SURVEYING" for the beginning of a curve to the right;

THENCE continuing along said North right of way line and along said curve to the right, whose chord bears South 75 degrees 55 minutes 15 seconds West, 231.80 feet, having a radius of 470.00 feet, and an arc length of 234.22 feet to the POINT OF BEGINNING and containing 448,848 square feet or 10.30 acres of land, more or less.

**OWNER'S DEDICATION**

NOW THEREFORE KNOW BY ALL MEN BY THESE PRESENTS:

That Steeple Chase 3401, acting by and through its duly authorized agent, SIVA PALCHURU, does hereby certify and adopt this plat designating the herein-described real property as **Artisan Addition**, an addition to the City of Sherman, Grayson County, Texas, Being 10.30 acres situated in and being a portion of the Elizabeth Jones Survey, Abstract Number 625, City of Sherman, Grayson County, Texas, and does hereby dedicate to the public use forever the streets and easements shown on this plat. Steeple Chase 3401 does herein certify the following:

- The streets and alleys are dedicated in fee simple for street and alley purposes.
- All public improvements and dedications shall be free and clear of all debt, liens, and other encumbrances.
- The easements and public use areas, as shown, and created by this plat, are dedicated for the public use forever for the purposes indicated on this plat.
- No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the City of Sherman.
- The City of Sherman is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
- Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and city of Sherman's use thereof.
- The City of Sherman and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
- The City of Sherman and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
- All modifications to this document shall be by means of plat and approved by the City of Sherman.

SIVA PALCHURU DATE  
Owner, Steeple Chase 3401, L.L.C.

**STATE OF TEXAS & COUNTY OF DENTON**

Before me, the undersigned, a notary public in and for said county and state, on this day personally appeared **SIVA PALCHURU**, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein.

Witness my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2026

Notary Public in and for the State of Texas  
Denton County  
My commission expires on \_\_\_\_\_

**STATE OF TEXAS & COUNTY OF DENTON**

I, Kenneth A. Zollinger, Registered Professional Land Surveyor, do hereby certify that this plat was prepared from an actual survey made on the ground and that the monuments shown hereon were found or placed with a capped 1/2 inch iron rod stamped "KAZ SURVEYING" under my direction and supervision in accordance with the City of Sherman, Grayson County, Texas.

Kenneth A. Zollinger R.P.L.S. # 5312 Date

**STATE OF TEXAS & COUNTY OF DENTON**

Before me, the undersigned, a notary public in and for said county and state, on this day personally appeared Kenneth A. Zollinger, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein.

Witness my hand and seal of office this \_\_\_\_\_ day of \_\_\_\_\_, 2026

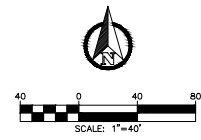
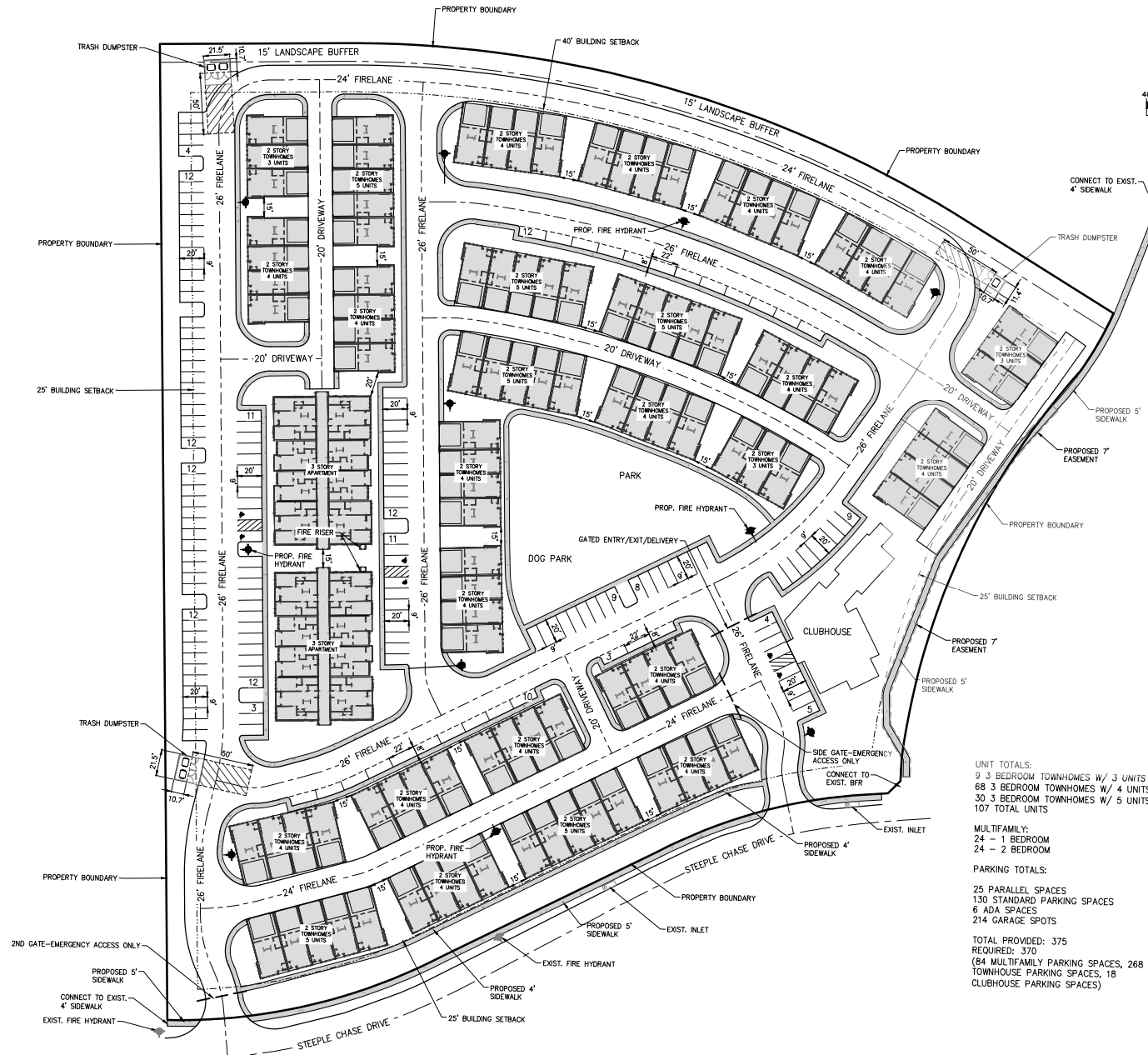
Notary Public in and for the State of Texas  
Denton County  
My commission expires on \_\_\_\_\_



**FINAL PLAT**  
**LOT 1, BLOCK A**  
**ARTISAN ADDITION**  
BEING 10.30 ACRES  
IN THE ELIZABETH JONES SURVEY,  
ABSTRACT NUMBER 625,  
CITY OF SHERMAN,  
GRAYSON COUNTY, TEXAS  
1-30-2026

FILE #27 - PRELIMINARY PEBBLEBROOK VILLAGE (DRAWN BY: J. L. STRAND) SHEET NUMBER: 2608450

DATE: 4/23/2028



UNIT TOTALS:  
 9 3 BEDROOM TOWNHOMES W/ 3 UNITS  
 68 3 BEDROOM TOWNHOMES W/ 4 UNITS  
 30 3 BEDROOM TOWNHOMES W/ 5 UNITS  
 107 TOTAL UNITS

MULTIFAMILY:  
 24 - 1 BEDROOM  
 24 - 2 BEDROOM

PARKING TOTALS:  
 25 PARALLEL SPACES  
 130 STANDARD PARKING SPACES  
 6 ADA SPACES  
 214 GARAGE SPOTS

TOTAL PROVIDED: 375  
 REQUIRED: 370  
 (84 MULTIFAMILY PARKING SPACES, 268 TOWNHOUSE PARKING SPACES, 18 CLUBHOUSE PARKING SPACES)

**STRAND**

1000 TEXAS CITY BLVD WEST  
 DALLAS, TX 75220  
 (972) 434-4524  
 REGISTRATION NO. F-1629

THIS DOCUMENT IS RELEASED FOR "REVIEW PURPOSES" UNDER THE AUTHORIZATION OF RUSSELL C. LYONS, P.E. #147515 APRIL 3, 2028. IT IS NOT FOR CONSTRUCTION OR PERMIT PURPOSES.

REVISION DESCRIPTION	DATE	BY

**PRELIMINARY SITE PLAN**  
 3401 STEEPLE CHASE DRIVE, SHERMAN TX

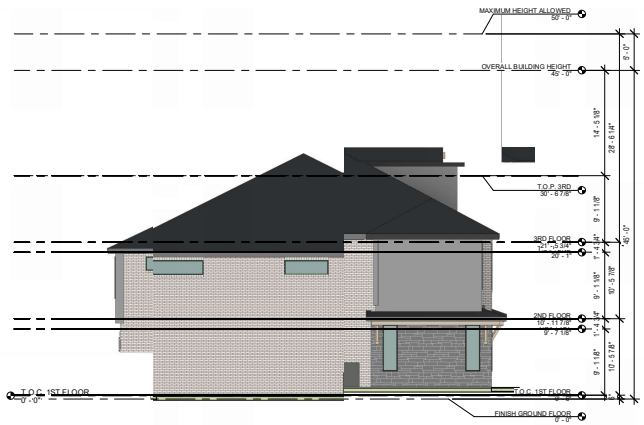
**PEBBLEBROOK VILLAGE**  
 CITY OF SHERMAN  
 GRAYSON COUNTY, TEXAS

DATE: 4/23/2028  
 DESIGNED BY: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_

STRAND 2608450

SHEET NUMBER  
**C1.1**

CITY APPROVAL STAMP



**02 BLDG. TYPE I FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**03 BLDG. TYPE I LEFT ELEVATION**  
SCALE: 1/8" = 1'-0"



**01 BLDG. TYPE I REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**4 BLDG. TYPE I RIGHT ELEVATION**  
SCALE: 1/8" = 1'-0"



VIZUAL  
ARCHITECTURE

ARCHITECT  
VIZUAL ARCHITECTURE, LLC  
JOHNNY LIMONES  
info@vizualarchitecture.com  
www.vizualarchitecture.com

PEBBLE BROOK TOWNHOMES AND APTS  
FM 1417 AT GRONER ROAD  
SHERMAN, TEXAS

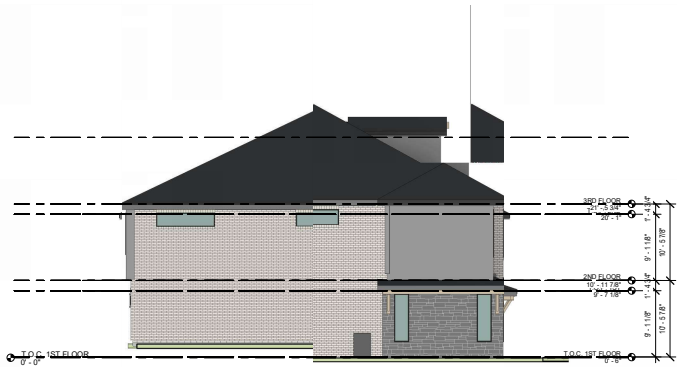
CURRENT REVISION

2/5/2026 11:06:35 AM  
EXTERIOR  
ELEVATIONS

A6.2

Project # 000000  
Scale 1/8" = 1'-0"

CITY APPROVAL STAMP



02 BLDG. TYPE II REAR ELEVATION  
SCALE: 1/8" = 1'-0"



04 BLDG. TYPE II RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"

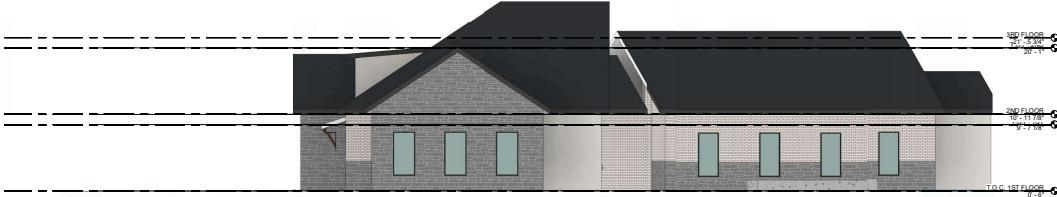


01 BLDG. TYPE II FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



03 BLDG. TYPE II LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

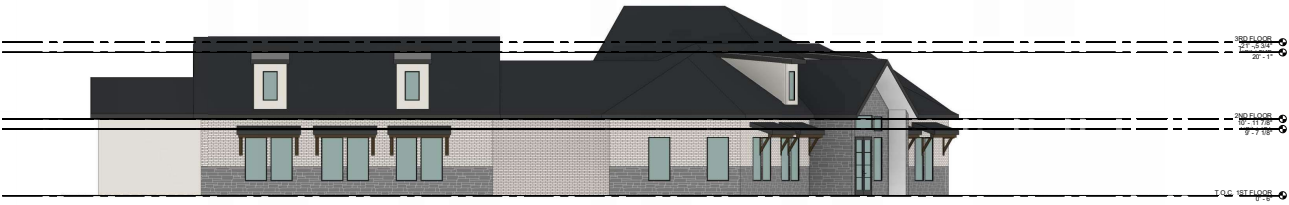
CITY APPROVAL STAMP



04 CLUBHOUSE RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



03 CLUBHOUSE REAR ELEVATION  
SCALE: 1/8" = 1'-0"



02 CLUBHOUSE LEFT ELEVATION  
SCALE: 1/8" = 1'-0"



01 CLUBHOUSE FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



VIZUAL  
ARCHITECTURE

ARCHITECT  
VIZUAL ARCHITECTURE, LLC  
JOHNNY LIMONES  
info@vvisualarchitecture.com  
www.vvisualarchitecture.com

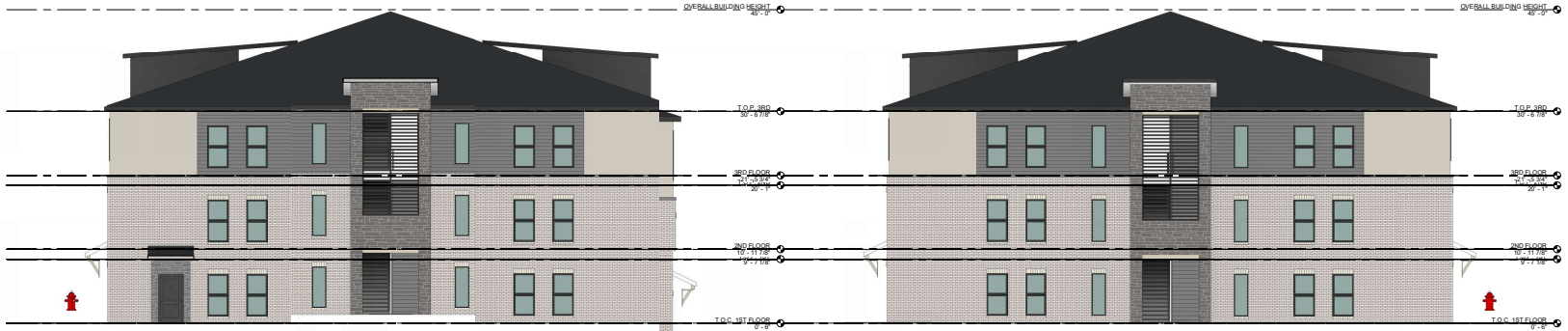
PEBBLE BROOK TOWNHOMES AND APTS  
FM 1417 AT GRONER ROAD  
SHERMAN, TEXAS

CITY APPROVAL STAMP

2/5/2026 11:07:48 AM  
EXTERIOR  
ELEVATIONS

A6.4

Project # 000000  
Scale 1/8" = 1'-0"



04 BLDG. TYPE IV - LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

03 BLDG. TYPE IV - RIGHT ELEVATION  
SCALE: 1/8" = 1'-0"



02 BLDG. TYPE IV REAR ELEVATION  
SCALE: 1/8" = 1'-0"

- DORMER
- BALCONY
- 80% MASONRY
- STUCCO SYSTEM
- CEMENTITIOUS SIDING
- MASONRY BRICK, TYP.
- MASONRY STONE, TYP.
- CANOPY



01 BLDG. TYPE IV - FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



VIZUAL  
ARCHITECTURE

ARCHITECT  
VIZUAL ARCHITECTURE, LLC  
JOHNNY LIMONES  
info@vzualarchitecture.com  
www.vzualarchitecture.com

PEBBLE BROOK TOWNHOMES AND APTS  
FM 1417 AT GRONER ROAD  
SHERMAN, TEXAS

CURRENT REVISION

2/5/2026 11:08:38 AM  
PERSPECTIVE  
VIEWS

A10.1

Project # 000000  
Scale

CITY APPROVAL STAMP



3 3D View 4  
SCALE:



2 3D View 3  
SCALE:



1 3D View 1  
SCALE:

C:\USERS\BARRO\DRIVE\DOCUMENTS\01-JB LAL1001\PROJECT 82021\PROJECT 82021\PEBBLE BROOK, SHERMAN, TX\DWG\2025-02-23 - PEBBLE BROOK, SHERMAN, TX, DWG



**LANDSCAPE PLAN**  
SCALE: 1"=40'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	250.97	820.59	820.59	S 25° 22' 26" W	11° 41' 58"	222.67
C2	45.00	45.00	45.00	S 53° 42' 50" W	111° 10' 58"	163.14
C3	266.20	305.37	800.00	S 57° 42' 50" W	34° 17' 04"	163.14
C4	420.00	191.87	191.87	S 20° 17' 50" W	27° 38' 58"	47.07
C5	424.84	178.89	177.52	S 73° 42' 53" W	26° 10' 52"	80.77
C6	470.64	234.22	231.81	S 70° 58' 12" W	26° 33' 26"	119.59

LINE	BEARING	DISTANCE
L1	N 40° 21' 42" E	11.54
L2	N 80° 42' 52" E	17.84

**LANDSCAPE NOTES:**

1. ALL LANDSCAPING SHALL BE INSTALLED IN ACCORDANCE WITH THE RULES OF GOOD ARBORICULTURAL PRACTICE AS SET FORTH BY THE ANSI A300 CURRENTLY IN EFFECT AT THE TIME OF THE WORK.
2. PLANT MATERIAL SHALL BE TRUE TO NAME, VARIETY AND SIZE AND SHALL CONFORM TO ALL APPLICABLE PROVISIONS OF THE AMERICAN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
3. LANDSCAPE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL THE APPLICABLE FEDERAL, STATE AND LOCAL RULES AND REGULATIONS. LANDSCAPE CONTRACTOR SHALL BE LICENSED IN THE STATE OF TEXAS AT THE TIME OF INSTALLATION.
4. WHEN PLANT MATERIAL IS NOT AVAILABLE, LANDSCAPE CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF SUBSTITUTIONS.
5. LANDSCAPE QUANTITIES ARE SUBJECT TO CHANGE. LANDSCAPE CONTRACTOR WILL PROVIDE NECESSARY QUANTITIES OF PLANT MATERIAL TO MEET THE DESIGN INTENT REQUIREMENTS.
6. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROPER SURFACE DRAINAGE OF LANDSCAPED AREAS.
7. ALL PLANTING BEDS AND TREE WELLS SHALL BE MULCHED. ALL OTHER AREAS SHALL BE SEEDED AND/OR SODDED WITH BERMUDA GRASS.
8. IRRIGATION SYSTEM WILL BE INSTALLED AS PART OF THIS PROJECT. IRRIGATION DESIGN BY OTHERS.
9. LANDSCAPE MAINTENANCE: THE PROPERTY OWNER, TENANT OR AGENT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL REQUIRED LANDSCAPING IN A HEALTHY, NEAT, ORDERLY AND LIVE-GROWING CONDITION AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, PRUNING, FERTILIZING, IRRIGATION, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, AND OTHER SUCH MATERIALS NOT PART OF THE LANDSCAPING. PLANT MATERIALS THAT DIE SHALL BE REPLACED WITH PLANT MATERIAL SIMILAR VARIETY AND SIZE.
10. TO PROTECT THE ROOT HEALTH OF TREES LOCATED WITHIN LANDSCAPE ISLANDS, ALL LANDSCAPED AREAS SHALL BE PROTECTED WITH A TWO (2) FOOT WIDE GRAVEL/ROCK SURFACE AREA ADJACENT TO THE BACK OF THE CURB ADJACENT TO ALL PARKING SPACES. SEC. 14.04.006- (d) (D)

**PLANT MATERIAL CHART**

SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SPECIFICATIONS
	27	SHUMARD OAK	<i>Quercus shumardii</i>	3" CAL., 12' HI.
	23	BUR OAK	<i>Quercus macrocarpa</i>	3" CAL., 12' HI.
	12	BALD CYPRESS	<i>Taxodium distichum</i>	3" CAL., 12' HI.
	17	AMERICAN ELM	<i>Ulmus americana</i>	3" CAL., 12' HI.
	12	LITTLE GEM MAGNOLIA	<i>Magnolia grandiflora</i> "Little Gem"	3" CAL., 12' HI.
	13	MEXICAN PLUM	<i>Prunus mexicana</i>	3" CAL., 12' HI.
	5	CHASE TREE	<i>Vitex angust-castus</i>	3" CAL., 12' HI.
	17	CRAPE MYRTLE "Notchez"	<i>Lagerstroemia indica</i> "Notchez"	3" CAL., 12' HI.

SOD - BERMUDA SODDING OR SEEDING

**LANDSCAPE REQUIREMENTS (SEC. 14.04.006)**

LOT SIZE	SITE 448,848 S.F. (10.304 Ac.)	TREES	
		REQUIRED	PROVIDED
STREET BUFFER YARD - 15' 2 SHADE TREE & 2 ORNAMENTALS PER 1000 S.F.	9,410 S.F.	20/20	20/20
REAR BUFFER YARD - 15' 1 SHADE TREE AND 2 ORNAMENTALS PER 1000 S.F.	12,400 S.F.	13/26	13/26
<b>TOTAL TREES</b>		<b>33/46</b>	<b>33/46</b>



**CERTIFICATION**  
This plan was prepared by Jose L. Barro, Landscape Architect or under his direct supervision according to all of the statutes and regulations of the State of Texas.

*Jose L. Barro* Date: 02/19/2025  
Jose L. Barro, Landscape Architect and Planner, LLC  
1177 Magnolia Wood Avenue  
Baton Rouge, LA 70808  
Phone: 225-571-9534  
E-mail: jbarro1972@gmail.com

Jose L. Barro  
Landscape Architect and Planner, LLC  
1177 Magnolia Wood Ave.  
Baton Rouge, LA  
Phone: 225-571-9534



REVISIONS	NO.	BY	DATE	REVISIONS

SHEET INFO	LIB	ASB	ASB	ASB	ASB	ASB	ASB

**LANDSCAPE PLAN**  
**PEBBLE BROOK TOWNHOMES AND APTS**  
W. STEEPLE CHASE DRIVE  
SHERMAN, TEXAS

DATE: 12/19/2025  
SCALE: AS NOTED  
PROJECT NO.: 2025-023

SHEET NUMBER  
**L1**  
1 OF 1



**Planning & Zoning Commission Development Services**

Agenda Item No. 13.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**\* 6800 SOUTH HIGHWAY 75 (Project No. 000374-2026)**

The request of Finisar Sherman RE Holdco LLC (Owner), Ashley Villareal (Applicant) and Ringley & Associates, Inc. (Surveyor), concerning the property located at 6800 South Highway 75, consisting of 76.763 acres in the James A Foster Survey, Abstract No. 418, the Robert Foster Survey, Abstract No. 420 and the Marion G. Fellers Survey, Abstract No. 427 and currently zoned M-1.5 (Medium Manufacturing) District/75 & 82 Overlay District, as follows:

***Planning and Zoning Commission***

Site Plan of Coherent Logistics Building Addition

**Background:**

The property is located at 6800 South Highway 75. The property owner is requesting Site Plan approval for Coherent Logistics Building Addition.

**Origination:**

The request of Finisar Sherman RE Holdco LLC (Owner), Ashley Villareal (Applicant) and Ringley & Associates, Inc. (Surveyor).

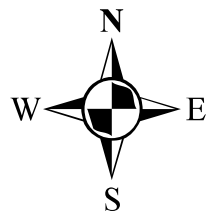
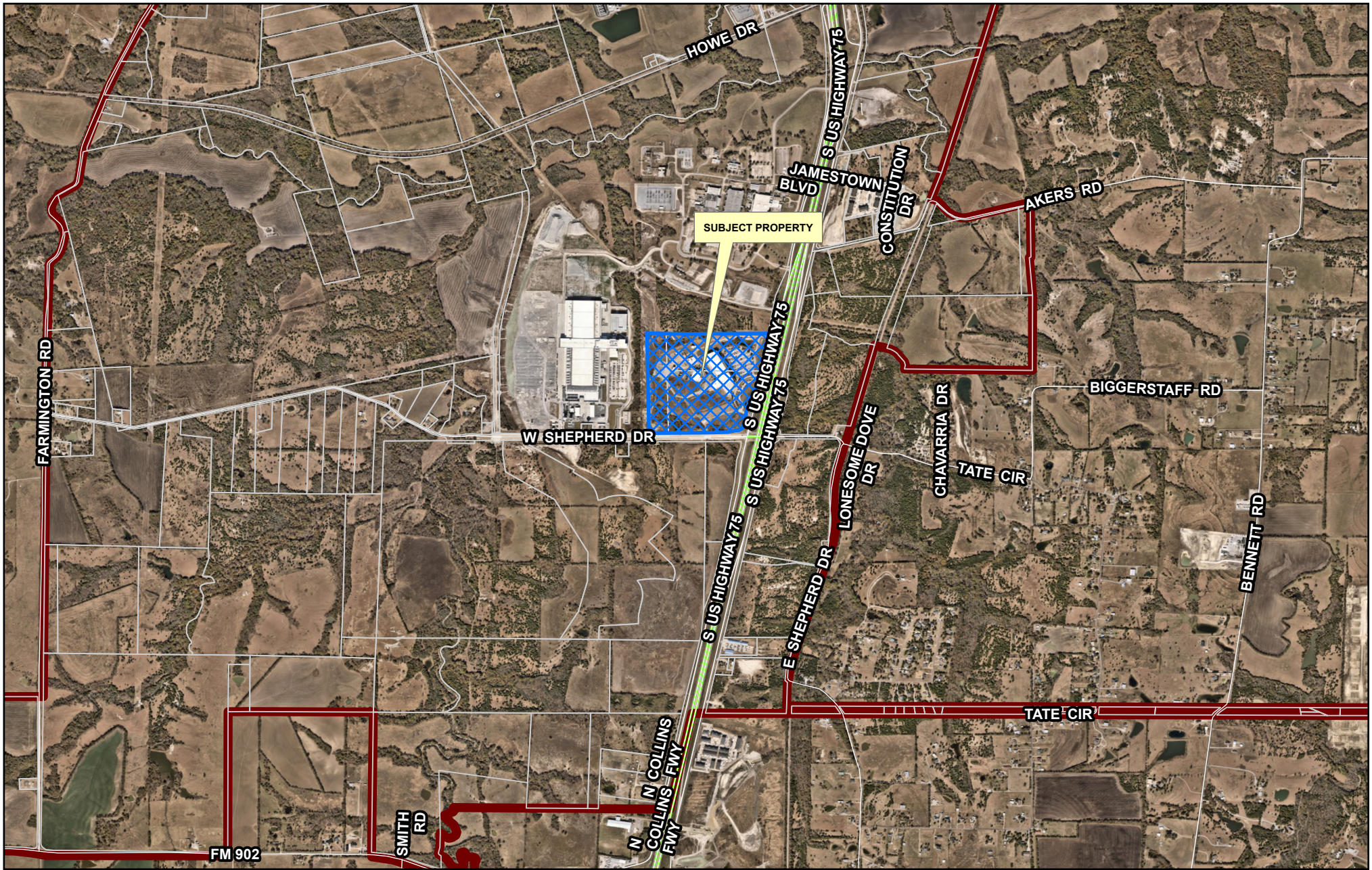
**Staff Recommendation:**

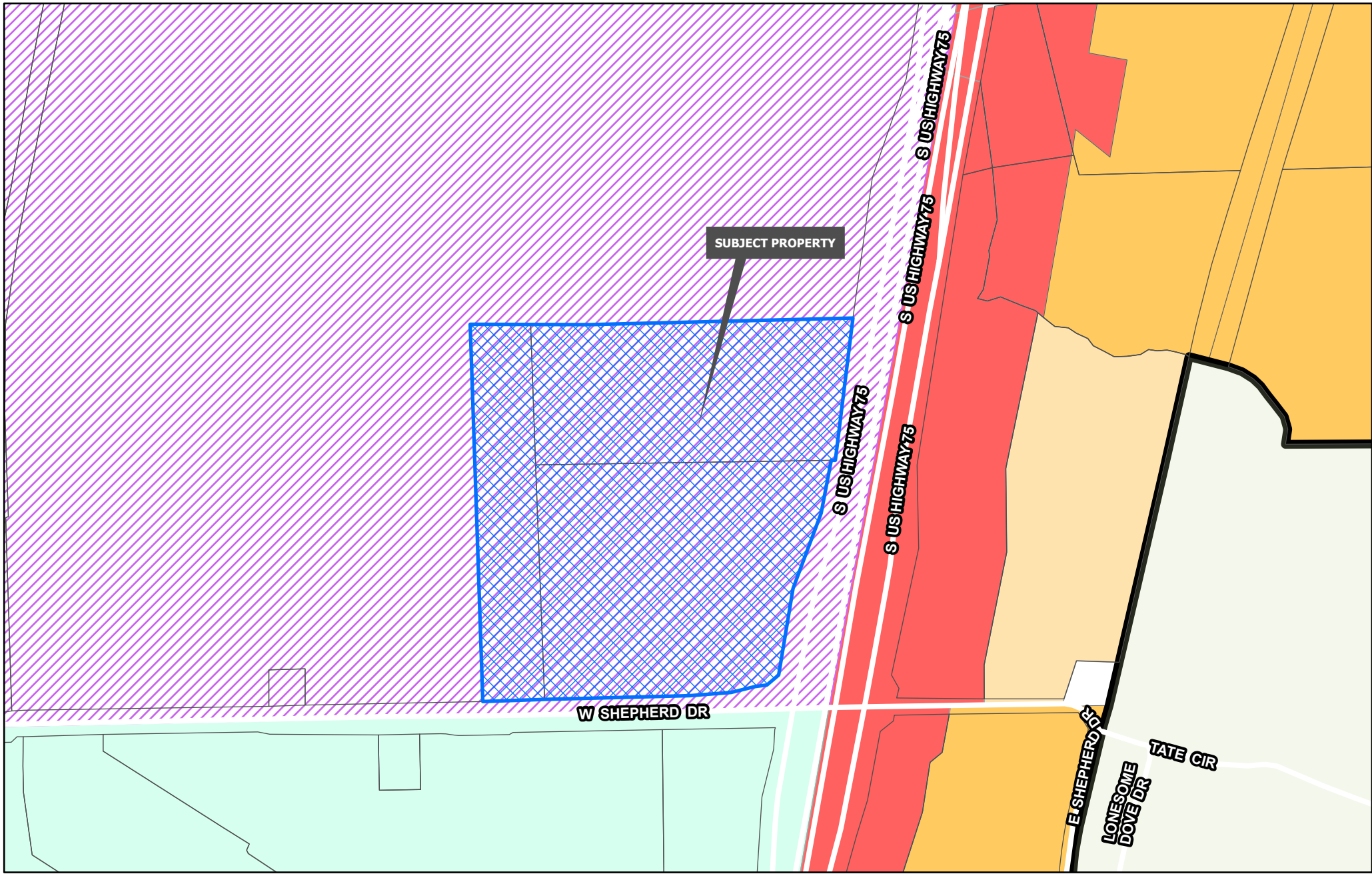
Staff recommends that P&Z approve this item.

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**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Survey
5. Project Narrative
6. Site Plan
7. Elevation
8. Landscape Plan





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN  
ZONING MAP  
6800 S HIGHWAY 75**



**TECHNOLOGY HUB**

**Intent & Character**  
The Technology Hub category is intended for areas of the community that are dedicated to large-scale employment uses. These areas are generally located north and south, anchored by the airport and Texas Instruments, respectively. These areas contribute to the community by providing a tax base and employment opportunities.

**Appropriate Land Use Types**

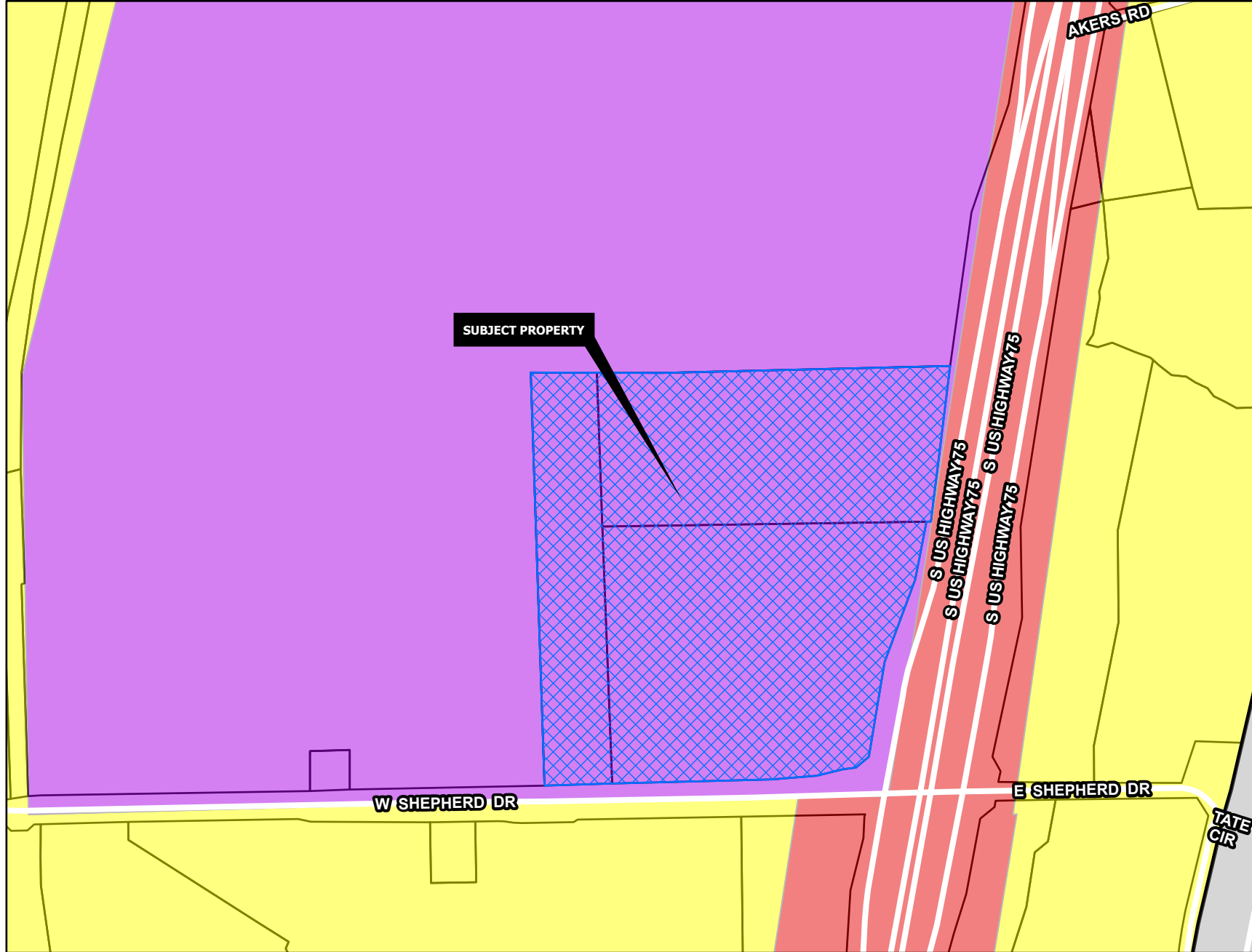
- Manufacturing
- Research and Development
- Warehousing and Distribution
- Multi-Family

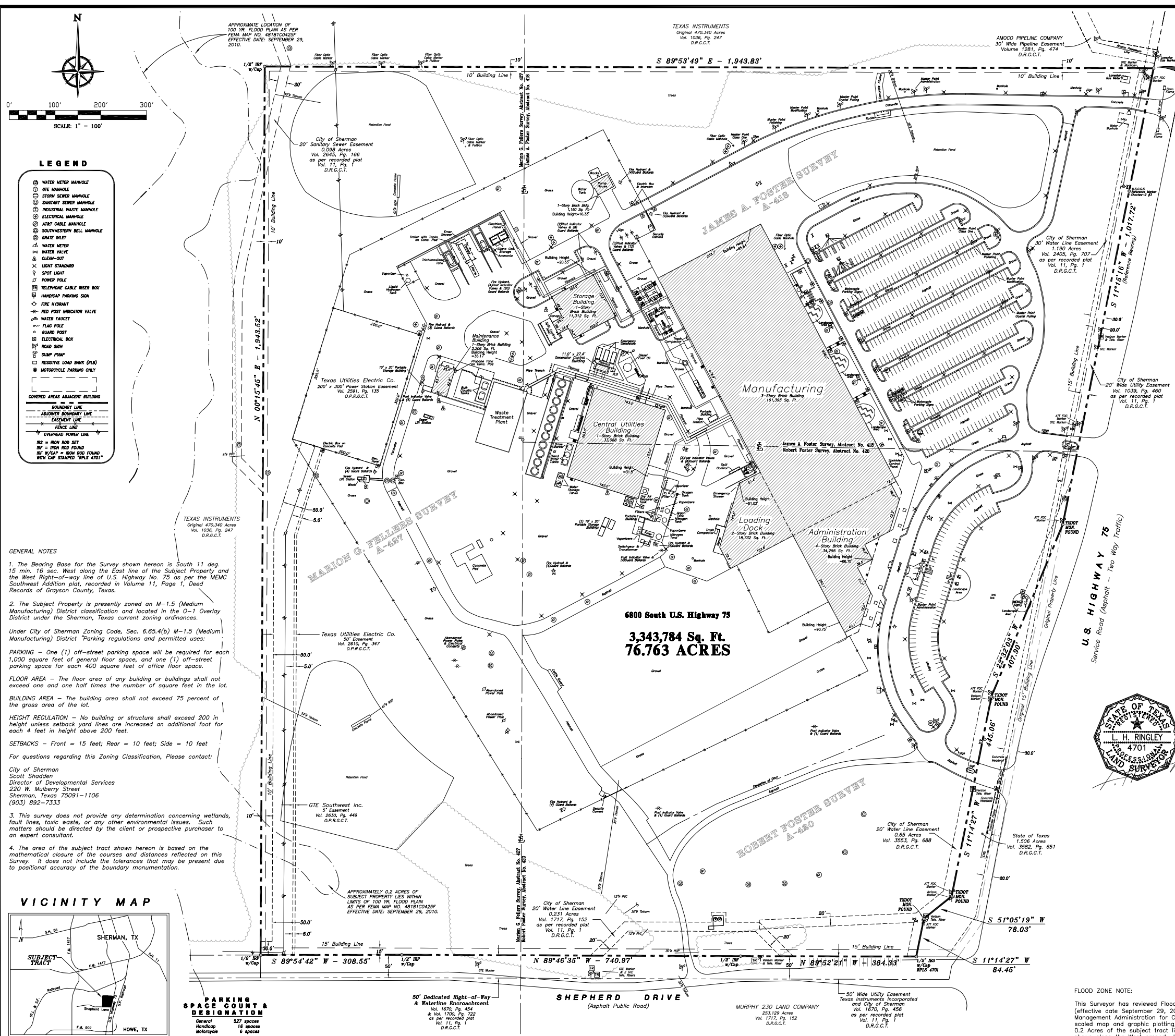
**Compatible Zoning Districts**

- Light Manufacturing
- Heavy Manufacturing
- Multi-Family Residential (MF-15 and MF-30)

**Considerations**

- Multi-family uses can support employment uses and provide housing variety in the community. These uses should be integrated into planned developments.
- Industrial uses should be ones that are primarily operated inside.
- Outdoor storage should be limited and screened from public view.





- This survey was prepared in conjunction with a Title Commitment prepared by COMMONWEALTH LAND TITLE INSURANCE COMPANY under GF No. 2211006051, with an Effective date of March 10, 2011 and Revised on April 13, 2011. This Surveyor has reviewed the items listed in Schedule B of said commitment and has concluded that the following items AFFECT the Subject Tract as noted. No additional research of easements were performed by Ringley & Associates, Inc.
- 10f. Reservation of an undivided non-participating royalty interest in and to all oil, gas and other minerals in that portion of subject land comprising 104 acres, more or less, in the Marion G. Fellers Survey, by grantor in Deed from The Federal Land Bank of Houston, dated May 2, 1941 and recorded June 9, 1941 in Volume 425, Page 281, and all rights incident thereto, and Waiver of Surface Rights by Farm Credit Bank of Texas, dated July 19, 1995 and recorded July 26, 1995 in Volume 2409, Page 62, both in the Deed Records of Grayson County, Texas. THIS ITEM AFFECTS THE WEST PORTION OF THE SUBJECT TRACT THAT LIES WITHIN THE MARION G. FELLERS SURVEY, ABSTRACT No. 427.
  - 10g. Utility Easement in favor of the City of Sherman, Texas, a municipal corporation, dated October 12, 1965 and recorded October 18, 1965 in Volume 1039, Page 460, and Utility Easement in favor of the City of Sherman, Texas, a municipal corporation, dated August 3, 1983 and recorded November 15, 1983 in Volume 1670, Page 456, both in the Deed Records of Grayson County, Texas. THESE ITEMS ONLY AFFECT THE SOUTH PROPERTY LINE OF THE SUBJECT TRACT, AS SHOWN.
  - 10h. Waterline Encroachment by the City of Sherman, Texas, a municipal corporation, to Keith Hayes and Jimmy Hill, dated November 14, 1983 and recorded November 15, 1983 in Volume 1670, Page 454, and Waterline Encroachment by the City of Sherman, Texas, a municipal corporation, to Keith Hayes, dated May 22, 1984 and recorded June 19, 1984 in Volume 1700, Page 722, in the Deed Records of Grayson County, Texas. THESE ITEMS ONLY AFFECT THE SOUTH PROPERTY LINE OF THE SUBJECT TRACT, AS SHOWN.
  - 10i. Any matter, including but not limited to, Easements, Roadways, and/or Building Setback Lines as shown on the Final Plat of MEMC Southwest Addition, recorded July 1, 1997 in Volume 11, Page 1, in the Plat Records, Grayson County, Texas. THIS ITEM AFFECTS THE SUBJECT TRACT AS SHOWN.
  - 10j. Substation Easement Agreement by MEMC Southwest, Inc., a Delaware corporation to Texas Utilities Electric Company, a Texas corporation, recorded November 17, 1997 in Volume 2591, Page 135, and Easement and Right of Way by MEMC Southwest, Inc., a Delaware corporation to Texas Utilities Electric Company, a Texas corporation, dated January 5, 1998 and recorded January 21, 1998 in Volume 2610, Page 347, both in the Deed Records of Grayson County, Texas. THIS ITEM AFFECTS THE SUBJECT TRACT AS SHOWN.
  - 10k. GTE Easement and Right of Way by MEMC Southwest, Inc., a Delaware corporation to GTE Southwest Incorporated, a Delaware corporation, dated March 2, 1998 and recorded March 25, 1998 in Volume 2630, Page 449, in the Deed Records of Grayson County, Texas. THIS ITEM AFFECTS THE SUBJECT TRACT AS SHOWN.
  - 10l. Waterline Easement by MEMC Southwest, Inc., a Delaware corporation to City of Sherman, Texas, a municipal corporation, dated October 6, 2003 and recorded October 22, 2003 in Volume 3553, Page 658, in the Deed Records of Grayson County, Texas. THIS ITEM AFFECTS THE SUBJECT TRACT AS SHOWN.

**LEGAL DESCRIPTION**  
 BEING a 76.763 acre tract of land situated in the City of Sherman, in the James A. Foster Survey, Abstract No. 418, the Robert Foster Survey, Abstract No. 420 and the Marion G. Fellers Survey, Abstract No. 427 of Grayson County, Texas and being part of the MEMC SOUTHWEST ADDITION, an addition to the City of Sherman, according to the plat thereof, recorded in Volume 11, Page 1 of the Map & Plat Records of Grayson County, Texas and being more particularly described by metes & bounds as follows:

**BEGINNING** at 1/2 inch iron rod topped with a red plastic cap, stamped "RPLS 4701" (hereinafter referred to as "with cap"), found for the Northeast corner of said MEMC Southwest Addition, on the West right-of-way line of U.S. Highway 75 (variable width right-of-way at this point) and said point also being on the East line of that original called 470.340 acre tract of land described in a deed to Texas Instruments Incorporated, recorded in Volume 1036, Page 247 of the Deed Records of Grayson County, Texas (DRGCT);

**THENCE:** South 11 deg. 15 min. 16 sec. West, along the common line of said addition and highway, a distance of 1,017.72 feet to a Texas Department of Transportation (TXDOT) brass monument in concrete, found for the North corner of that certain called 1.506 acre tract of land described in a deed from MEMC Southwest, Inc. to the State of Texas, dated December 15, 2003 and recorded in Volume 3582, Page 651, DRGCT;

**THENCE:** Departing from the original East line of said MEMC Southwest Addition and along the West line of said 1.506 acre tract as follows:

- South 22 deg. 32 min. 03 sec. West - 407.90 feet to a TXDOT monument found for corner;
- South 11 deg. 14 min. 27 sec. West - 445.06 feet to a TXDOT monument found for corner;
- South 51 deg. 05 min. 19 sec. West - 78.03 feet to a TXDOT monument found for corner;
- South 11 deg. 14 min. 27 sec. West - 84.45 feet to a 1/2 inch iron rod, with cap, set for the Southwest corner of said 1.506 acre tract; on the South line of said MEMC Southwest Addition and same being the North right-of-way line of Shepherd Road as dedicated to the City of Sherman by the above described plat recorded in Volume 11, Page 1 of the Map & Plat Records of Grayson County, Texas;

**THENCE:** Along the common line of said MEMC Southwest Addition and said Shepherd Road as follows:

- North 89 deg. 52 min. 21 sec. West - 384.33 feet to a 1/2 inch iron rod, with cap found for corner;
- North 89 deg. 46 min. 35 sec. West - 740.97 feet to a 1/2 inch iron rod, with cap found for corner;
- South 89 deg. 54 min. 42 sec. West - 308.55 feet to a 1/2 inch iron rod, with cap found for the Southwest corner of said MEMC Southwest Addition and same being the East line of the above described Texas Instruments Incorporated original 470.340 acre tract;

**THENCE:** North 00 deg. 15 min. 45 sec. East, along the common line of said MEMC Southwest Addition and said Texas Instruments tract, a distance of 1,943.52 feet to a 1/2 inch iron rod, with cap, found for the Northwest corner of said MEMC Southwest Addition;

**THENCE:** South 89 deg. 53 min. 49 sec. East, continuing along the common line of said addition and said Texas Instruments tract, a distance of 1,943.83 feet to the POINT OF BEGINNING and containing 3,343,784 square feet or 76.763 acres of land.

**SURVEYORS CERTIFICATE**

I, Lawrence H. Ringley, Registered Professional Land Surveyor in and for the State of Texas, hereby certify to BRYAN CAVE, LLP; MEMC ELECTRONIC MATERIALS, INC.; COMMONWEALTH LAND TITLE INSURANCE COMPANY and BANK OF AMERICA, N.A.; that this map and the Survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", jointly established and adopted by ALTA, ACSM and NSPS in 2011, and includes Items 1,2,3,4,6a,6b,7a,7b,7c,8,9,10,11a,13,14,16,17,18 and 21 of Table A thereof on the day of this Survey, May 26, 2011.

*Lawrence H. Ringley*  
 Lawrence H. Ringley, R.P.L.S.  
 State of Texas, No. 4701



**ALTA/ACSM LAND TITLE SURVEY**  
**MEMC SOUTHWEST ADDITION**  
**76.763 ACRES**  
**6800 South U.S. Highway 75**  
**City of Sherman**  
**James A. Foster Survey, Abst. No. 418**  
**Robert Foster Survey, Abst. No. 420**  
**Marion G. Fellers Survey, Abst. No. 427**  
**Grayson County, Texas**

- LEGEND**
- ⊕ WATER METER MANHOLE
  - ⊕ GTE MANHOLE
  - ⊕ STORM SEWER MANHOLE
  - ⊕ SANITARY SEWER MANHOLE
  - ⊕ INDUSTRIAL WASTE MANHOLE
  - ⊕ ELECTRICAL MANHOLE
  - ⊕ AT&T CABLE MANHOLE
  - ⊕ SOUTHWESTERN BELL MANHOLE
  - ⊕ WATER METER
  - ⊕ WATER VALVE
  - ⊕ CLEAN-OUT
  - ⊕ LIGHT STANDARD
  - ⊕ SPOT LIGHT
  - ⊕ POWER POLE
  - ⊕ TELEPHONE CABLE RISER BOX
  - ⊕ HANDICAP PARKING SIGN
  - ⊕ FIRE HYDRANT
  - ⊕ RED POST INDICATOR VALVE
  - ⊕ WATER FAUCET
  - ⊕ FLAG POLE
  - ⊕ GUARD POST
  - ⊕ ELECTRICAL BOX
  - ⊕ ROAD SIGN
  - ⊕ SUMP PUMP
  - ⊕ RESISTIVE LOAD BANK (RLB)
  - ⊕ MOTORCYCLE PARKING ONLY
- COVERED AND ADJACENT BUILDINGS**
- BOUNDARY LINE
  - ADJACENT BOUNDARY LINE
  - EASEMENT LINE
  - FENCE LINE
  - OVERHEAD POWER LINE
- RS = IRON ROD SET  
 RF = IRON ROD FOUND  
 RW/CAP = IRON ROD FOUND WITH CAP STAMPED "RPLS 4701"

**GENERAL NOTES**

1. The Bearing Base for the Survey shown hereon is South 11 deg. 15 min. 16 sec. West along the East line of the Subject Property and the West Right-of-way line of U.S. Highway No. 75 as per the MEMC Southwest Addition plat, recorded in Volume 11, Page 1, Deed Records of Grayson County, Texas.
2. The Subject Property is presently zoned an M-1.5 (Medium Manufacturing) District classification and located in the O-1 Overlay District under the Sherman, Texas current zoning ordinances.

Under City of Sherman Zoning Code, Sec. 6.65.4(b) M-1.5 (Medium Manufacturing) District "Parking regulations and permitted uses:

**PARKING** - One (1) off-street parking space will be required for each 1,000 square feet of general floor space, and one (1) off-street parking space for each 400 square feet of office floor space.

**FLOOR AREA** - The floor area of any building or buildings shall not exceed one and one half times the number of square feet in the lot.

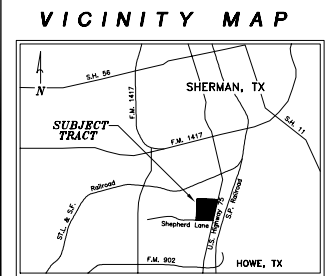
**BUILDING AREA** - The building area shall not exceed 75 percent of the gross area of the lot.

**HEIGHT REGULATION** - No building or structure shall exceed 200 in height unless setback yard lines are increased an additional foot for each 4 feet in height above 200 feet.

**SETBACKS** - Front = 15 feet; Rear = 10 feet; Side = 10 feet

For questions regarding this Zoning Classification, Please contact:  
 City of Sherman  
 Scott Shadden  
 Director of Developmental Services  
 220 W. Mulberry Street  
 Sherman, Texas 75091-1106  
 (903) 892-7333

3. This survey does not provide any determination concerning wetlands, fault lines, toxic waste, or any other environmental issues. Such matters should be directed by the client or prospective purchaser to an expert consultant.
4. The area of the subject tract shown hereon is based on the mathematical closure of the courses and distances reflected on this Survey. It does not include the tolerances that may be present due to positional accuracy of the boundary monumentation.



**PARKING SPACE COUNT & DESIGNATION**

General	527 spaces
Handicap	18 spaces
Motorcycle	6 spaces
<b>Total</b>	<b>549 spaces</b>

**50' Dedicated Right-of-Way & Waterline Encroachment**  
 Vol. 1670, Pg. 454 & Vol. 1700, Pg. 722 as per recorded plat Vol. 11, Pg. 1 D.R.G.C.T.

**MURPHY 230 LAND COMPANY**  
 253,129 Acres  
 Vol. 1717, Pg. 152 as per recorded plat Vol. 11, Pg. 1 D.R.G.C.T.

**FLOOD ZONE NOTE:**  
 This Surveyor has reviewed Flood Insurance Rate Map No. 48181C0425F (effective date September 29, 2010) published by the Federal Emergency Management Administration for Collin County, Texas and based upon said scaled map and graphic plotting, such review indicates that approximately 0.2 Acres of the subject tract lies within the 100 Year Flood Plain as shown along the West property line of the subject tract.

**RINGLEY & ASSOCIATES INC.**  
 SURVEYING - MAPPING - PLANNING  
 COMPUTER AIDED DRAFTING & DESIGN  
 410 N. Tennessee - McKinney, Texas 75069

Drawn by	Date	Scale	Job	Title	Sheet
M. Head	05/26/11	1" = 100'	11072	11072.DWG	1 of 1



April 8, 2026

City of Sherman Planning Department  
220 W Mulberry St  
Sherman, TX 75090

**RE: Project Narrative – Coherent Logistics Building Addition  
Site Plan Submittal**

To whom it may concern,

Atwell, LLC is pleased to submit this site plan application to the City of Sherman to obtain approval for the site plan of a proposed warehouse building within the existing Coherent/Finisar development located at 6800 South US Highway 75.

The proposed ±26,000 warehouse building will be used for storage of materials that are currently being stored in various buildings within the existing development. The proposed building will feature four dock doors along the east side of the building. Associated improvements include a ±15,450 SF truck court, fire lane extension, and new trash receptacle area on the west side of the building. The proposed building will be served by existing private sanitary and water lines. Drainage within the proposed building vicinity will be collected in private storm lines and discharged into the east detention pond. No additional parking is proposed for the site at this time based on existing parking counts provided in the submittal. The property is zoned M-1.5 and will remain as such – proposed improvements will be based on M-1.5 development criteria.

We look forward to working with City staff, the Planning & Zoning Commission, and City Council to move forward with our client's vision for this property. Thank you for your thoughtful consideration.

Sincerely,

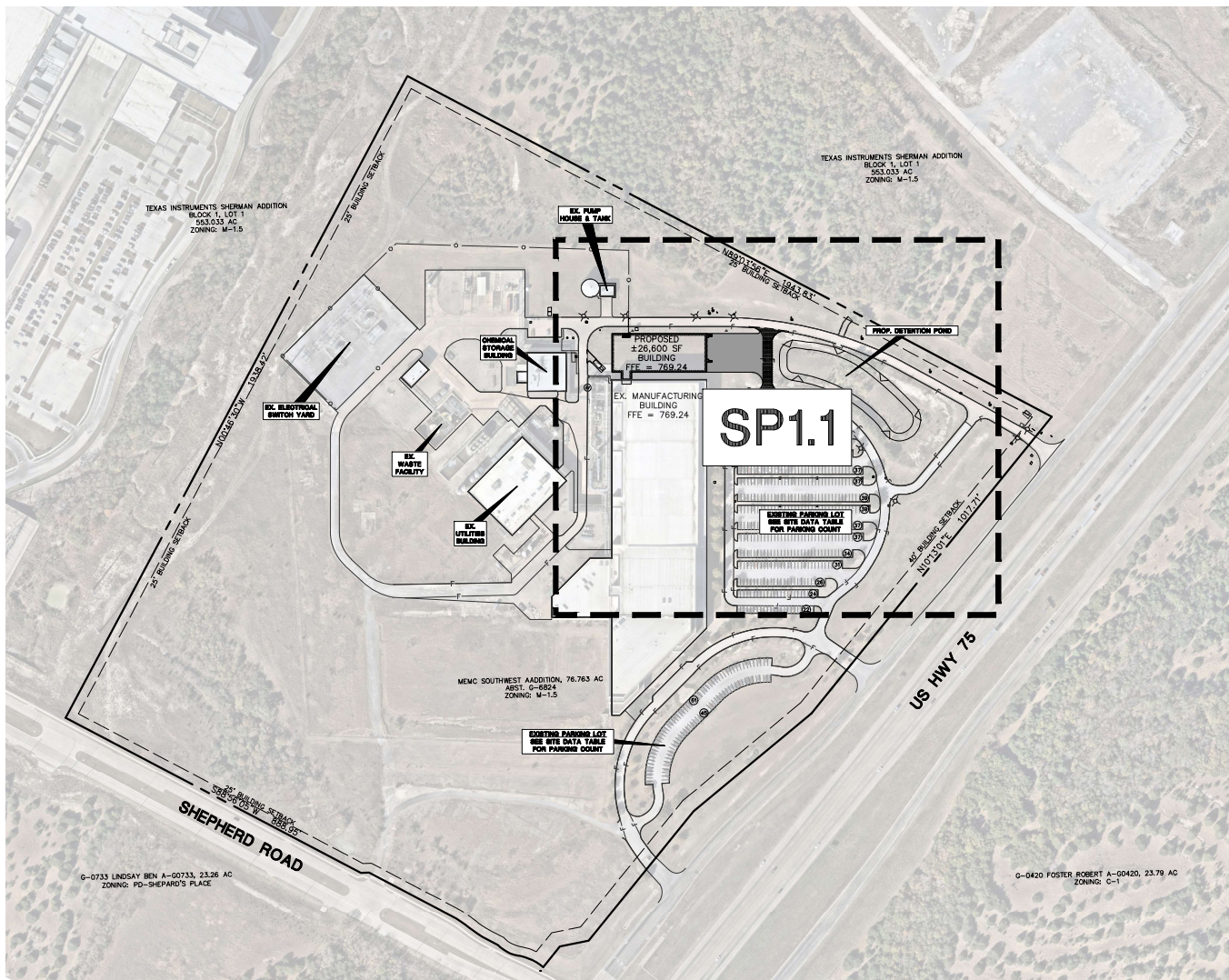
A handwritten signature in black ink that reads "Ashley Villarreal".

Ashley Villarreal  
Project Manager  
Atwell, LLC  
8144 Walnut Hill Lane, Suite 750  
Dallas, Texas 75231

**ATWELL, LLC**

TX: Dallas

8144 Walnut Hill Lane, Suite 750, Dallas, TX 75231  
[www.atwell.com](http://www.atwell.com)



**SITE DATA TABLE**

GROSS SF OF EACH STRUCTURE:  
 PROP. WAREHOUSE BUILDING: 26,600 SF  
 EX. MANUFACTURING BUILDING: 341,330 SF  
 EX. SHIPPING & RECEIVING: 37,430 SF  
 EX. ADMINISTRATIVE BUILDING: 76,528 SF  
 EX. UTILITIES BUILDING: 33,080 SF  
 EX. WASTE WATER TREATMENT: 2,205 SF  
 EX. CHEMICAL AND STORAGE: 11,309 SF  
 EX. PUMP HOUSE: 1,128 SF

GROSS SF OF PROPERTY: 3,343,796.28 SF, 76.763 AC

REQUIRED PARKING:  
 PROP. WAREHOUSE:  
 26,600 SF \* (1 SPACE/2,000 SF MANUFACTURING) = 13 STALLS  
 EX. MANUFACTURING:  
 322,580 SF \* (1 SPACE/2,000 SF MANUFACTURING) = 81 STALLS  
 18,750 SF \* (1 SPACE/400 SF OFFICE) = 47 STALLS  
 EX. SHIPPING & RECEIVING:  
 37,420 SF \* (1 SPACE/400 SF OFFICE) = 94 STALLS  
 EX. ADMINISTRATIVE:  
 76,528 SF \* (1 SPACE/400 SF OFFICE) = 192 STALLS

TOTAL REQUIRED PARKING:  
 -9 ACCESSIBLE STALLS  
 -418 STANDARD STALLS

PROVIDED PARKING:  
 -16 ACCESSIBLE STALLS  
 -531 STANDARD STALLS  
 \*ALL PROVIDED PARKING IS EXISTING

ZONING: M-1.5 MEDIUM MANUFACTURING

IMPERVIOUS AREA: 1,025,581.82 SF, 23.54 AC  
 LANDSCAPED AREA: REF. LANDSCAPE PLANS  
 FLOOR TO AREA RATIO: 0.16

**LEGEND**

	PROPOSED FIRE LANE PAVEMENT
	PROPOSED TRUCK COURT PAVEMENT
	PROP. HYDRANT
	EX. PARKING COUNT

**811**  
 Know what's below.  
 Call before you dig.

THE LOCATIONS OF UTILITIES UNDERGROUND STRUCTURES ARE SHOWN AS APPROXIMATE ONLY. ONLY A GROUND SURVEY BY A LICENSED SURVEYOR OR ENGINEER CAN DETERMINE THE EXACT LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION WORK. ANY DAMAGES TO UTILITIES OR OTHER PROPERTY CAUSED BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

NOTICE: CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONNEL AND THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

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**COHERENT LOGISTICS CENTER ADDITION**  
 8666 SOUTH US HIGHWAY 75, SHERMAN, TX, 75099  
 SITE PLAN SUBMITTAL  
 OVERALL SITE PLAN

DATE: 04/08/2026

NO. OF REVISIONS	1	2	3	4	5	6	7	8	9	10
DATE										
BY										
CHKD										
DATE										

DR: TMS CR

P.M. EMZ

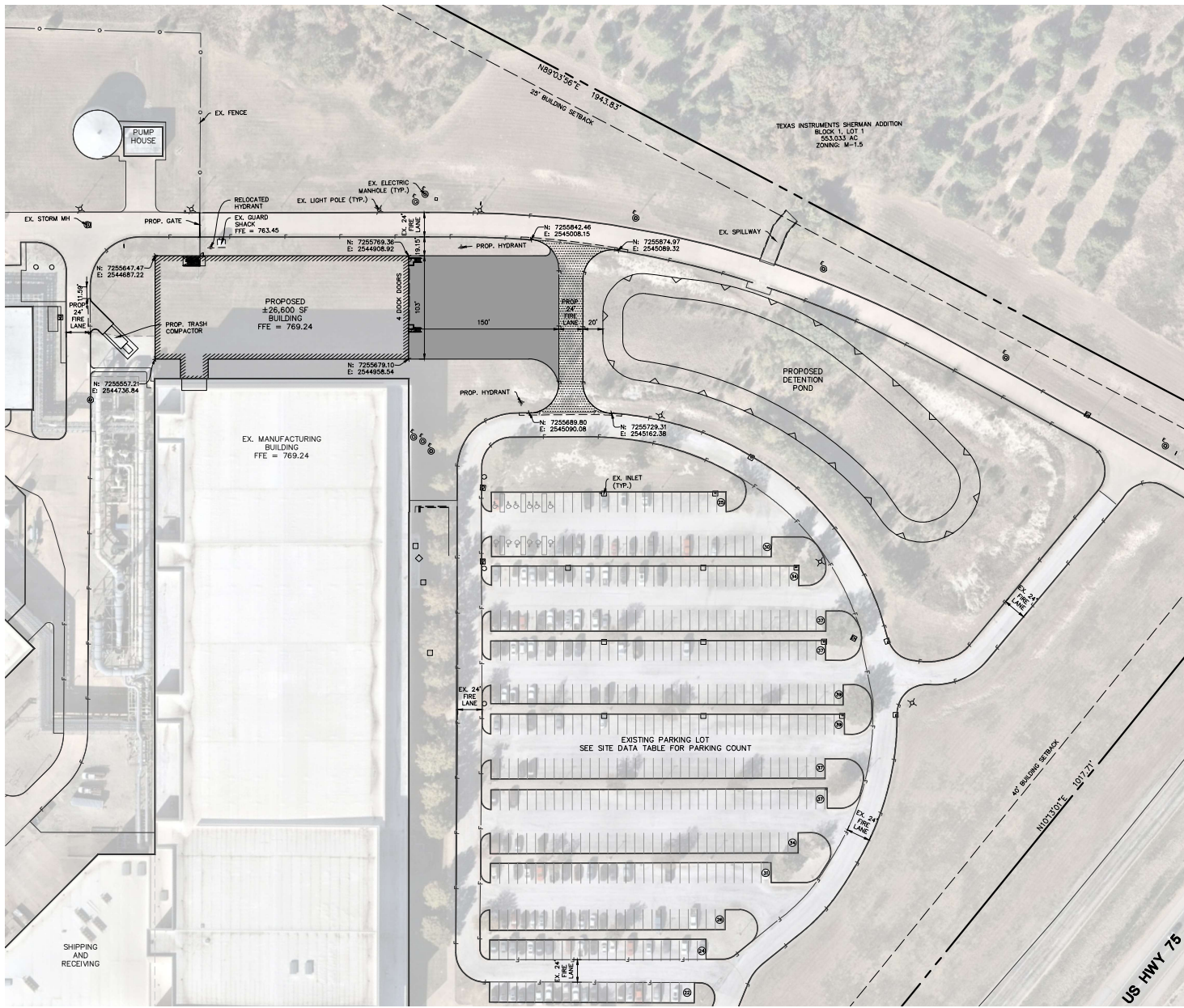
JOB: 2001556

SHEET NO.

**SP1.0**

ATWELL LLC, 1000 AIRBORNE DRIVE, SUITE 1000, NORTH RICHMOND, TEXAS 75482  
 866-850-3300 www.atwell.com  
 1000 AIRBORNE DRIVE, SUITE 1000, NORTH RICHMOND, TEXAS 75482

ATWELL LLC, 6600 SOUTH US HIGHWAY 75, SHERMAN, TEXAS 75090  
 8000 WEST 10TH STREET, SUITE 100, FORT WORTH, TEXAS 76133  
 TEL: 817.335.5572 FAX: 817.335.5573 WWW.ATWELL.COM



**SITE DATA TABLE**

GROSS SF OF EACH STRUCTURE:  
 PROP. WAREHOUSE BUILDING: 26,600 SF  
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	PROPOSED TRUCK COURT PAVEMENT
	PROP. HYDRANT
	EX. PARKING COUNT

**811**  
 Know what's below.  
 Call before you dig.

THE LOCATIONS OF UTILITIES (UNDERGROUND OR ABOVE GROUND) AS SHOWN ON THIS PLAN ARE REPRESENTATIVE ONLY AND HAVE NOT BEEN RECONCILED TO THE EXISTING RECORD DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION WORK. ANY UTILITIES NOT SHOWN ON THIS PLAN ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ANY OTHER AGENCIES.

NOTICE: CONTRACTOR SHALL BE RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ANY OTHER AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ANY OTHER AGENCIES.

ATWELL LLC IS NOT RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ANY OTHER AGENCIES.

ATWELL LLC IS NOT RESPONSIBLE FOR THE OBTAINING OF ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT AND ANY OTHER AGENCIES.



**COHERENT LOGISTICS CENTER ADDITION**  
 6600 SOUTH US HIGHWAY 75, SHERMAN, TX, 75090  
 SITE PLAN SUBMITTAL  
**SITE PLAN**

DATE: 04/08/2026

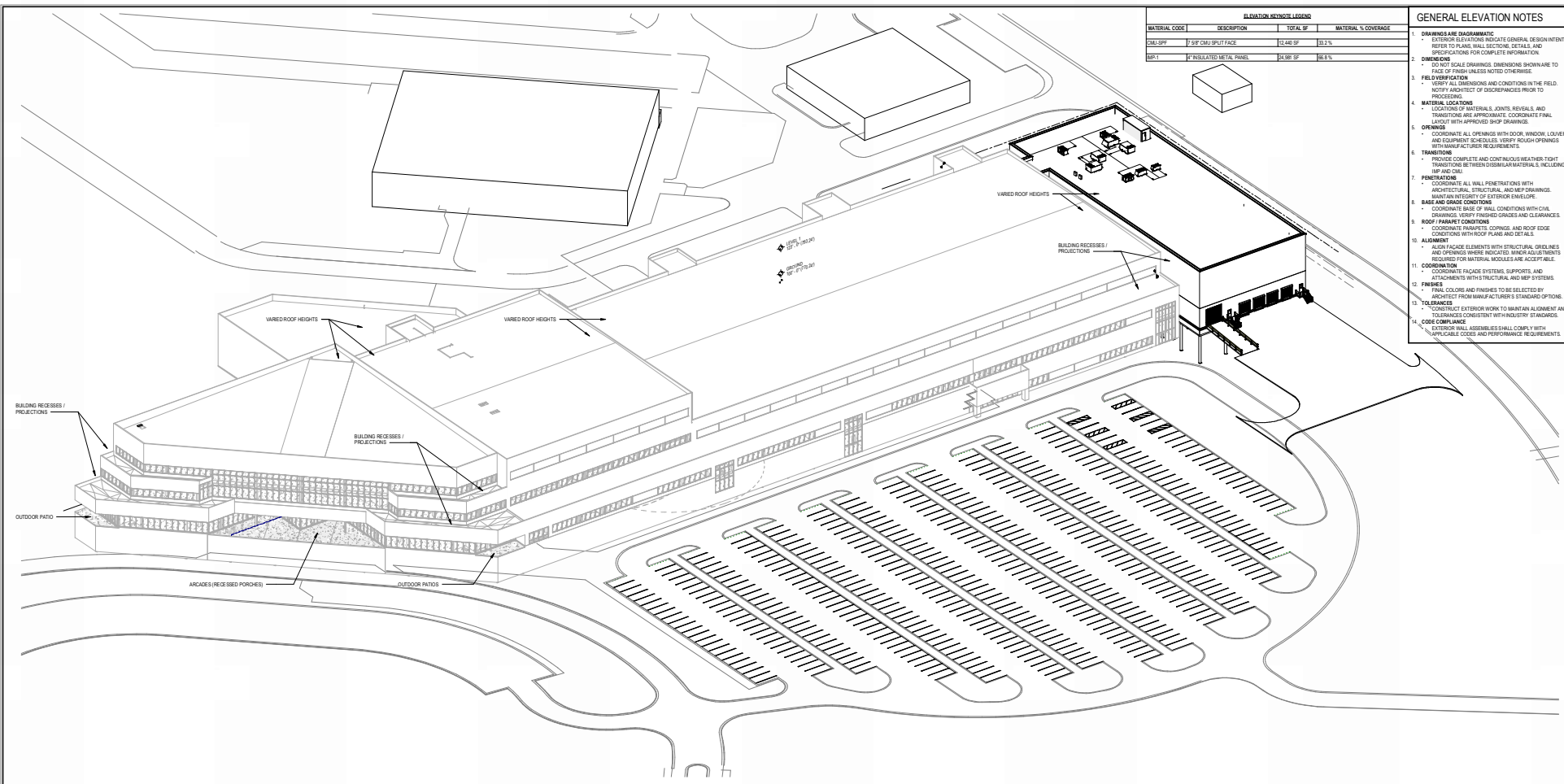
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DR: TMS CR  
 PM: EMZ  
 JOB: 2001556  
 SHEET NO: SP1.1

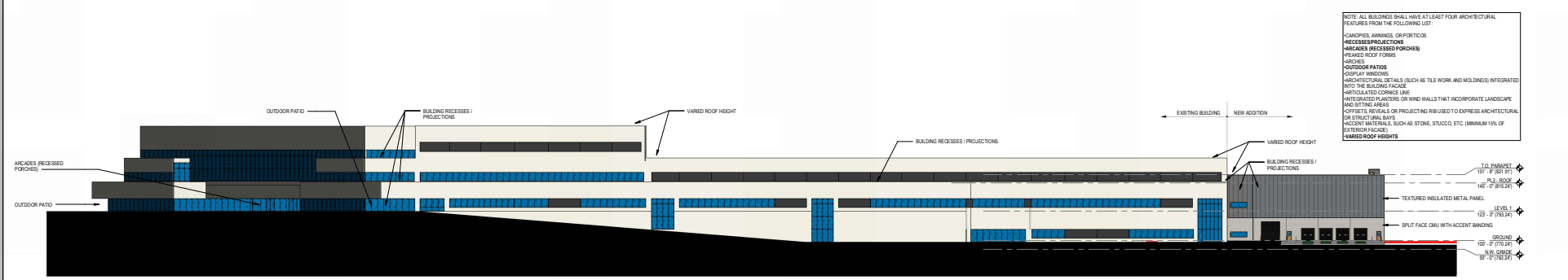
ELEVATION KEYNOTE LEGEND

MATERIAL CODE	DESCRIPTION	TOTAL SF	MATERIAL % COVERAGE
CMU-SPF	7" SF CMU SPLIT FACE	12,440 SF	83.2%
IMP-1	1" INSULATED METAL PANEL	24,980 SF	86.8%

- GENERAL ELEVATION NOTES**
- DRAWING IS DIAGNOSTIC**
    - EXTERIOR ELEVATIONS INDICATE GENERAL DESIGN INTENT. REFER TO PLANS, WALL SECTIONS, DETAILS, AND SPECIFICATIONS FOR COMPLETE INFORMATION.
  - DIMENSIONS**
    - VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
  - FIELD VERIFICATION**
    - VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
  - MATERIAL LOCATIONS**
    - LOCATIONS OF MATERIALS, JOINTS, REVEALS, AND TRANSITIONS ARE APPROXIMATE. COORDINATE FINAL LAYOUT WITH APPROVED SHOP DRAWINGS.
  - OPENINGS**
    - COORDINATE ALL OPENINGS WITH DOOR, WINDOW, LOUVER, AND EQUIPMENT SCHEDULES. VERIFY FINISH OPENINGS WITH MANUFACTURER REQUIREMENTS.
  - TRANSITIONS**
    - PROVIDE COMPLETE AND CONTINUOUS WEATHER-TIGHT TRANSITIONS BETWEEN DIFFERENT MATERIALS, INCLUDING IMP AND CMU.
  - PENETRATIONS**
    - COORDINATE ALL WALL PENETRATIONS WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS. MAINTAIN INTEGRITY OF EXTERIOR ENVELOPE.
  - BASE AND GRADE CONDITIONS**
    - COORDINATE BASE OF WALL CONDITIONS WITH CIVIL DRAWINGS. VERIFY FINISHED GRADES AND CLEARANCES.
  - ROOF FINISH CONDITION**
    - COORDINATE FLASHINGS, CORNICES, AND ROOF EDGE CONDITIONS WITH ROOF PLANS AND DETAILS.
  - ALIGNMENT**
    - ALIGN FACADE ELEMENTS WITH STRUCTURAL, GRID LINES AND OPENINGS WHERE INDICATED. MINOR ADJUSTMENTS REQUIRED FOR MATERIAL MODULES ARE ACCEPTABLE.
  - COORDINATION**
    - COORDINATE FACADE SYSTEMS, SUPPORTS, AND ATTACHMENTS WITH STRUCTURAL AND MEP SYSTEMS.
  - FINISHES**
    - FINAL COLORS AND FINISHES TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD OPTIONS.
  - TOLERANCES**
    - CONSTRUCT EXTERIOR WORK TO MAINTAIN ALIGNMENT AND TOLERANCES CONSISTENT WITH INDUSTRY STANDARDS.
  - CODE COMPLIANCE**
    - EXTERIOR WALL ASSEMBLIES SHALL COMPLY WITH APPLICABLE CODES AND PERFORMANCE REQUIREMENTS.



2 WHOLE BUILDING AXONOMETRIC



1 WHOLE BUILDING ELEVATION  
 1/32" = 1'-0"

ARCHITECT: MAA

ELEVATION KEYNOTE LEGEND			
MATERIAL CODE	DESCRIPTION	TOTAL SF	MATERIAL % COVERAGE
CMU-SPF	8" SIP CMU BRUTE FACE	12,445 SF	83.2 %
IMP-1	1" INSULATED METAL PANEL	2,458 SF	16.8 %

- ### GENERAL ELEVATION NOTES
- DRAWING IS A DIAGRAMMATIC**
    - EXTERIOR ELEVATIONS INDICATE GENERAL DESIGN INTENT. REFER TO PLANS, WALL SECTIONS, DETAILS, AND SPECIFICATIONS FOR COMPLETE INFORMATION.
  - DIMENSIONS**
    - ON 1/8" SCALE DRAWINGS, DIMENSIONS SHOWN ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.
  - FIELD VERIFICATION**
    - VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
  - MATERIAL LOCATIONS**
    - LOCATIONS OF MATERIALS, JOINTS, REVEALS, AND TRANSITIONS ARE APPROXIMATE. COORDINATE FINAL LAYOUT WITH APPROVED SHOP DRAWINGS.
  - OPENINGS**
    - COORDINATE ALL OPENINGS WITH DOOR, WINDOW, LOUVER, AND EQUIPMENT SCHEDULES. VERIFY FINISH OPENINGS WITH MANUFACTURER REQUIREMENTS.
  - TRANSITIONS**
    - PROVIDE COMPLETE AND CONTINUOUS WEATHER-TIGHT TRANSITIONS BETWEEN DIFFERENT MATERIALS, INCLUDING IMP AND CMU.
  - PENETRATIONS**
    - COORDINATE ALL WALL PENETRATIONS WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS. MAINTAIN THE CLEARANCE OF EXTERIOR ENVELOPE.
  - BASE AND GRADE CONDITIONS**
    - COORDINATE BASE OF WALL CONDITIONS WITH CIVIL DRAWINGS. VERIFY FINISHED GRADES AND CLEARANCES.
  - ROOF FRAMEWORK CONDITION**
    - COORDINATE FRAMERS, CORNICES, AND ROOF EDGE CONDITIONS WITH ROOF PLANS AND DETAILS.
  - ALIGNMENT**
    - ALIGN FACADE ELEMENTS WITH STRUCTURAL GRID LINES AND OPENINGS WHERE INDICATED. MINOR ADJUSTMENTS REQUIRED FOR MATERIAL MODULES ARE ACCEPTABLE.
  - COORDINATION**
    - COORDINATE FACADE SYSTEMS, SUPPORTS, AND ATTACHMENTS WITH STRUCTURAL AND MEP SYSTEMS.
  - FINISHES**
    - FINAL COLORS AND FINISHES TO BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD OPTIONS.
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  - CODE COMPLIANCE**
    - EXTERIOR WALL ASSEMBLIES SHALL COMPLY WITH APPLICABLE CODES AND PERFORMANCE REQUIREMENTS.

architects  
**maa**  
merriman  
anderson  
interior design  
300 N. FIELD ST.  
DALLAS, TEXAS 75201  
214.967.3399  
214.967.3318 (FAX)

SITE PLAN

WILL COTTON

NOT FOR REGULATORY  
APPROVAL, PERMITTING,  
OR CONSTRUCTION.  
03/10/26

**COHERENT**  
HILL & WILKINSON  
GENERAL CONTRACTORS

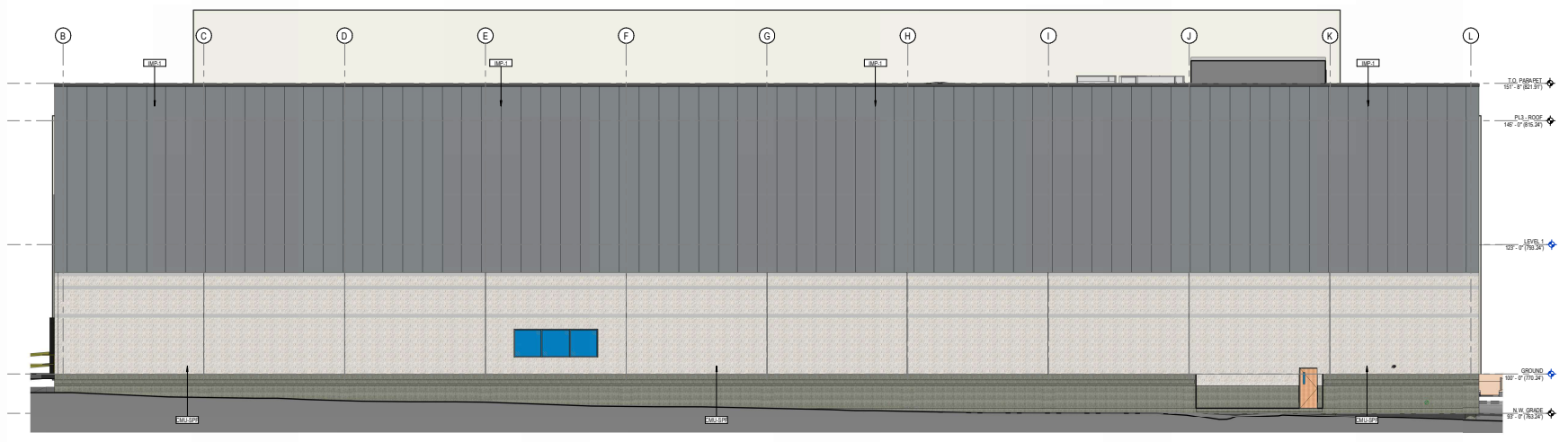
**COHERENT LOGISTICS CENTER**  
6600 S US 75  
SHERMAN, TX 75090

0101  
REVISIONS  
REVISIONS

PROJECT NUMBER: maa-2024016  
ISSUE DATE: 04/22/26  
SHEET TITLE: NORTH & EAST BUILDING ELEVATIONS  
SHEET NUMBER: A3.01



2 EAST ELEVATION  
1/8" = 1'-0"



1 NORTH ELEVATION  
1/8" = 1'-0"

ARCHITECTURE BY MAA

ELEVATION KEYNOTE LEGEND			
MATERIAL CODE	DESCRIPTION	TOTAL SF	MATERIAL % COVERAGE
CMU-SF	1" SF CMU SPURFACE	12,440 SF	82.2%
IMP-1	1" INSULATED METAL PANEL	2,810 SF	18.8%

- GENERAL ELEVATION NOTES**
- DRAWINGS ARE DIAGNOMATIC:**
    - EXTERIOR ELEVATIONS INDICATE GENERAL DESIGN INTENT. REFER TO PLANS, WALL SECTIONS, DETAILS, AND SPECIFICATIONS FOR COMPLETE INFORMATION.
    - DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE.
  - FIELD VERIFICATION:**
    - VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO PROCEEDING.
  - MATERIAL LOCATIONS:**
    - LOCATIONS OF MATERIALS, JOINTS, REVEALS, AND TRANSITIONS ARE APPROXIMATE. COORDINATE FINAL LAYOUT WITH APPROVED SHOP DRAWINGS.
  - OPENING:**
    - COORDINATE ALL OPENINGS WITH DOOR, WINDOW, LOUVER, AND EQUIPMENT SCHEDULES. VERIFY FINISH OPENINGS WITH MANUFACTURER REQUIREMENTS.
  - TRANSITIONS:**
    - PROVIDE COMPLETE AND CONTINUOUS WEATHER-TIGHT TRANSITIONS BETWEEN DIFFERENT MATERIALS, INCLUDING IMP AND CMU.
  - PENETRATIONS:**
    - COORDINATE ALL WALL PENETRATIONS WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS. MAINTAIN MINIMUM CLEARANCE OF EXTERIOR ENVELOPE.
  - BASE AND GRADE CONDITIONS:**
    - COORDINATE BASE OF WALL CONDITIONS WITH CIVIL DRAWINGS. VERIFY FINISHED GRADES AND CLEARANCES.
  - ROOF FRAME/CONDITION:**
    - COORDINATE FLASHINGS, CORNICES, AND ROOF EDGE CONDITIONS WITH ROOF PLANS AND DETAILS.
  - ALIGNMENT:**
    - ALIGN FACADE ELEMENTS WITH STRUCTURAL, GRID LINES AND OPENINGS WHERE INDICATED. MINOR ADJUSTMENTS REQUIRED FOR MATERIAL MODULES ARE ACCEPTABLE.
  - COORDINATION:**
    - COORDINATE FACADE SYSTEMS, SUPPORTS, AND ATTACHMENTS WITH STRUCTURAL AND MEP SYSTEMS.
  - FINISHES:**
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  - TOLERANCES:**
    - CONSTRUCT EXTERIOR WORK TO MAINTAIN ALIGNMENT AND TOLERANCES CONSISTENT WITH INDUSTRY STANDARDS.
  - CODE COMPLIANCE:**
    - EXTERIOR WALL ASSEMBLIES SHALL COMPLY WITH APPLICABLE CODES AND PERFORMANCE REQUIREMENTS.

SITE PLAN  
 WILL COTTON  
 NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION.  
 03/10/26

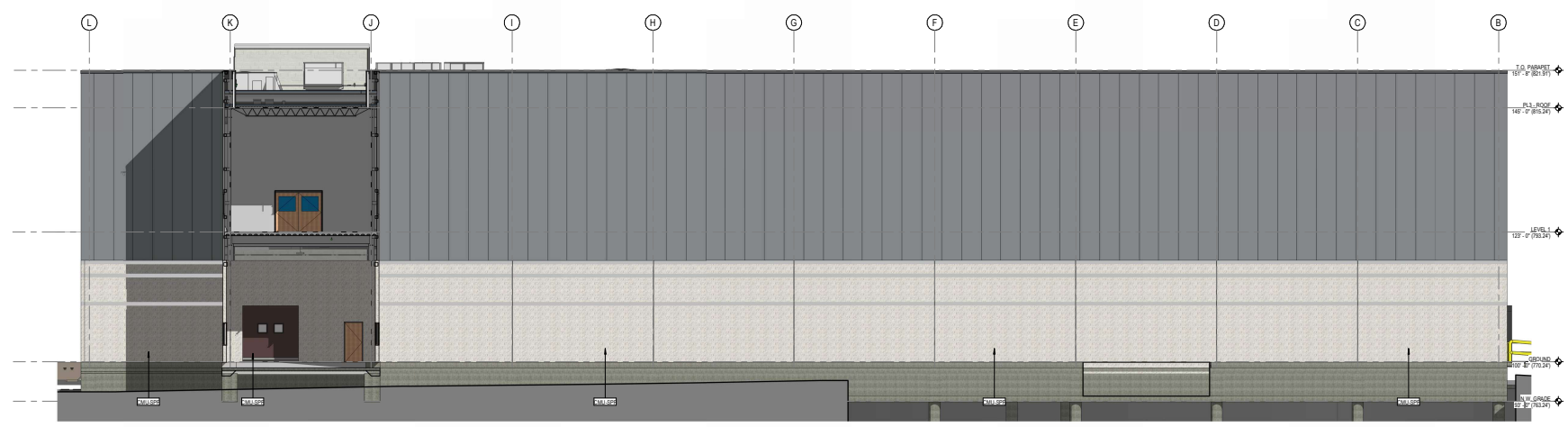
**COHERENT**  
 HILL & WILKINSON  
 GENERAL CONTRACTORS

**COHERENT LOGISTICS CENTER**  
 6500 S US 75  
 SHERMAN, TX 75090

PROJECT NUMBER: maa-2026016  
 ISSUE DATE: 04/22/26  
 SHEET NAME: SOUTH & WEST BUILDING ELEVATIONS  
 SHEET NUMBER: **A3.02**



1 WEST ELEVATION  
 1/8" = 1'-0"

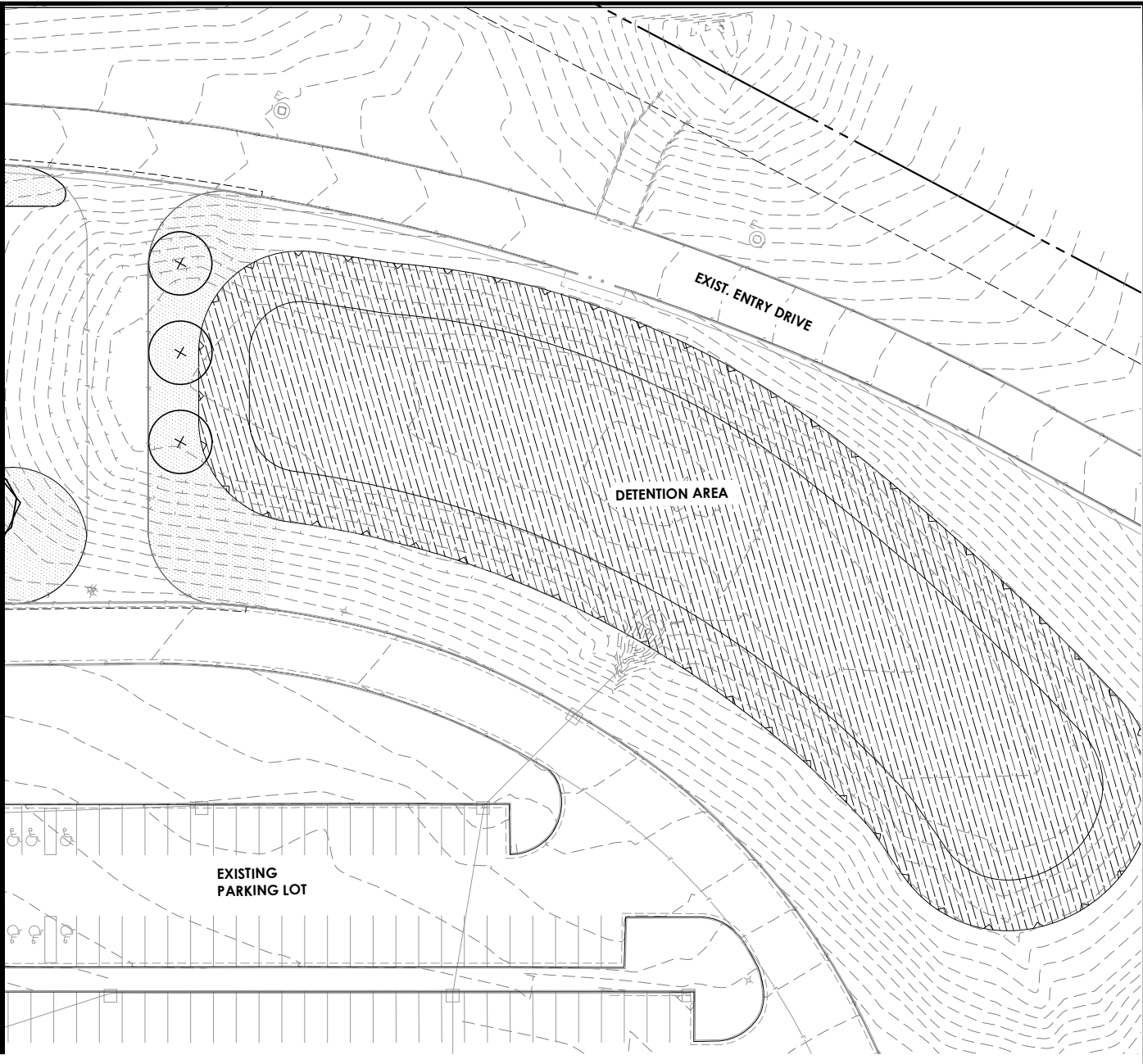


2 SOUTH ELEVATION  
 1/8" = 1'-0"





MATCHLINE  
SHEET LP1.01



**PLANT SCHEDULE LP1.02**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>TREES</b>					
(+)	3	Taxodium distichum	Bald Cypress	3" Cal.	
<b>LAWN</b>					
	6,805 SF	Cynodon dactylon x transvaalensis 'D1-1'	Tifluff™ Bermudagrass	seed	
	44,429 SF	Turf Hydroseed	Dam Slope Mix	seed	SF

- TREES AND SHRUBS PLANTING NOTES:**
- CONTRACTOR SHALL BE RESPONSIBLE FOR COUNTING AND VERIFYING ALL PLANT QUANTITIES AS SHOWN ON THE PLANTING PLANS.
  - REFER TO THE PLANT LEGEND ON SHEET LP3.01A FOR TOTAL PLANT QUANTITIES.

**Know what's Below. Call before you dig.**

THE LOCATION OF UTILITIES, ADJACENT PROPERTIES AND ALL OTHER INFORMATION ONLY AND SHALL NOT BE USED INDEPENDENTLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL UTILITIES AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED BY THE CONTRACTOR AS A RESULT OF ANY UTILITIES ENCOUNTERED OR NOT SHOWN HEREON.

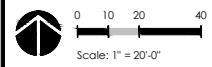
ATWELL LANDSCAPE ARCHITECTS, P.C.  
1000 RICHMOND AVENUE, SUITE 100  
NORTH RICHLAND, TEXAS 77406  
PH: 281.291.1100  
WWW.ATWELL.COM

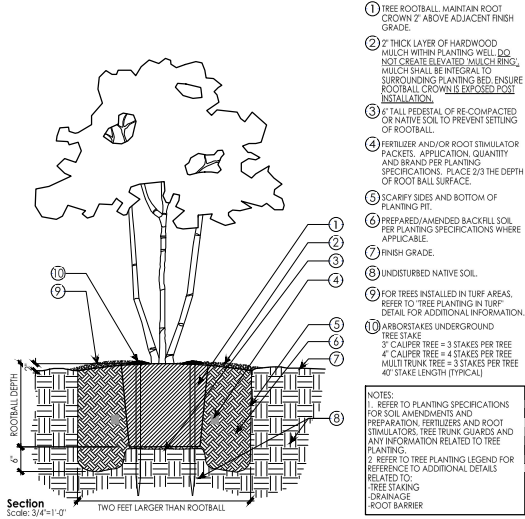


**COHERENT LOGISTICS CENTER ADDITION**  
6806 SOUTH US HIGHWAY 75, SHERMAN, TX, 75090  
SITE PLAN SUBMITTAL  
**LANDSCAPE PLANTING PLAN**

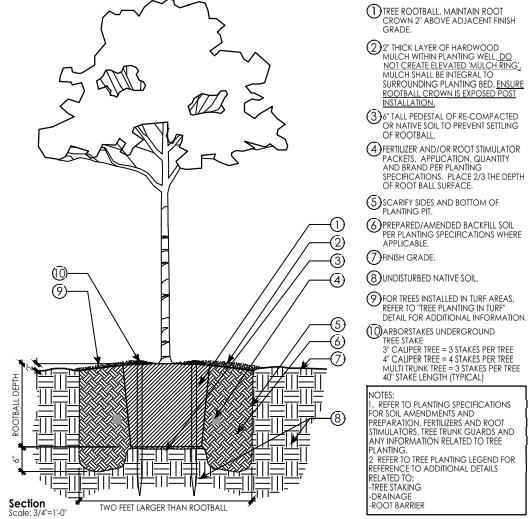
DATE: 04/08/2026

REVISIONS	CR
DR	CR
P.M. EMZ	
JOB: 20001556	
SHEET NO.	<b>LP1.02</b>

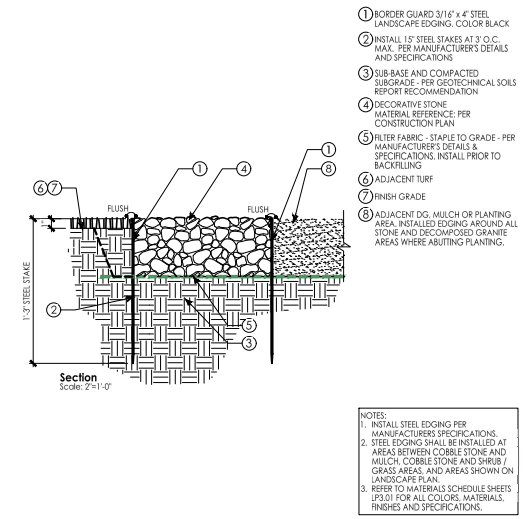




- 1 TREE ROOTBALL, MAINTAIN ROOT CROWN 2" ABOVE ADJACENT FINISH GRADE.
  - 2 2" THICK LAYER OF HARDWOOD MULCH WITHIN PLANTING WELL, DO NOT CREATE ELEVATED MULCH BIRDS. MULCH SHALL BE INTEGRAL TO SURROUNDING PLANTING BED. ENSURE ROOTBALL CROWN IS EXPOSED PRIOR TO INSTALLATION.
  - 3 4" TALL PEDESTAL OF RE-COMPACTED OR NATIVE SOIL TO PREVENT SETTLING OF ROOTBALL.
  - 4 FERTILIZER AND/OR ROOT STIMULATOR PACKETS, APPLICATION, QUANTITY AND BRAND PER PLANTING SPECIFICATIONS. PLACE 2/3 THE DEPTH OF ROOT BALL SURFACE.
  - 5 SCARIFY SIDES AND BOTTOM OF PLANTING PIT.
  - 6 PREPARED/AMENDED BACKFILL SOIL PER PLANTING SPECIFICATIONS WHERE APPLICABLE.
  - 7 FINISH GRADE.
  - 8 UNDISTURBED NATIVE SOIL.
  - 9 FOR TREES INSTALLED IN TURF AREAS, REFER TO "TREE PLANTING IN TURF" DETAIL FOR ADDITIONAL INFORMATION.
  - 10 ARBORESTAKES UNDERGROUND TREE STAKE. 3" C CALIPER TREE = 3 STAKES PER TREE. 4" CALIPER TREE = 4 STAKES PER TREE. MULTI TRUNK TREE = 3 STAKES PER TREE. 40" STAKE LENGTH (TYPICAL).
- NOTES:**  
1. REFER TO PLANTING SPECIFICATIONS FOR SOIL AMENDMENTS AND PREPARATION, FERTILIZERS AND ROOT STIMULATORS, TREE TRUNK GUARDS AND ANY INFORMATION RELATED TO TREE PLANTING.  
2. REFER TO TREE PLANTING LEGEND FOR REFERENCE TO ADDITIONAL DETAILS RELATED TO: TREE STAKING, DRAINAGE, ROOT BARRIER.



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1. REFER TO PLANTING SPECIFICATIONS FOR SOIL AMENDMENTS AND PREPARATION, FERTILIZERS AND ROOT STIMULATORS, TREE TRUNK GUARDS AND ANY INFORMATION RELATED TO TREE PLANTING.  
2. REFER TO TREE PLANTING LEGEND FOR REFERENCE TO ADDITIONAL DETAILS RELATED TO: TREE STAKING, DRAINAGE, ROOT BARRIER.

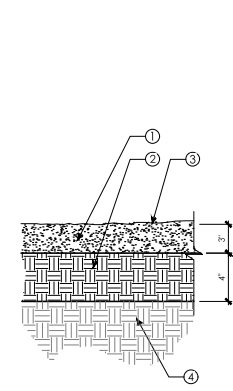


- 1 BORDER GUARD 3/16" x 4" STEEL LANDSCAPE EDGING, COLOR BLACK AND SPECIFICATIONS.
  - 2 INSTALL 1" STEEL STAKES AT 3' O.C. MAX. PER MANUFACTURER'S DETAILS AND SPECIFICATIONS.
  - 3 SUB-BASE AND COMPACTED SUBGRADE - PER GEOTECHNICAL SOILS REPORT RECOMMENDATION.
  - 4 DECORATIVE STONE MATERIAL REFERENCE: PER CONSTRUCTION PLAN.
  - 5 FILTER FABRIC - STAPLE TO GRADE - PER MANUFACTURER'S DETAILS & SPECIFICATIONS, INSTALL PRIOR TO BACKFILLING.
  - 6 ADJACENT TURF.
  - 7 FINISH GRADE.
  - 8 ADJACENT DG, MULCH OR PLANTING AREA, INSTALLED EDGING AROUND ALL STONE AND DECOMPOSED GRANITE AREAS WHERE ADJUTING PLANTING.
- NOTES:**  
1. INSTALL STEEL EDGING PER MANUFACTURER'S SPECIFICATIONS.  
2. STEEL EDGING SHALL BE INSTALLED AT AREAS BETWEEN COBBLE STONE AND MULCH, COBBLE STONE AND SHRUB / GRASS AREAS, AND AREAS SHOWN ON LANDSCAPE PLAN.  
3. REFER TO MATERIALS SCHEDULE SHEETS (P.01) FOR ALL COLORS, MATERIALS, FINISHES AND SPECIFICATIONS.

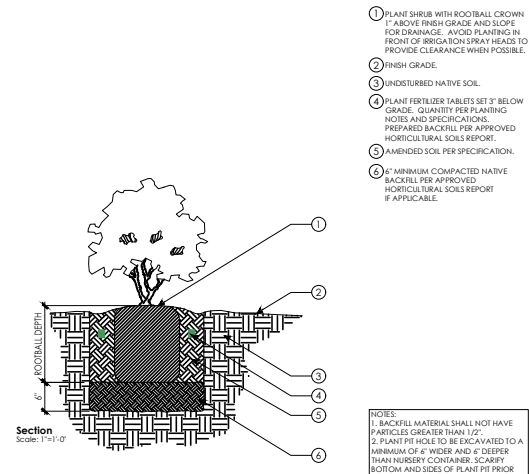
**01 MULTI- TRUNK TREE PLANTING W/STAKING SCALE: NTS**

**02 TREE PLANTING W/ STAKING SCALE: NTS**

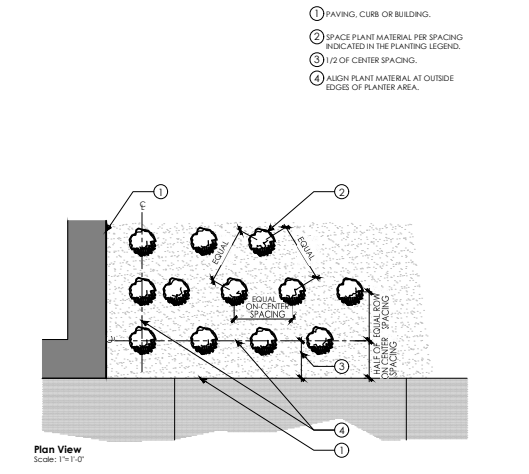
**03 STEEL EDGING SCALE: NTS**



- 1 DECOMPOSED GRANITE, 3" THICK, INSTALL IN ONE 11 INCHES PACE, SMOOTH AND COMPACT AFTER EACH LIFT. SOAK WITH WATER FOR ADDITIONAL COMPACTION, INSTALL STABILIZER PER MANUFACTURER'S RECOMMENDATIONS.
  - 2 COMPACTED ROAD BASE
  - 3 FINISH GRADE
  - 4 COMPACTED SUBGRADE - PER GEOTECHNICAL SOILS REPORT RECOMMENDATION.
- DECOMPOSED GRANITE SHALL HAVE A METAL EDGING BETWEEN OTHER PLANTING MATERIAL, TYPICAL, REF. PLANTING PLAN.**
- NOTES:**  
REFER TO MATERIALS SCHEDULE SHEET (CS.01) FOR ALL COLORS, MATERIALS, FINISHES AND SPECIFICATIONS.



- 1 PLANT SHRUB WITH ROOTBALL CROWN ABOVE FINISH GRADE AND SLOPE FOR DRAINAGE. AVOID PLANTING IN FRONT OF BRIGADION SPRAY HEADS TO PROVIDE CLEARANCE WHEN POSSIBLE.
  - 2 FINISH GRADE.
  - 3 UNDISTURBED NATIVE SOIL.
  - 4 PLANT FERTILIZER TABLETS SET 3" BELOW GRADE. QUANTITY PER PLANTING NOTES AND SPECIFICATIONS.
  - 5 PREPARED BACKFILL PER APPROVED HORTICULTURAL SOILS REPORT.
  - 6 MINIMUM COMPACTED NATIVE BACKFILL PER APPROVED HORTICULTURAL SOILS REPORT IF APPLICABLE.
- NOTES:**  
1. BACKFILL MATERIAL SHALL NOT HAVE PARTICLES GREATER THAN 1/2".  
2. PLANT PIT HOLE TO BE EXCAVATED TO A MINIMUM OF 4" WIDER AND 4" DEEPER THAN NURSERY CONTAINER. SCARIFY BOTTOM AND SIDES OF PLANT PIT PRIOR TO BACKFILL.  
3. ALL SHRUB AREAS SHALL RECEIVE 3" THICK LAYER PLANTER MULCH, REFER TO PLANTING SPECIFICATIONS.



- 1 PAVING, CURB OR BUILDING.
- 2 SPACE PLANT MATERIAL PER SPACING INDICATED IN THE PLANTING LEGEND.
- 3 1/2 OF CENTER SPACING.
- 4 ALIGN PLANT MATERIAL AT OUTSIDE EDGES OF PLANTER AREA.

**04 DECOMPOSED GRANITE SCALE: NTS**

**05 SHRUB PLANTING SCALE: NTS**

**06 PLANTING SPACING+LAYOUT SCALE: NTS**

**811**  
Know what's below.  
Call us for you dig.  
THE LOCATION OF UTILITIES AND SERVICES IS THE RESPONSIBILITY OF THE CONTRACTOR. WE DO NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES AND SERVICES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES TO THE WORK OF ANY UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AUTHORITIES.

**ATWELL**  
SOILS & GEOTECHNICAL ENGINEERING  
3000 W. UNIVERSITY BLVD., SUITE 100  
NORTH RICHMOND, TEXAS 75080  
PH: 281.281.1111  
WWW.ATWELL-ENGINEERING.COM

STATE OF TEXAS  
LANDSCAPE ARCHITECTS  
2148

**COHERENT LOGISTICS CENTER ADDITION**  
6800 SOUTH US HIGHWAY 75, SHERMAN, TX, 75096  
SITE PLAN SUBMITTAL  
LANDSCAPE DETAILS

DATE: 04/08/2026  
REVISIONS:  
DR: EMZ  
JOB: 20011556  
SHEET NO: LP2.01









**Planning & Zoning Commission Development Services**

Agenda Item No. 14.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**2005 SOUTH SAM RAYBURN FREEWAY (Project No. 000318-2026) TABLED ON 3-24-2026**

The request of NNN REIT, INC. (Owner), Dayna Ausing (Applicant), and Gonzalez & Schneeberg Engineers & Surveyors (Surveyor) concerning the property located at 2005 South Sam Rayburn Freeway, consisting of 13.91 acres, being Lot 1, Block 43R, South Side Addition, being a Replat of Blocks 37, 38, 39, and Tracts 1, 3 and 4 of the Replat of South Side Addition, in the Preston Kitchen Survey, Abstract No. 667 and currently zoned M-1 (Light Manufacturing) District/ Sam Rayburn Overlay District, as follows:

***Board of Adjustment***

Public Hearing and Variance under Section 14.07.009 to allow a 65' tall pylon sign in lieu of the allowed 50'.

**Background:**

The property is located at 2005 South Sam Rayburn Freeway. The property owner is requesting a Variance to allow a 65' tall pylon sign in lieu of the allowed 50'.

The following has been approved for this location:

- 11/16/2021 - Specific Use Permit to allow a Paint Booth in an M-1 (Light Manufacturing) District/Sam Rayburn Overlay District. P&Z: SUBJECT TO PRETREATMENT REQUIREMENTS & STAFF REVIEW LETTER. Ordinance No. 6435.
- 10/16/2018 - Specific Use Permit to allow parking lot extension for additional RV storage in a C-1 (Retail Business) District/Sam Rayburn Overlay District. P&Z: Provide 8' wood fence on the east side adjacent to residential properties and review the SUP 1 year from the time of the Certificate of Occupancy Permit is issued. Ordinance No. 6164.
- 1/19/2016 - Variance to allow a 2' front setback for an electronic message center addition to an existing freestanding sign for a total face area of 224 square foot in lieu of the required 40' front setback in an M-1 (Light Manufacturing) District/Sam Rayburn Overlay District.
- 2/11/1992 - Variance to allow a 6' fence in lieu of 4' allowed.

**Origination:**

The request of NNN REIT, INC. (Owner), Dayna Ausing (Applicant), and Gonzalez & Schneeberg Engineers & Surveyors (Surveyor).

**Staff Recommendation:**

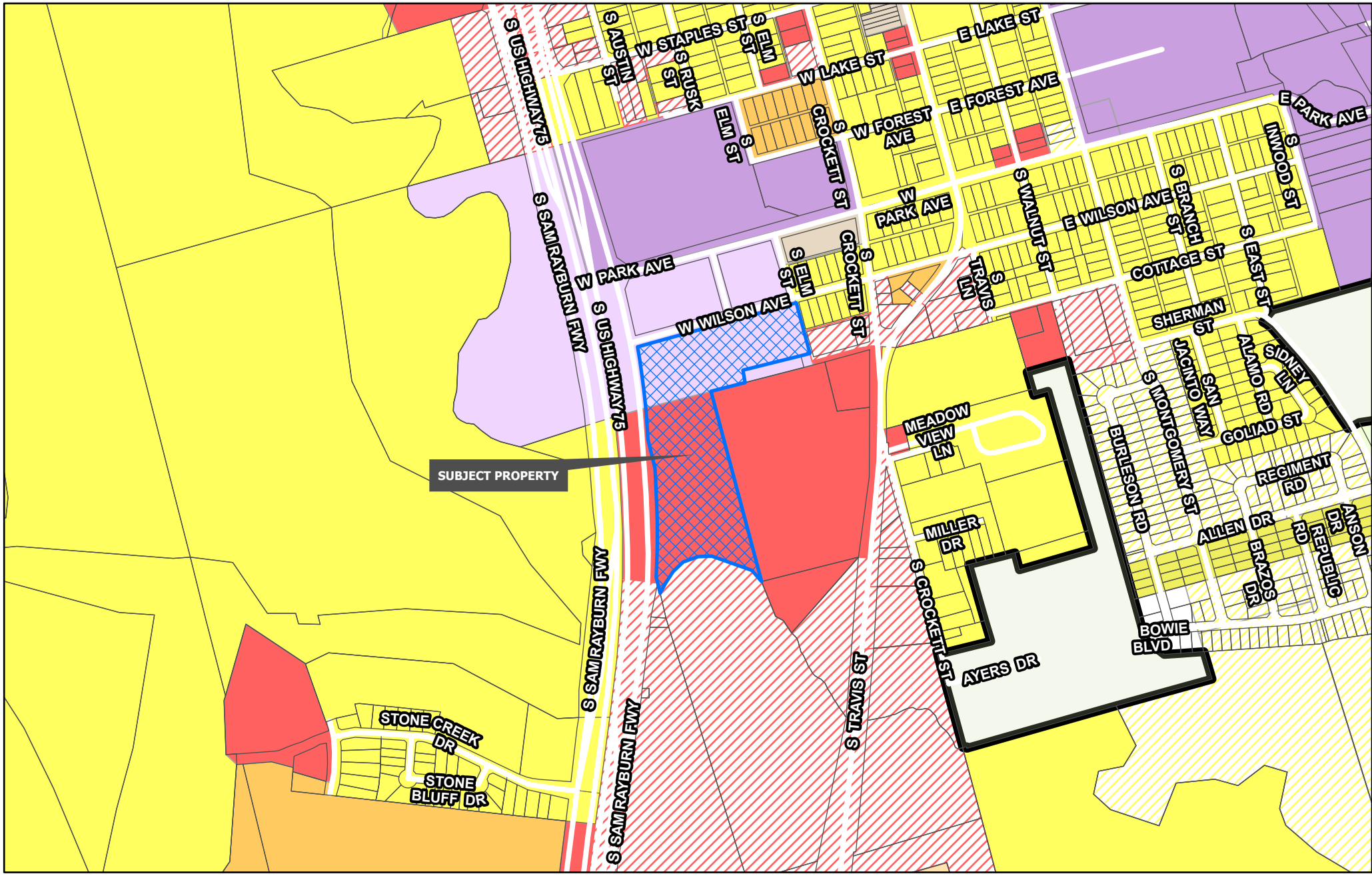
Staff recommends the Board of Adjustment deny this item.

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**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Property Notification Sign
5. Survey
6. Project Narrative
7. Site Plan
8. Supporting Documents
9. Proposed Sign





SUBJECT PROPERTY



Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN  
ZONING MAP  
2005 S SAM RAYBURN FWY**



**CORE NEIGHBORHOOD**

**Intent & Character**

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

**Appropriate Land Use Types**

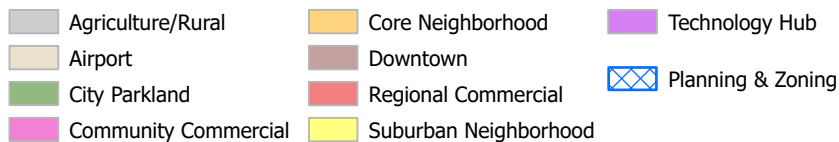
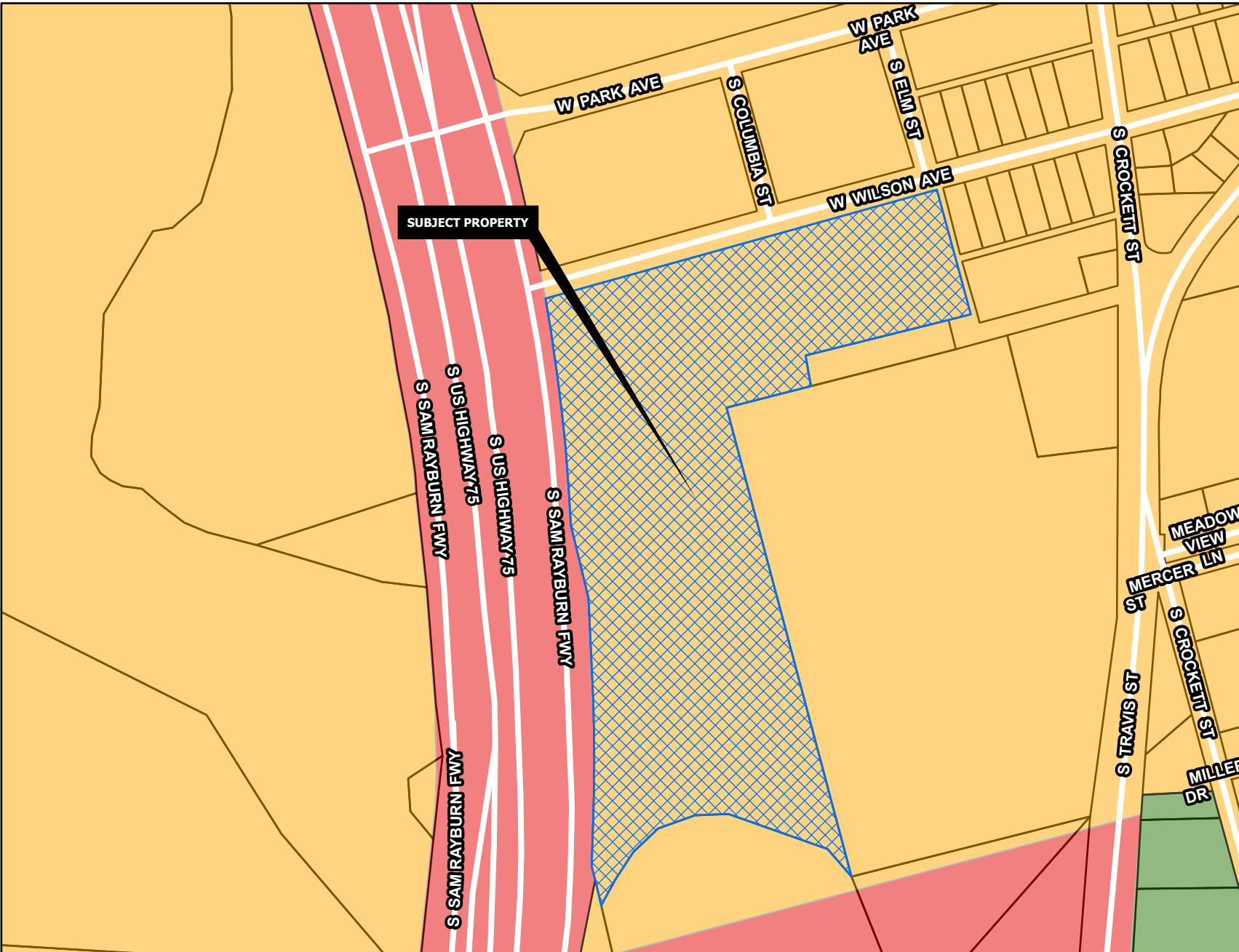
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

**Compatible Zoning Districts**

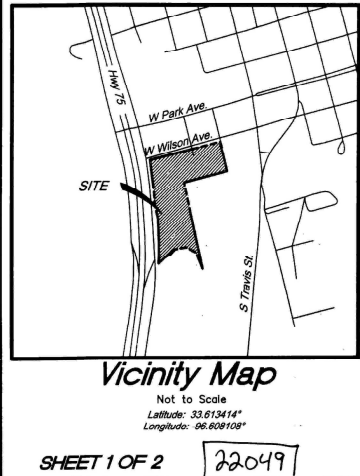
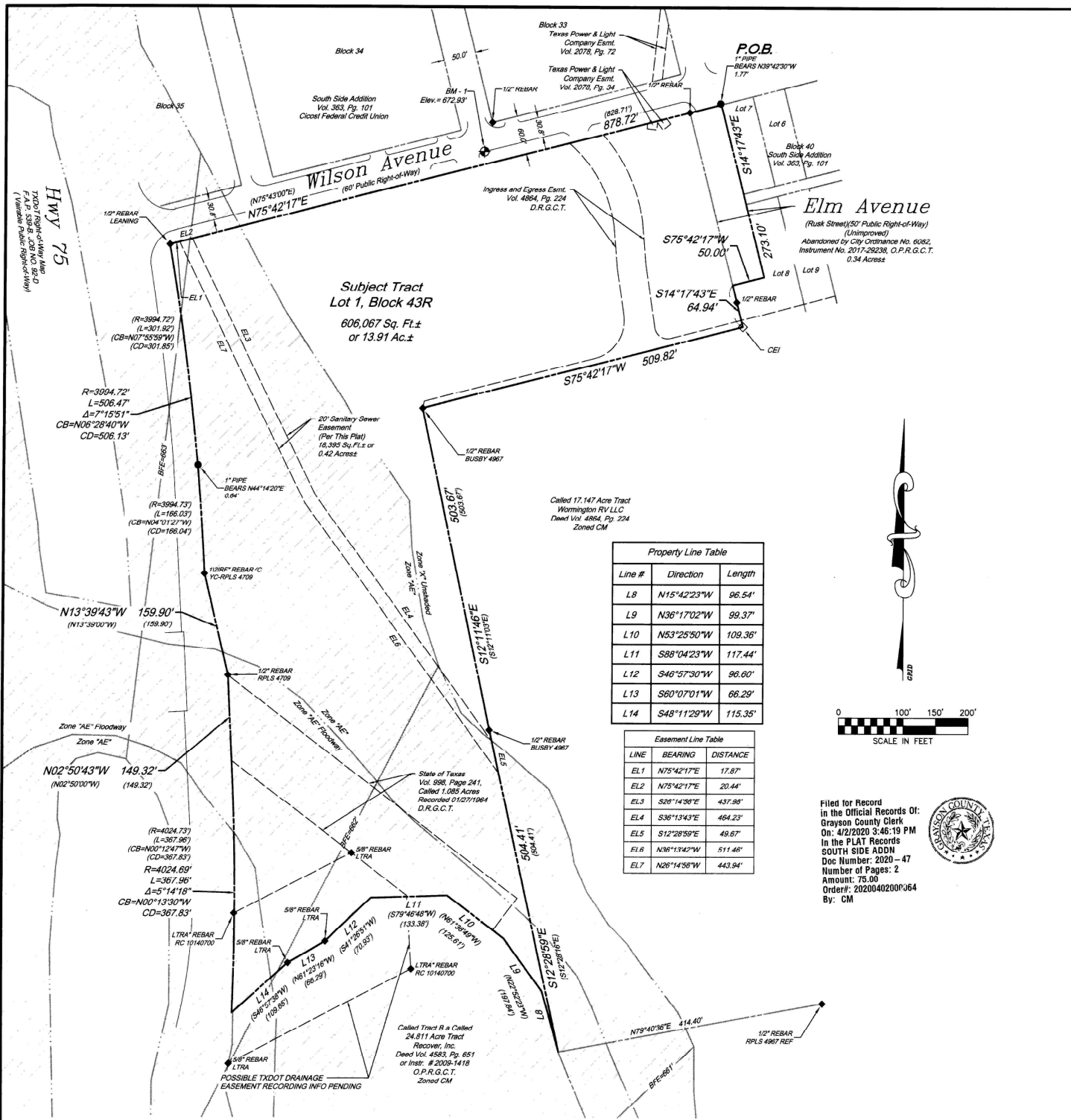
- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

**Considerations**

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.





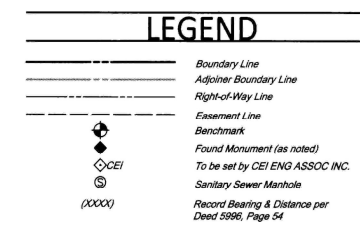


**Final Plat of Block 43R, Lot 1, South Side Addition**  
 Being a Re-Plat of all of Blocks 37, 38, 39 and Tracts 1, 3 and 4 of the Re-Plat of South Side Addition  
 An Addition to the City of Sherman, Grayson County, Texas  
 out of the Preston Kitchen Survey, Abstract No. 667, as recorded in Volume 363, Page 101-102, D.R.G.C.T.

**CEI Engineering Associates, Inc.**  
 ENGINEERS PLANNERS SURVEYORS  
 LANDSCAPE ARCHITECTS ENVIRONMENTAL SCIENTISTS

3108 SW REGENCY PKWY BENTONVILLE, AR 72712 (479) 273-9472 CORPORATE OFFICE TBPLS FIRM #10031500

3030 181 FREEWAY DALLAS, TX 75234 (972) 488-3737 DALLAS OFFICE TBPLS FIRM #10194234



**Engineers/Surveyors:**  
 CEI Engineering Associates, Inc.  
 3108 SW Regency Parkway, Suite 2  
 Bentonville, AR 72708  
 Phone: (479) 273-9472  
 Fax: (479) 271-8538  
 Engineering Contact: David Tipton  
 Surveyor: James Barnett

**Owner / Owners:**  
 Parcel #1166574 & #1167090  
 FRP Lincolnshire LLC  
 250 Parkway Dr. Ste 270  
 Lincolnshire, IL 60069

**PROPERTY DESCRIPTION:**  
 BEING a 13.91 acre tract of land situated in the Preston Kitchen Survey, Abstract No. 667, City of Sherman, Grayson County, Texas, also being multiple tracts granted to FRP Lincolnshire LLC, as recorded in Special Warranty Deed, Volume 5986, Page 54, Official Public Records of Grayson County, Texas (O.P.R.G.C.T.), said multiple tracts are referred to as follows:  
 Tract No. 1, being a called 7.036-acre tract, being a portion of a called 26.318-acre tract recorded in Vol. 2255, Pg. 473 Real Property Records of Grayson County, Texas (R.P.R.G.C.T.);  
 Tract No. 2, being all of Blocks 37, 38 and a portion of Block 39 as shown on the map entitled "Re-Plat of Block No. 4, 5, 6, 15, 16, 17, 26, 31, 40 and 41 of South Side Addition to the City of Sherman, by the Sherman Manufacturing Co." as recorded in Vol. 363, Pg. 101, Deed Records of Grayson County, Texas (D.R.G.C.T.), being a called 5.809-acre tract, except a called for 0.487-acre portion of Lots 7-12 of said Block 39;  
 Tract No. 3, being a called 0.888-acre tract, except a called for 0.487-acre portion of Lots 7-12 of said Block 39;  
 More particularly described by metes and bounds based on the fieldwork that was completed on January 29, 2020 from an actual on the ground survey of the herein described tract, it was performed by CEI Engineering Associates, Inc., under the supervision of James Barnett RPLS #6596, with the Basis of Bearings being established by NAD83, State Plane Coordinates, Texas North Central Zone, using the RTKNet.com network;  
 BEGINNING at the Northwest corner of Lot 7, Block 40 of aforementioned South Side Addition, from which a 1 inch Iron Pipe found bears North 39°42'50" West 177 feet, for the northeast corner of aforementioned Tract No. 3, also being the intersection of the south Right-of-Way (R.O.W.) line of Wilson Avenue, a 60-foot Public R.O.W. with the East R.O.W. line of Elm Avenue (Rusk Street) a 50-foot Public R.O.W. (Unimproved); Now abandoned by City Ordinance No. 6083 Instrument No. 2017-29238, O.P.R.G.C.T.  
 THENCE South 14°17'43" East, 273.10 feet along the West property line of Lot 7 and Lot 8 of Block 40, South Side Addition Vol. 363, Pg. 101 to a point for corner being the Southeast corner of a called 0.34-acre tract abandoned by the City of Sherman in the aforementioned abandoned document,  
 THENCE separating the east line of aforementioned tract, South 75°42'17" West 50.00 feet, to a point for corner, being the Northeast corner of said portion of Lots 7-12, Block 39, South Side Addition;  
 THENCE separating the east line of aforementioned tract, passing a found 1/2-inch Rebar passing a found 1/2-inch Rebar at a distance of 36.89 feet, and continuing for a total distance of 64.94 feet to a point for corner, being the Southeast corner of a called 0.487-acre tract and except tract conveyed to William P. Lee by deeds recorded in volume 2967, page 628 and volume 4854, page 665, D.R.G.C.T., also being a point on the north line of a called 17.147-acre tract, granted to Wormington RV, LLC, recorded in Vol. 4864, Pg. 224, D.R.G.C.T.;  
 THENCE with said north line, South 75°42'17" West, 509.82 feet to a 1/2-inch Rebar "Busby 4967" being the northwest corner of said 17.147-acre tract, also being the previous northeast corner of aforementioned Tract No. 1;  
 THENCE leaving said north line, with the west line of said 17.147-acre tract, South 12°11'46" East, 503.67 feet to a 1/2-inch Rebar "Busby 4967";  
 THENCE continuing with said west line, South 12°28'59" East, 504.41 feet to a point in the center of Post Oak Creek, also being the southwest corner of said 17.147-acre tract, also being the northeast corner of a tract granted to Harvey Timothy EL, recorded in Vol. 3514, Pg. 472, O.P.R.G.C.T., also being the northwest corner of a called 8.429-acre tract granted to Reaway, Inc., recorded in Vol. 4583, Pg. 651, O.P.R.G.C.T., also being the previous southeast corner of aforementioned Tract No. 1, also being the southeast corner of herein described tract;  
 THENCE leaving said west line, with the contiguous south line of said 8.429-acre tract and the herein described tract, along the center of Post Oak Creek, (field located January 29, 2020) the following seven (7) courses:  
 1. North 15°42'52" West, 80.54 feet;  
 2. North 36°17'02" West, 99.37 feet;  
 3. North 53°25'50" West, 109.36 feet;  
 4. South 88°04'23" West, 117.44 feet;  
 5. South 46°57'30" West, 96.60 feet;  
 6. South 60°07'01" West, 66.29 feet;  
 7. South 48°11'29" West, 115.35 feet to a point on a curve to the left having a radius of 4,024.69 feet and a central angle of 5°14'18" and having a chord which bears North 02°13'30" West, and a chord distance of 367.98 feet, being the center of Post Oak Creek, line of U.S. Highway No. 75, being the northwest corner of said 8.429-acre tract, also being the southwest corner of said Tract No. 1, also being the southwest corner of herein described tract;  
 THENCE in a northerly direction with said R.O.W. line the following six courses:  
 1. Along said curve to the left an arc distance of 367.98 feet to a point;  
 2. North 02°50'43" West, 149.32 feet to a found 1/2-inch Rebar "RPLS 4709";  
 3. North 13°39'43" West, 159.90 feet to a found 1/2-inch Rebar with yellow cap "RPLS 4709", being the start of a curve to the left having a radius of 3994.72 feet and a central angle of 7°15'51" and having a chord which bears North 06°28'40" West, and a chord distance of 506.13 feet;  
 4. Along said curve to the left an arc distance of 506.47 feet to a found 1/2-inch Rebar, being the southwest corner of aforementioned Wilson Avenue R.O.W., also being the previous northwest corner of aforementioned Tract No. 3, also being the northwest corner of herein described tract;  
 THENCE leaving said east R.O.W. line, with said south R.O.W. line, North 75°42'17" East, 828.72 feet to the POINT OF BEGINNING containing 606,067 square feet or 13.91 acres of land more or less.

**OWNERS DEDICATION:**  
 NOW THEREFORE KNOW ALL MEN BY THESE PRESENTS:  
 THAT WE, FRP LINCOLNSHIRE LLC, do hereby adopt this plat designating the hereinabove property as BLOCK 43R, LOT 1, SOUTH SIDE ADDITION, an addition to the City of Sherman, and do hereby dedicate to the public use forever the streets and easements shown on this plat for the mutual use and accommodation of all public and private utilities desiring to use or using same. Any public or private utility shall have the right to remove and deep removed all or part or any buildings, fences, trees, shrubs or other improvements or growths which in anyway endanger or interfere with the construction, maintenance, or efficiency of its respective systems on any of these easements strips and any public or private utility shall, at all times, have a right of ingress and egress to and from upon the said easement strips for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the permission of anyone. This plat approved subject to all ordinances, rules regulations and resolutions of the City of Sherman, Texas.  
 WITNESS MY HAND this \_\_\_\_\_ day of \_\_\_\_\_, 2020  
 By: Brent Moody, Title

**CERTIFICATE OF COMPLIANCE:**  
 The Undersigned, the City Clerk of the City of Sherman, hereby certifies that the foregoing, SOUTH SIDE ADDITION, an addition to the City of Sherman, Texas, was submitted to the City Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2020, and the City Clerk by formal action then and there accepted the dedication of streets, alleys, easements and public places, as shown and set forth in and upon said map or plat, and said City Clerk further authorized the Mayor to note the acceptance thereof by signing his name as herein above subscribed.  
 Witness my hand this 13th day of March, 2020.  
Lucie Ashley  
 Clerk, City of Sherman, Texas

**CERTIFICATE OF ACCEPTANCE OF DEDICATION:**  
 Approved this 19th day of March, 2020, by the City Planning Commission of the City of Sherman, Texas.  
James Barnett Chairman  
Scott Shadden Secretary

**SURVEYOR'S CERTIFICATION:**  
 I, James Barnett, Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments thereon were properly placed, under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.  
James Barnett RPLS No. 6596  
 Date: 02/27/2020

**GENERAL NOTES:**

- Every document of record reviewed and considered as a part of this survey is noted hereon. Only the documents noted hereon were supplied to the surveyor.
- This plat represents a Re-Plat of Blocks 37, 38, and 39 of South Side Addition, recorded in Volume 363, Page 101-102 D.R.G.C.T. and Tracts 1, 3, and 4 of South Side Addition of the parcel recorded in Special Warranty Deed Volume 5986, Page 54, D.R.G.C.T.
- The contractor must determine that proposed structures are clear of all boundary lines, easements, and meet building setback requirements before construction begins.
- Basis of Bearings: NAD83, State Plane, Texas North Central Zone, established using a WDS network RTK observation. This observation was compared to an OPUS solution for accuracy.
- This survey is valid only if the drawing includes the seal and signature of the surveyor.
- This survey meets current Texas Standards of Practice for Property Boundary Surveys and Plats.
- No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or facilities.
- Subsurface and environmental conditions were not examined nor considered a part of this survey.
- The contractor is advised to contact the 811 One-Call Center before any construction begins, depending on the state there is a possibility of a severe penalty for not making this call. Not all utility companies are members of the One-Call System. Therefore the contractor is advised to contact all non-members as well as the One-Call System.
- By scaled map location and graphical plotting only. This property is located in Zone "X" Unshaded which are areas determined to be outside the 0.2% annual chance floodplain determined by the National Flood Insurance Program, Flood Insurance Rate Map for Grayson County, Texas.  
 Map Number: 48181C0405F  
 Map Revised: September 29, 2010
- By scaled map location and graphical plotting only. A portion of this property is located within Flood Zone "AE" as determined by the National Flood Insurance Program which is subject to inundation by the 1% annual chance flood (100-year flood) shown on the Flood Insurance Rate Map for Grayson County, Texas.  
 Map Number: 48181C0405F  
 Map Revised: September 29, 2010

**Final Plat of Block 43R, Lot 1, South Side Addition**  
 Being a Re-Plat of all of Blocks 37, 38, 39 and Tracts 1, 3 and 4 of the Re-Plat of South Side Addition  
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 out of the Preston Kitchen Survey, Abstract No. 667, as recorded in Volume 363, Page 101-102, D.R.G.C.T.

Plat Preparation Date: February, 2020

**CEI Engineering Associates, Inc.**  
 ENGINEERS PLANNERS SURVEYORS  
 LANDSCAPE ARCHITECTS ENVIRONMENTAL SCIENTISTS

3108 SW REGENCY PKWY BENTONVILLE, AR 72712 (479) 273-9472 CORPORATE OFFICE TBPLS FIRM #10031500

3030 181 FREEWAY DALLAS, TX 75234 (972) 488-3737 DALLAS OFFICE TBPLS FIRM #10194234

**Engineers/Surveyors:**  
 CEI Engineering Associates, Inc.  
 3108 SW Regency Parkway, Suite 2  
 Bentonville, AR 72708  
 Phone: (479) 273-9472  
 Fax: (479) 271-8538  
 Engineering Contact: David Tipton  
 Surveyor: James Barnett

**Owner / Owners:**  
 Parcel #1166574 & #1167090  
 FRP Lincolnshire LLC  
 250 Parkway Dr. Ste 270  
 Lincolnshire, IL 60069

**LEGEND:**  
 Boundary Line  
 Adjoining Boundary Line  
 Right-of-Way Line  
 Easement Line  
 Benchmark  
 Found Monument (as noted)  
 To be set by CEI ENG ASSOC INC.  
 Sanitary Sewer Manhole  
 Record Bearing & Distance per Deed 5986, Page 54

**FILED FOR RECORD:**  
 In the Official Records Of:  
 Grayson County Clerk  
 On: 4/2/2020 3:46:19 PM  
 In the PLAT Records  
 SOUTH SIDE ADDN  
 Doc Number: 2020-47  
 Number of Pages: 2  
 Amount: 75.00  
 Order#: 20200402000064  
 By: CM

**STATE OF TEXAS REGISTERED LAND SURVEYOR**  
 JAMES BARNETT  
 6596  
 03/13/2020  
 Mayor, City of Sherman, Texas

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 Date

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 LANDSCAPE ARCHITECTS ENVIRONMENTAL SCIENTISTS

3108 SW REGENCY PKWY BENTONVILLE, AR 72712 (479) 273-9472 CORPORATE OFFICE TBPLS FIRM #10031500

3030 181 FREEWAY DALLAS, TX 75234 (972) 488-3737 DALLAS OFFICE TBPLS FIRM #10194234

**Engineers/Surveyors:**  
 CEI Engineering Associates, Inc.  
 3108 SW Regency Parkway, Suite 2  
 Bentonville, AR 72708  
 Phone: (479) 273-9472  
 Fax: (479) 271-8538  
 Engineering Contact: David Tipton  
 Surveyor: James Barnett

**Owner / Owners:**  
 Parcel #1166574 & #1167090  
 FRP Lincolnshire LLC  
 250 Parkway Dr. Ste 270  
 Lincolnshire, IL 60069

May 1, 2026

Dayna Ausing  
15799 Fescue Ct.  
Apple Valley, MN 55124

## **VARIANCE REQUEST: PROJECT NARRATIVE, Updated 5/1/2026**

### **Project Title:**

Camping World Pylon Sign Variance Request

### **LOCATION:**

Camping World  
2005 S Sam Rayburn Fwy.  
Sherman, TX 75090

### **PROJECT SUMMARY:**

Camping World of Sherman, TX located at 2005 S Sam Rayburn Fwy, Sherman, TX 75090, has an existing pylon on the property adhering to current regulation of maximum height of 50' (Article 14.07.009). The current pylon is 47'. Due to the construction of a new overpass adjacent to the pylon that is higher than the existing pylon, there is loss of visibility to the sign. As a contributing tool for marketing and navigation to the property, we are submitting a variance request to allow for a 65' high pylon for adequate visibility from the highway. The 65' height is requested due to its clearance of the overpass and provide adequate visibility. Sign will be new and installed outside of the FEMA floodway, 30' from the property line (25' required), and 40' north of existing location.

### **REASON FOR REQUEST**

The existing pylon sign adhering to current regulation is no longer visible from the new highway height.

### **DETAILS**

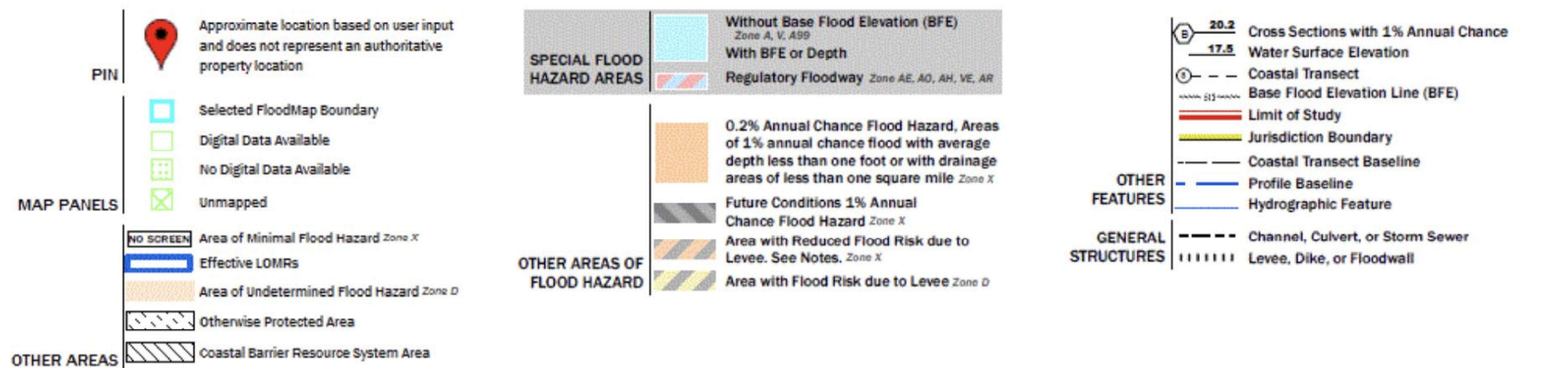
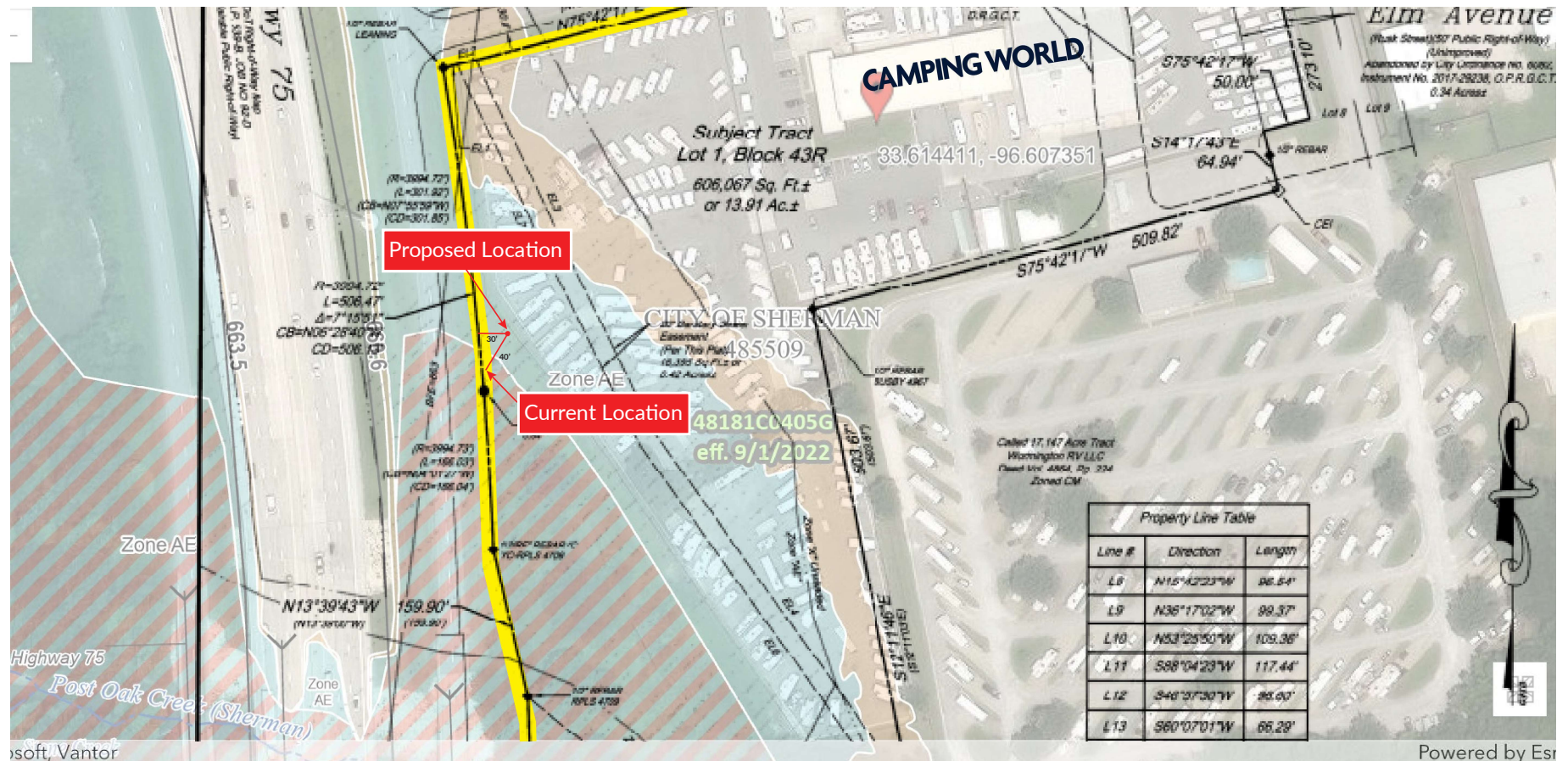
- Current Code: City of Sherman Code of Ordinances, Article 14.07.009, Nonresidential Signs
  - (3) Freestanding signs.
    - **(A)** Pole or pylon signs.
      - Height. Sign height shall not exceed fifty (50) feet. Height is measured from the grade of the fronting street.
- Variance Request: Allow a 65' pylon on this location due to visibility limitations of the existing 47' high pylon due to the construction of a new, elevated overpass.
- Pylon Location: The pylon will be moved out of the FEMA floodway. The new position will be 30' from the property line and 40' north of the current placement outside the protected area.
- Manufacturing: New pylon structure
- Local Provider: Working with a local vendor to Sherman, TX, Dave's Signs and Wraps, for proposed execution.

# Site Plan Proposal

40' North of current location to clear FEMA floodway  
30' from property line

Plan Number: 000318-2026-VASE

05/07/2026



Camping World, 2005 S Sam Rayburn Fwy, Sherman, TX 75090



Pylon Location

Customer Name: Camping World



# SURVEY

Southbound Sam Rayburn Fwy



Customer Name: Camping World



**SURVEY**



Customer Name: Camping World



# SURVEY

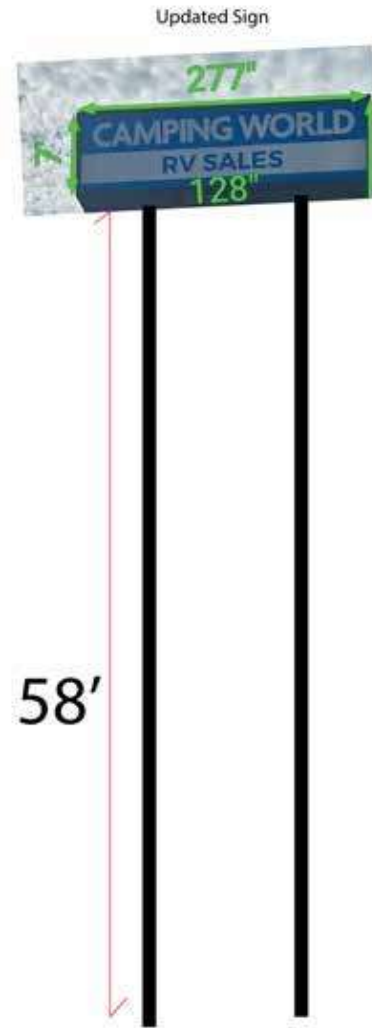
Existing Pylon Measurements



Customer Name: Camping World



# SURVEY



**Height:** Current Height: 47' Proposed Height: 65' (+15' higher than code)

**Width:** 23' 1" (No change)

**Placement:** Outside of FEMA floodway. See Site Plan.

**Structure:** New poles and structure approved by engineering firm and built by Dave's Signs and Wraps.

Customer Name:

Date Last Modified:

By: Hayley



Please DOUBLE CHECK the following: Spelling, Grammar, Punctuation, Addresses, Phone Numbers, Etc.

By submitting approval of this proof, you agree to the following...

- You have verified that spelling and content are correct.
- You are satisfied with the document layout
- We will print exactly what appears on this proof, and you cannot make any changes once approval has been approved and sent to print.

Note: Due to inherent differences between viewing an image on a computer monitor and viewing a printed image, there may be some variation in color and tonality between what you see on your monitor and the print we produce for you. We strongly recommend supplying Solid Coated (C) PMS (Pantone Matching System) colors for colors that you wish to be exact.



**Planning & Zoning Commission Development Services**

Agenda Item No. 15.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**1501 BLOCK TATE CIRCLE (Project No. 000328-2026) TABLED ON 4-21-2026**

The request of Sherman Lakes JV, LLC (Owner), Stacey Capogrossi (Applicant) and Windrose Land Surveying (Surveyor) concerning the property located in the 1501 Block Tate Circle, consisting of 183.681 acres in the Benjamin Lindsey Survey, Abstract No. 733 and the Henry Tucker Survey, Abstract No. 1217 and located in the E.T.J. (Extra-Territorial Jurisdiction), as follows:

***Planning and Zoning Commission***

Public Hearing and Zone Change from R-A (Residential Agricultural) District to a PD (Planned Development) District for Sherman Lakes Development.

**Background:**

The property is located at 1501 Block Tate Circle in Sherman's Extraterritorial Jurisdiction (ETJ). The property owner is requesting a Zone Change from R-A (Residential Agricultural) District to a PD (Planned Development) District for Sherman Lakes Development. An application for annexation has also been received for this property to be annexed into the Sherman City Limits.

This item was heard at the April 21, 2026 P&Z meeting. The item was tabled to allow the applicant the opportunity to adjust the proposed lot mix. The applicant has proposed increasing the R-6 lots by 22, R- 5 by 36 and reducing the R-4 lots by 69 lots.

**Origination:**

The request of Sherman Lakes JV, LLC (Owner), Stacey Capogrossi (Applicant) and Windrose Land Surveying (Surveyor).

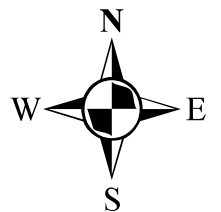
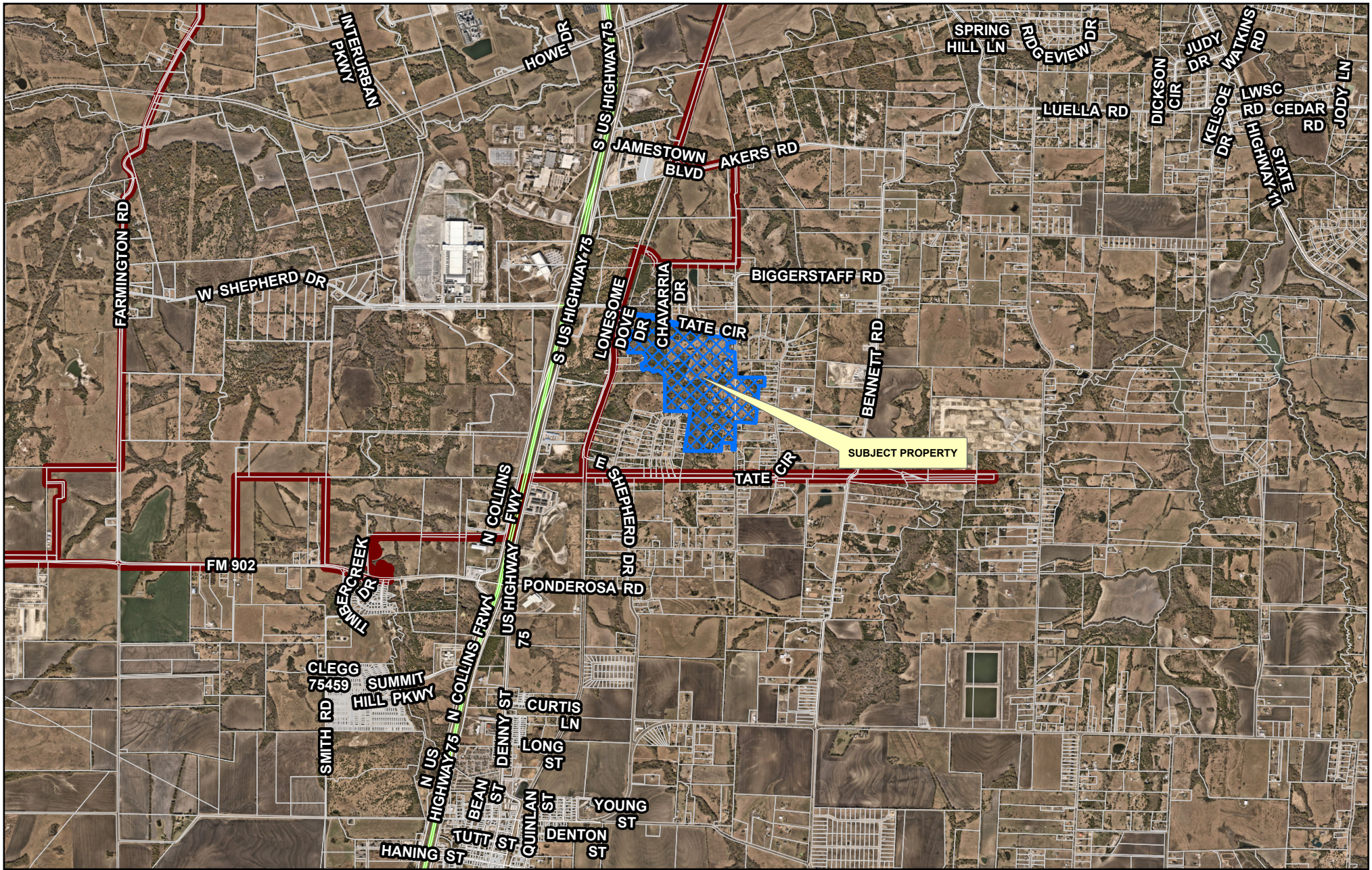
**Staff Recommendation:**

Staff has no objection to the approval of this item.

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**Attachments:**

1. Location Map
2. Future Landuse Map
3. Property Notification Sign
4. Survey
5. Project Narrative
6. Exhibit B - Development Standards\_Revised
7. Exhibit C - Zoning Exhibit
8. Staff Review Letter



**AGRICULTURE/RURAL**

**Intent & Character**

The Agriculture/Rural category is intended for areas of Sherman that are not anticipated for development within the next ten years. These areas are generally located in the ETJ and do not have adequate utilities planned to serve development. Development in this category will generally be served by well water and on-site sewer facilities. It is intended that as development and utilities move further out, these areas should be re-evaluated and assigned an appropriate Future Land Use category during the next comprehensive plan update (or sooner, if needed).

**Appropriate Land Use Types**

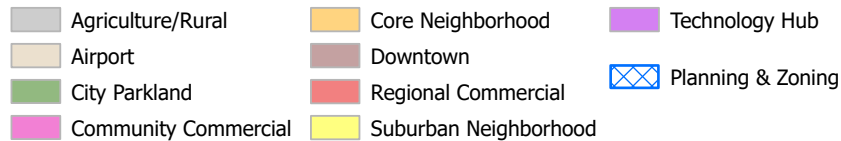
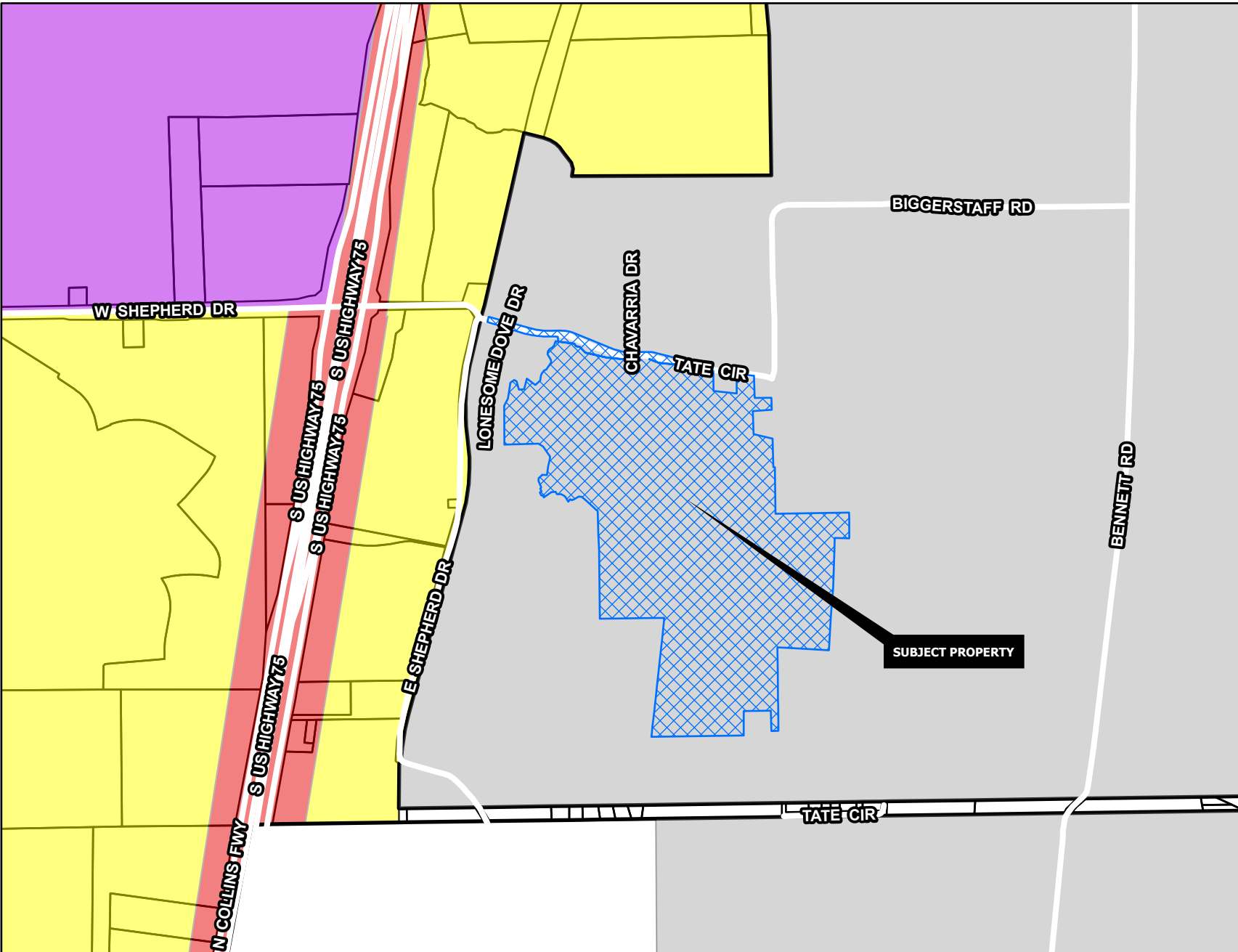
- Large lot residential
- Farming and agriculture

**Compatible Zoning Districts**

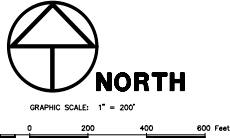
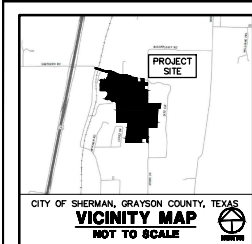
- Residential Agricultural
- Estate Residential

**Considerations**

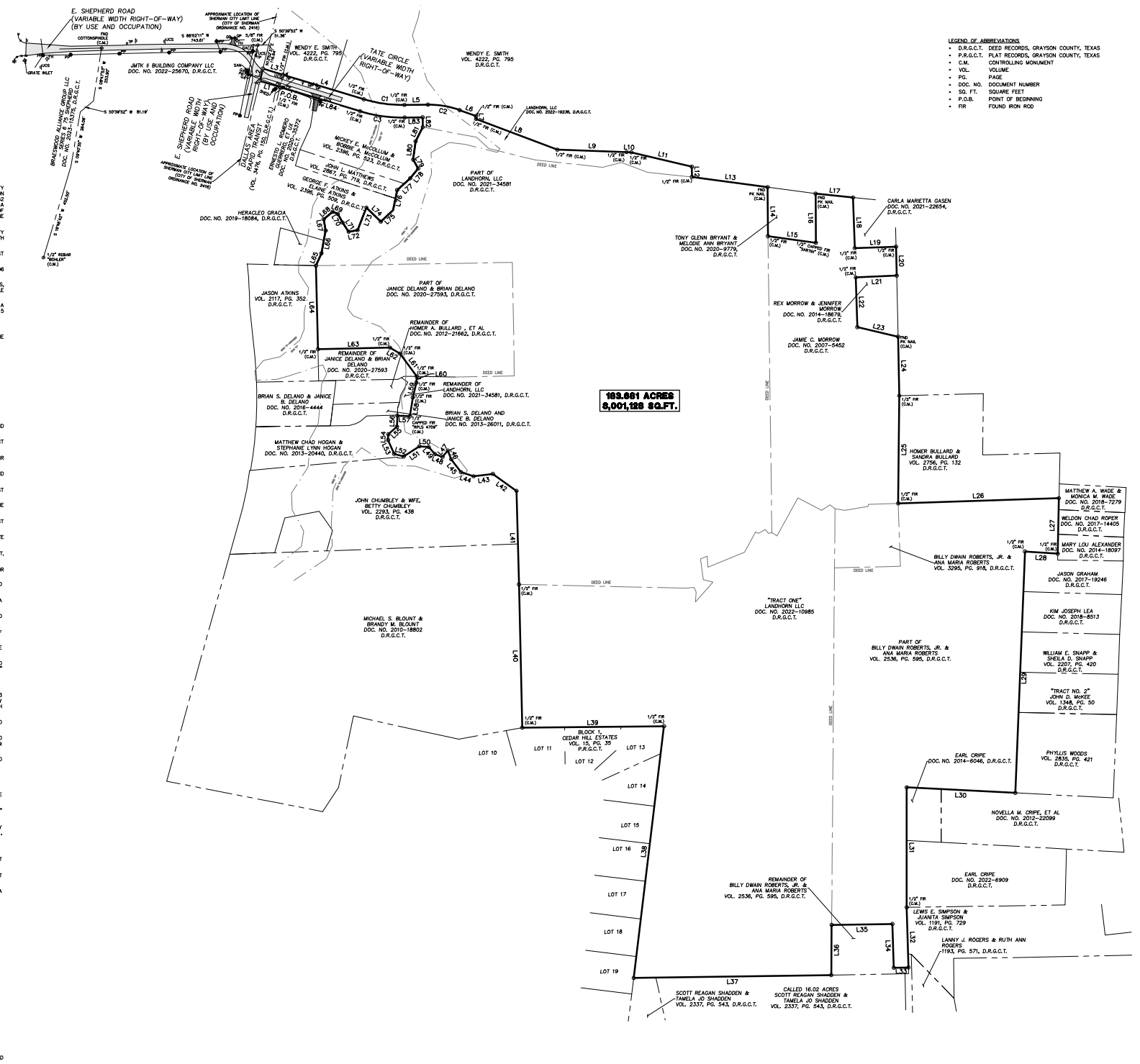
- Since a majority of this category is located in the ETJ, use cannot be controlled through the application of zoning. Because of this, the subdivision ordinance should be evaluated to ensure quality subdivision regulations.







- GENERAL NOTES: 1. THIS DOCUMENT IS PREPARED UNDER 22 TAC 683.21... 2. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A COMMITMENT FOR TITLE INSURANCE... 3. ALL BEARINGS AND DISTANCES ARE SURFACE... 4. ALL TRACTS SHOWN AND THEIR RESPECTIVE LEGAL DESCRIPTIONS WERE PREPARED BY SURVEYORS.



LEGEND OF ABBREVIATIONS: D.R.G.C.T., P.R.G.C.T., C.M., VOL., PAGE, DOC. NO., SQ. FT., P.O.B., F.I.R.

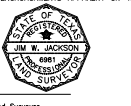
183.681 ACRES 8,001,128 SQ.FT.

DESCRIPTION: BEING A 183.681 ACRES OR 8,001,128 SQUARE FEET TRACT OF LAND SITUATED IN THE BENJAMIN LINDSEY SURVEY, ABSTRACT NUMBER 1217, BEING ALL OF THAT TRACT OF LAND DESCRIBED TO LANDHORN, LLC BY DEED WITHOUT WARRANTY... BEGINS AT A 1/2-INCH IRON ROD FOUND FOR THE WESTERMOST SOUTHWEST CORNER OF SAID FIRST-REFERENCED LONGHORN, LLC TRACT... THENCE NORTH 13 DEGREES 09 MINUTES 29 SECONDS WEST, OVER, ACROSS, AND UPON SAID DALLAS AREA RAPID TRANSIT TRACT, A DISTANCE OF 100.00 FEET TO A POINT FOR CORNER ON THE WEST RIGHT-OF-WAY LINE OF SAID DALLAS AREA RAPID TRANSIT TRACT AND THE EAST RIGHT-OF-WAY LINE OF SAID SHEPHERD ROAD (VARIABLE WIDTH RIGHT-OF-WAY)...

CURVE DATA TABLE with columns: CURVE, RADIUS, DELTA, BEARING, CHORD.

LINE BEARINGS AND DISTANCES TABLE with columns: LINE, BEARING, DISTANCE.

SURVEYOR'S CERTIFICATION: I DO HEREBY CERTIFY TO THE ABOVE LISTED THAT THE SURVEY WAS THIS DAY MADE ON THE GROUND AND WAS SUPERVISED BY MY SUPERVISOR... DATE: 02/06/2026



REVISIONS table with columns: DATE, REASON, BY.

WINDROSE LAND SURVEYING I PLANNING ANNEXATION EXHIBIT OF 183.681 ACRES SITUATED IN THE S. LINDSEY SURVEY, ABSTRACT NO. 733 & THE H. TUCKER SURVEY, ABSTRACT NO. 1217 CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

Project Narrative

March 4, 2026

Development Services Department  
City of Sherman  
220 W. Mulberry Street  
Sherman, TX 75090

To Whom It May Concern,

Sherman Lakes is a single-family community comprising approximately 183.5 acres located on Tate Circle, Biggerstaff Road, and Stark Lane. There are a total of 659 lots, and there are approximately 60 acres of open space. The current lot mix on the attached land plan includes: (155) Town Homes, (208) 45'x 105' lots, (58) 45' x 100 lots, (47) 50'x100' lots, (115) 50'x 105' lots, (12) 50' x 110' lots, (64) 60' x 110' lots. The total unit count for Sherman Lakes cannot exceed 659 lots. Of the 659 lots up to 30% can be rental units. The lot mix stated here can change, but in no event can there be more than 659 lots in Sherman Lakes. The development standards for Sherman Lakes are attached.

The land plan contemplates three entrances off of Tate Circle and in addition there is an emergency entrance off of Stark Lane. There is no entrance on Biggerstaff Road.

The Development Agreement provides that the builder/developer of Sherman Lakes will contribute towards the cost of an extension of a sewer line that will serve the community as well as many other properties in the area. Water for the project will be provided by the City of Sherman. The developer/builder has committed to contribute towards the improvement of Tate Circle.

**Property Owner Information:**

Sherman Lakes JV, LLC  
12645 Birmingham Highway  
Alpharetta, GA 30004

Will Stolz  
404-550-0084  
[will@stolzpartners.com](mailto:will@stolzpartners.com)

**Property Identifier:**

Parcel 1: 128709, 3.42 acres, Tate Circle  
Parcel 2: 128820, 17.3 acres, 1101 Stark Lane  
Parcel 3: 128733, 162.82 acres, Tate Circle  
Nearest Intersection: Tate Circle and Biggerstaff Road

Sincerely,



I. William Stolz

## **EXHIBIT B - DEVELOPMENT STANDARDS - REVISED**

The design, development and use of the Property shall comply with this Ordinance, Sherman's Zoning Ordinance, the Zoning Exhibit, attached hereto as Exhibit C, and the following development standards:

### **A. Base District:**

The Property shall be developed and used in accordance with the regulations applicable to the R-6 (Single-family Residential) district, R-5 (Single-family Residential) district, R-4 (Patio Home Residential) district, and the R-TH (Townhome Residential) district of the Zoning Ordinance, as it exists or may be amended, except as indicated as follows:

### **B. Use Chart:**

All lawful land uses permitted under the R-6 (Single-family Residential) district, R-5 (Single-family Residential) district, R-4 (Patio Home Residential) district, and the R-TH (Townhome Residential) district shall be allowed, except that the following land uses also shall be permitted by right, notwithstanding any statement to the contrary in the Zoning Ordinance, as it exists or may be amended:

### **C. Land Use and Zoning Classification Table:**

DISTRICT	LOT MIX
R-6 (Single-family Residential) District	<b>86 lots (13.3%)</b>
R-5 (Single-family Residential) District	<b>210 lots (32.4%)</b>
R-4 (Patio Home Residential) District	<b>197 lots (30.4%)</b>
R-TH (Townhome Residential) District	<b>155 lots (23.9%)</b>
<b>Total:</b>	<b>659 lots</b>

### **D. District Regulations:**

#### ***Single-family Residential District Standards:***

Single-family Residential Development shall follow the regulations in the following district regulations as it exists or may be amended:

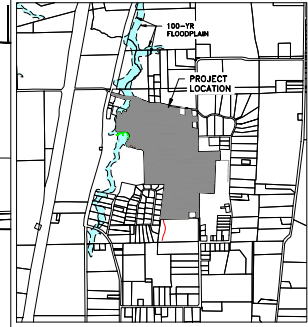
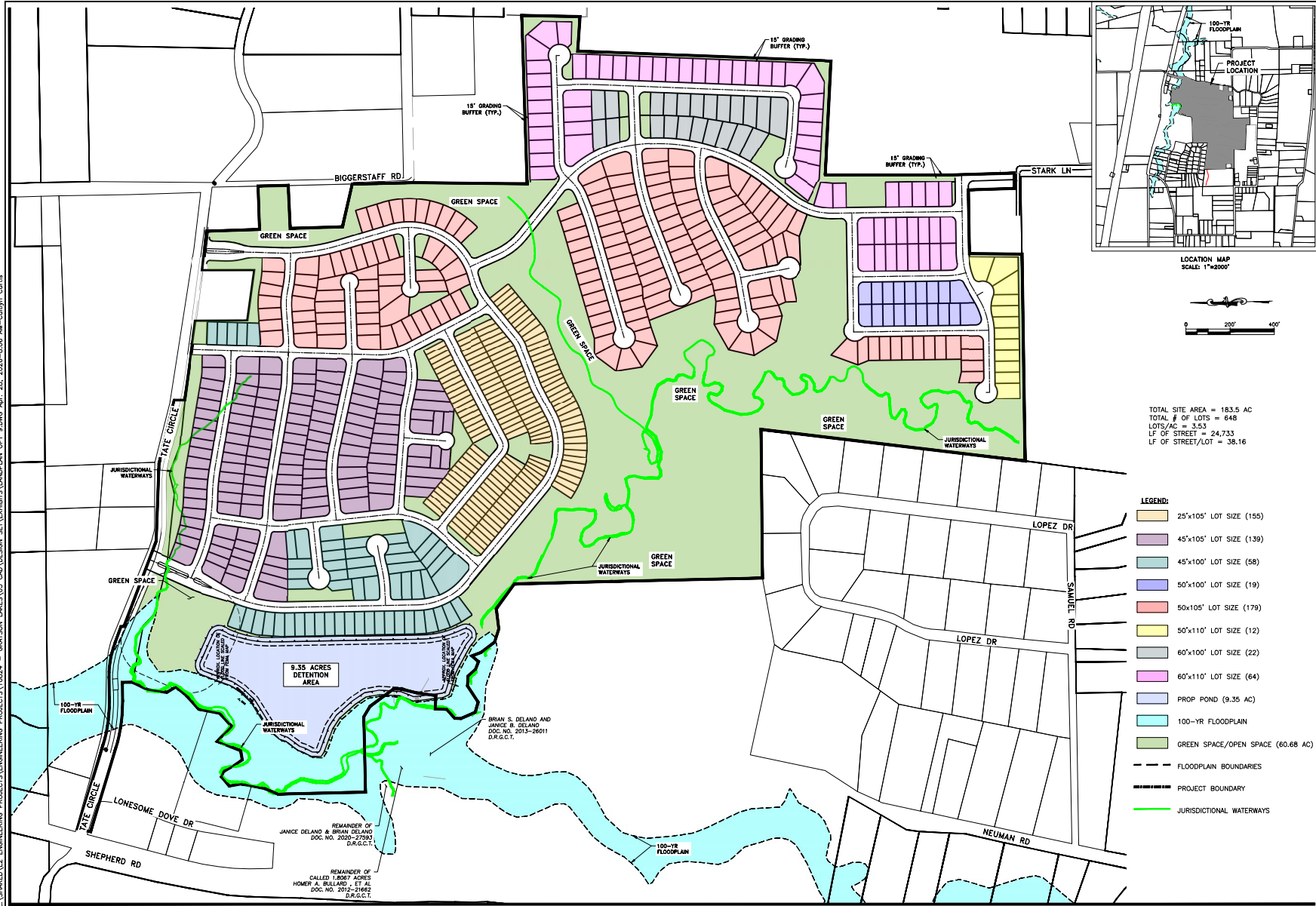
R-6 (Single-family Residential) District:  
Minimum requirements for lot area, width and setback.  
Rear setback: 15'

R-5 (Single-family Residential) District:  
Minimum requirements for lot area, width and setback.  
Rear setback: 10'

R-4 (Patio Home Residential) District:  
Minimum requirements for lot area, width and setback.  
Lot area: 4,500 sq. ft.  
Lot width: 45'  
Lot depth: 100'  
Front setback: 20'  
Rear setback: 10'

R-TH (Townhome Residential) District:  
No Changes recommended.

L:\SHARED\12 ENGINEERING PROJECTS\ENGINEERING PROJECTS\10874 - GRAYSON LAKES\03 CAD\DESIGN SETS\DWG\LANDPLAN.OPT 9.DWG Rev. 28, 2026-8:06 AM-Collin, Curtis



TOTAL SITE AREA = 183.5 AC  
 TOTAL # OF LOTS = 648  
 LOTS/AC = 3.53  
 LF OF STREET = 24,733  
 LF OF STREET/LOT = 38.16

- LEGEND:**
- 25'x105' LOT SIZE (155)
  - 45'x105' LOT SIZE (139)
  - 45'x100' LOT SIZE (58)
  - 50'x100' LOT SIZE (19)
  - 60x105' LOT SIZE (179)
  - 50'x110' LOT SIZE (12)
  - 60'x100' LOT SIZE (22)
  - 60'x110' LOT SIZE (64)
  - PROP POND (9.35 AC)
  - 100-YR FLOODPLAIN
  - GREEN SPACE/OPEN SPACE (60.68 AC)
  - FLOODPLAIN BOUNDARIES
  - PROJECT BOUNDARY
  - JURISDICTIONAL WATERWAYS



CLIENT INFORMATION  
 GRAYSON LAKES P.V. LLC

PROJECT ADDRESS  
 TATE CIRCLE

# GRAYSON LAKES

## SITE LAYOUT OPTION 9

DRAWING ISSUE			
#	DATE	BY	* COMMENT
0	04/28/26	JTW	FOR REVIEW ONLY

PROJECT INFORMATION			
PROJECT	DATE	EDR	**
GRAYSON LAKES	04/28/26	JTW	
DRAWN	CC	CHECKED	JTW
SCALE	1"=200' (24x36)		
	1"=400' (11x17)		
			01

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF:  
 E. LEV LANE, PE #9940  
 OR  
 JONATHAN WHITE, PE #127058  
 FOR REVIEW PURPOSES ONLY  
 NOT FOR CONSTRUCTION

04/28/2026

---

**STAFF REVIEW LETTER**

May 13, 2026

Sent via email

Stacey Capogrossi  
12645 Birmingham Highway  
Alpharetta, GZ 30004

Dear Applicants,

The request of a Public Hearing and Zone Change from R-A (Residential Agricultural) District to a PD (Planned Development) District for Sherman Lakes Development located in the in the 1501 Block Tate Circle has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, May 19, 2026 at 5:00 P.M. in the City Council Chambers at 220 West Mulberry Street.

City staff has reviewed your request, and the following items need to be noted/addressed:

Zoning:

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Fire access, lanes and codes shall be coordinated with the Fire Marshal (stevend@cityofsherman.com).
3. Impact fees will be required at the time of building permit application. (*Chapter 13, Article. 13.11*)
4. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval; at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.
5. Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission.

Engineering

6. Annexation approval by City Council required.
7. Platting of the property is required. *Code of Ordinances Chapter 10.01.005; Texas Local Government Code Title 1, Sec. 212.004*
8. Preliminary Plat required for each phase of development. *Code of Ordinances Chapter 10.02.002(c)(19)*
9. Extension of water mains along entire street frontages by developer is required prior to filing Final Plat. *Code of Ordinances Chapter 13, Sec. 13.07.282; Chapter 10.03.005*
10. Extension of wastewater mains along entire street frontages by developer is required prior to filing Final Plat. *Code of Ordinances Chapter 13, Sec. 13.07.282; Chapter 10.03.005*
11. Civil Engineering plans shall be provided to the Engineering Department for review and approval. Plat to reflect changes upon Engineering review. Civil Plan submittal requirements can be found in the Development Guide on the City of Sherman website. *Code of Ordinances Chapter 10.04; Engineering Design Standards Manual Sec. 1.9*

It is the policy of Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, contact Development Services by emailing [planning@cityofsherman.com](mailto:planning@cityofsherman.com) prior to the meeting.

Respectfully,



Rob Rae

Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager  
Clint Philpott, Asst. City Manager  
Wayne Lee, P.E., Director of Engineering  
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney  
Steven Davis, Fire Marshal  
Amber Doan, Engineering Coordinator  
Tom Pruitt, Utility Engineer



**Planning & Zoning Commission Development Services**

Agenda Item No. 16.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**1001 SOUTH SAM RAYBURN FREEWAY (Project No.000364-2026)**

The request of Ferrell Carroll (Owner), Shane Carroll (Applicant), concerning the property located at 1001 South Sam Rayburn Freeway, consisting of 0.3511 acres, being Lots 7, 8 and 9 of the Exsteins Brennan Addition, and currently zoned C-2 (General Commercial) District/Sam Rayburn Overlay District as follows:

***Planning and Zoning Commission***

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Automobile, motorcycle, boat, or trailer sales, new or used in a C-2 (General Commercial) District/Sam Rayburn Overlay District.

**Background:**

The property is located at 1001 South Sam Rayburn Freeway. The owner is requesting Site Plan approval and a Specific Use Permit to allow Automobile, motorcycle, boat, or trailer sales, new or used.

The following has been approved at this location:

- 09/13/1977 - Zone Change R-1 to C-1. ORD# 3213.
- 10/11/1977 - Zone Change C-1 to C-2. ORD# 3218.

**Origination:**

The request of Ferrell Carroll (Owner), Shane Carroll (Applicant).

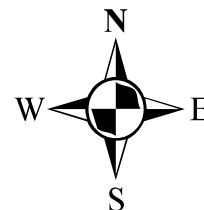
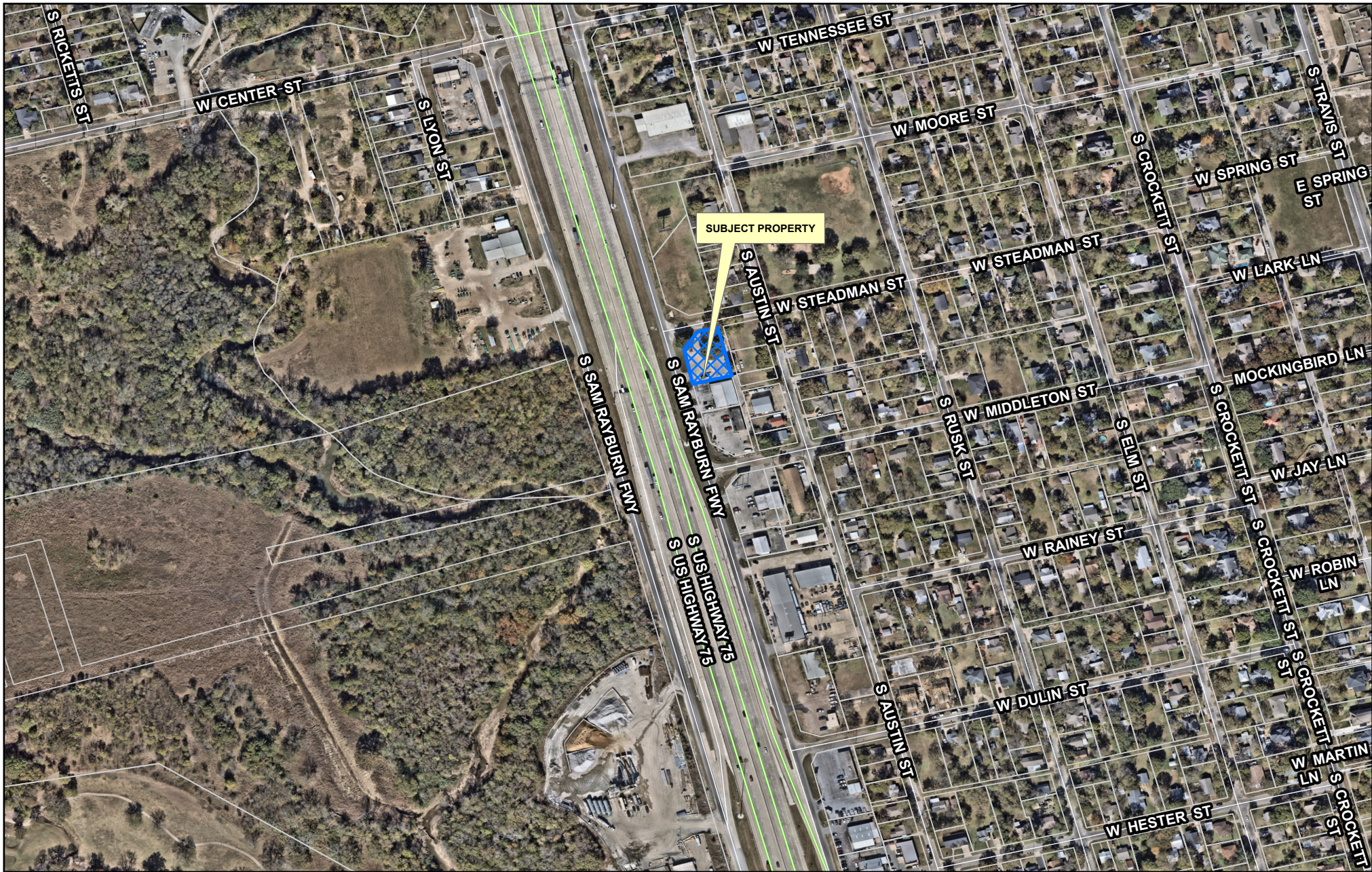
**Staff Recommendation:**

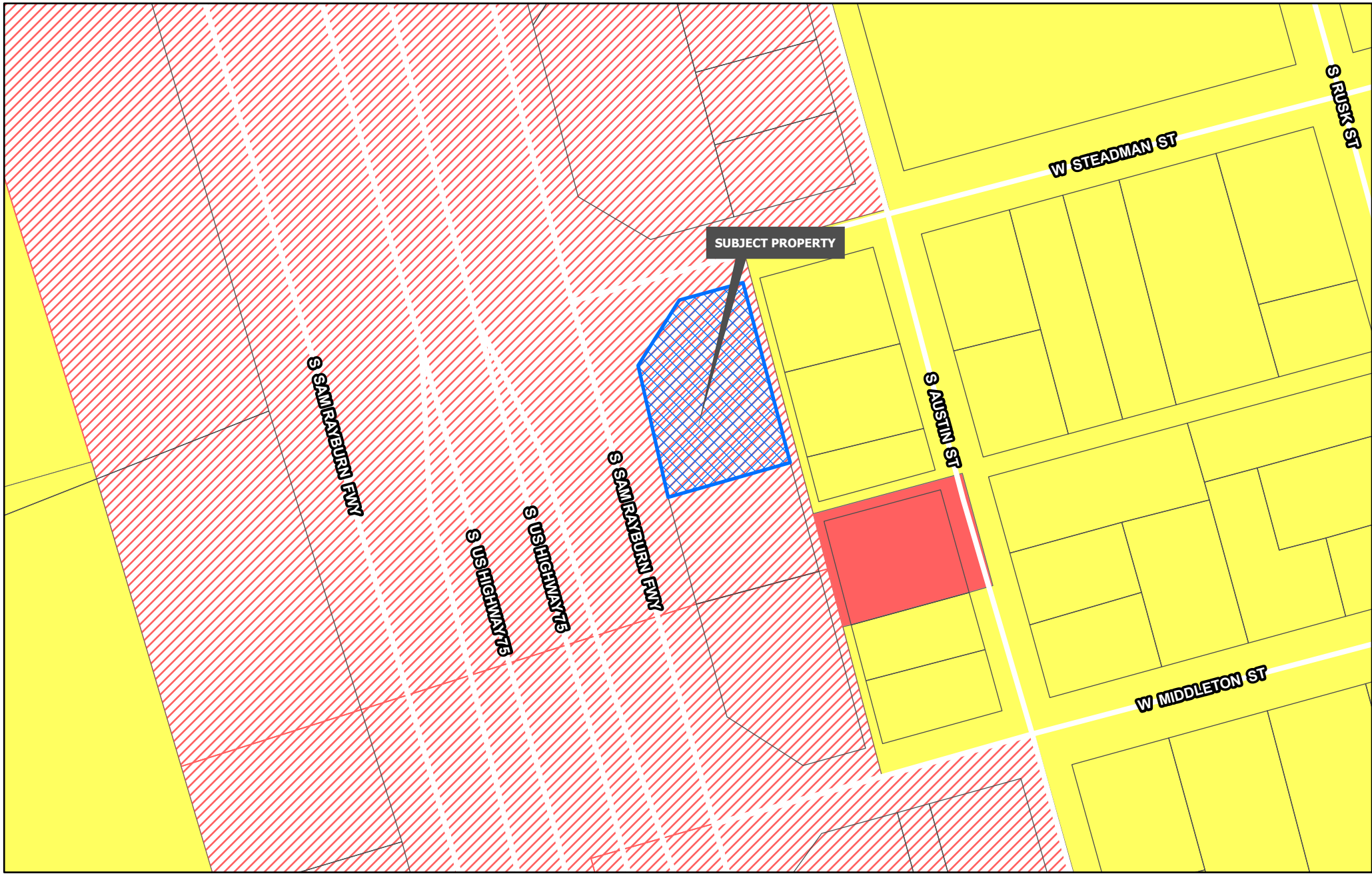
Staff recommends that if this item is approved, it be tied to the applicant and have a 1-year expiry.

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**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Property Notification Sign
5. Survey and Site Plan
6. Project Narrative
7. Landscape Plan
8. Elevation
9. Staff Review Letter





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN  
 ZONING MAP  
 1001 S SAM RAYBURN FWY**



**CORE NEIGHBORHOOD**

**Intent & Character**

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

**Appropriate Land Use Types**

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

**Compatible Zoning Districts**

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

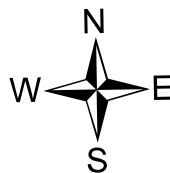
**Considerations**

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



- |                      |                       |                   |
|----------------------|-----------------------|-------------------|
| Agriculture/Rural    | Core Neighborhood     | Technology Hub    |
| Airport              | Downtown              | Planning & Zoning |
| City Parkland        | Regional Commercial   |                   |
| Community Commercial | Suburban Neighborhood |                   |

**CITY OF SHERMAN  
FUTURE LANDUSE MAP  
1001 S SAM RAYBURN FWY**





**NOTICE OF  
SPECIFIC USE PERMIT  
REQUEST**

**PROJECT #: 000364-2026**

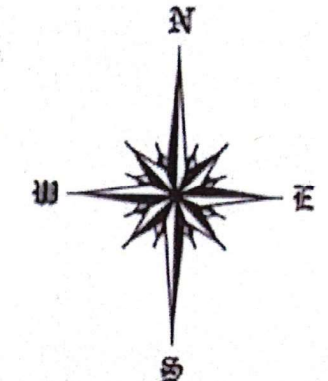
FOR MORE INFORMATION CONTACT  
DEVELOPMENT SERVICES  
903-892-7218



- PROPERTY ADDRESS -  
1001 S SAM RAYBURN FREEWAY  
SHERMAN, TEXAS

CLS Job# 26040143

- BASIS OF BEARINGS -  
GRID NORTH, NAD 83  
TEXAS STATE PLANE COORDINATE SYSTEM  
NORTH CENTRAL ZONE (4202)



**Legend**  
DI

- STORM WATER DRAINAGE INLET
- SEWER CLEANOUT
- POWER POLE
- AIR CONDITIONER
- WATER SPIGOT
- WATER METER
- MAILBOX
- BOUNDARY LINE
- PROPERTY LINE
- OVERHEAD ELECTRIC
- BUILDING
- PIPE FENCE
- STOCKADE FENCE
- ASPHALT
- GRAVEL
- CONCRETE

**Legal Description**

Situated in the City of Sherman, County of Grayson, State of Texas, being a part of the Samuel Blagg Survey, Abstract No. 56, being a partition of Lots 7, 8 and 9 of Exsteins Brennan Addition, an addition to the City of Sherman, Texas as shown by plat of record in Volume 177, Page 410, Deed Records, Grayson County, Texas and being the same tract of land conveyed to Ferrell Carroll, by deed of record in Volume 1395, Page 179 of said Deed Records and being more particularly described by metes and bounds as follows:

Beginning at a 3/8" steel rod found in the south line of Steadman Street, and the west line of a 15' alley maintaining the northeast corner of said Lot 7, Exstein's Brennan Addition;

Thence South 15°25'09" East, along the east line of said Lot 7, Exstein's Brennan Addition, and the west line of said 15' alley, a distance of 150.22 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 for the southeast corner of said Lot 9, Exstein's Brennan Addition and the common northeast corner of a 0.246 acre tract of land conveyed to Levelland D&S Properties, LP, by deed of record in Volume 3820, Page 677, Official Public Records, Grayson County, Texas and Lot 10, Exstein's Brennan Addition;

Thence South 74°52'51" West, along the south line of said Lot 9, Exstein's Brennan Addition and the north line of said Lot 10, Exstein's Brennan Addition, a distance of 107.75 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 in the east right-of-way line of U.S. Highway No. 75 and Sam Rayburn Freeway, for the southwest corner of said Carroll Tract and the northwest corner of said 0.248 acre tract;

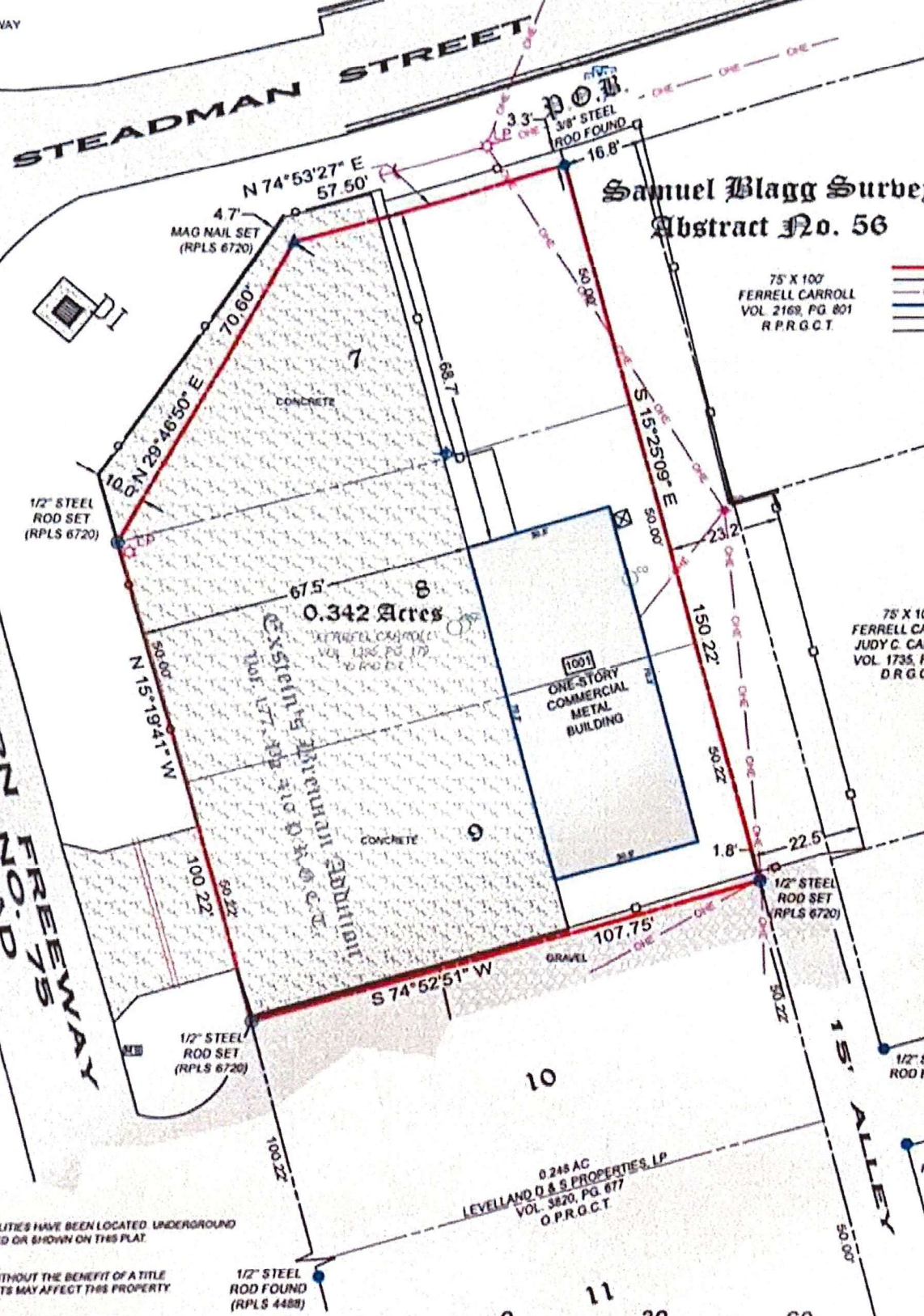
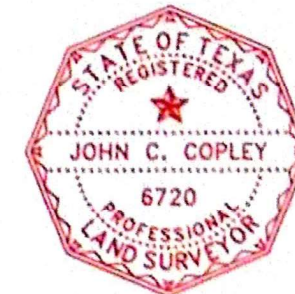
Thence North 15°19'41" West, along the east right-of-way line of said U.S. Highway No. 75 and the west line of said Carroll Tract, a distance of 100.22 feet to a 1/2" steel rod set with an aluminum cap marked COPLEY RPLS 6720 at an ell corner in the east line of said U.S. Highway No. 75 for an angle point in the west line of said Carroll Tract;

Thence North 29°46'50" East, continuing along the east right-of-way line of said U.S. Highway No. 75 and the west line of said Carroll Tract, a distance of 70.60 feet to a mag nail set with an aluminum washer marked COPLEY RPLS 6720 at the intersection of the south line of said Steadman Street and the east right-of-way line of said U.S. Highway No. 75 for the northwest corner of said Carroll Tract and in the north line of said Lot 7, Exstein's Brennan Addition;

Thence North 74°53'27" East, along the south line of said Steadman Street, and the north line of said Lot 7, Exstein's Brennan Addition, a distance of 57.50 feet to the Point-of-Beginning and containing 0.342 acres of land.

I, John C. Copley, Registered Professional Land Surveyor, do hereby certify that a survey was made on the ground of the property legally described herein, is correct, and that there are no discrepancies, conflicts, shortages in area, boundary line conflicts, encroachments, overlapping of improvements, easements or right-of-way, except as shown on the plat herewith, and that the plat herewith is a true, correct and accurate representation of the property legally described hereinabove.

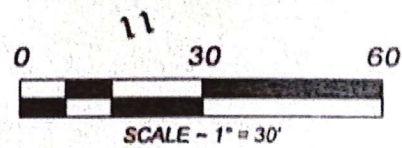
*John C. Copley*  
John C. Copley  
Registered Professional  
Land Surveyor No. 6720  
Firm No. 10194429  
DATE OF SURVEY: 4/30/2026



ONLY VISIBLE ABOVE GROUND UTILITIES HAVE BEEN LOCATED. UNDERGROUND UTILITIES HAVE NOT BEEN LOCATED OR SHOWN ON THIS PLAT. CALL 811 BEFORE YOU DIG.

THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. EXISTING EASEMENTS MAY AFFECT THIS PROPERTY.

**Copley Land Surveying**  
5586 W. FM 120, Denison, Texas 75020  
TX 903-415-0643  
john@copleylandsurveying.com



Copyright © 2026  
Copley Land Surveying, Inc.  
All rights reserved.

**CARROLL AUTO GROUP**  
**1001 S. SAM RAYBURN FWY SHERMAN, TX 75090**

**Monday, May 4, 2026**

**Project Narrative**

The property will be used for an automotive sales business, Carroll Auto Group, specializing in buying and selling vehicles

LANDSCAPE PLAN  
1001 S SAM RAYBURN FWY.  
SHERMAN, TX 75090

We will not be making any changes to the current landscaping. There is one large tree beside the building. There is a strip of grass from the street up to the parking lot in the front and a strip of grass on the north side from the street up to the parking lot. The grass will be maintained and everything kept as is.

Thank you,  
Shane Carroll  
Sky Carroll



---

STAFF REVIEW LETTER

May 13, 2026

Sent via email

Shane Carroll  
PO Box 231  
Sherman, TX 75091

Dear Applicants,

The request of a Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Automobile, motorcycle, boat, or trailer sales, new or used in a C-2 (General Commercial) District/Sam Rayburn Overlay District located at 1001 South Sam Rayburn Freeway has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, May 19, 2026, at 5:00 P.M. in the Council Chambers at 220 West Mulberry Street.

City staff has reviewed your request, and the following items need to be noted/addressed:

**Zoning:**

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Fire access, lanes and codes shall be coordinated with the Fire Marshal's office.
3. Fence Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Sec. 14.04.004*)
4. Sign Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
5. The use of the property must comply with all Federal and State Laws and regulations and with all the ordinances, rules and regulations of the City of Sherman.
6. No outside parking or storage of dismantled, junk or inoperable vehicles, wrecks, tires, displays or parts are permitted.
7. No work shall be performed outside the structure designated for auto repair.
8. The property must be properly maintained in a state of good repair and neat appearance.
9. The granting of the Specific Use Permit has no effect on the uses permitted as of right and does not waive the regulations of the underlying zoning district.
10. Non-residential parking standards must be addressed prior to the issuance of a Certificate of Occupancy. (*Sec. 14.04.003(d)*)
  - a. Required parking automobile, motorcycle, boat, or trailer sales, new or used is one parking space for every 500 square feet of sales floor area and must be paved concrete or asphalt and shall be a minimum of 9' wide and 20' long.
  - b. Parking spaces shall be permanently and clearly identified by stripes. Non-permanent type marking, such as paint, shall be regularly maintained to ensure continuous clear identification of the space.
11. Metal panel fences are not permitted in any district.
  - a. Metal panel fence must be removed before a Certificate of Occupancy can be issued.
12. A Specific Use Permit is an amendment to the district regulations of the Zoning Ordinance that permits the establishment of a specific use within a zoning district in which such specific use may be established unless such use of land or structure is discontinued or abandoned for a period of thirty (30) consecutive days in which event such Specific Use Permit shall be void and such use may not

thereafter be resumed unless a new Specific Use Permit is granted in accordance with this section.  
(Chapter 14, Sec. 14.06.009(a)(1)(C))

13. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.
14. Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission

**Engineering:**

15. Subject property does not have direct access to public water main. Extension of water main along entire street frontage by developer is required prior to any new water taps being permitted. *Code of Ordinances Chapter 13, Sec. 13.07.282; Chapter 10.03.005*
16. Replatting of the property is required prior to building permits being issued for any additions or new structures. *Code of Ordinances Chapter 10.01.005; Texas Local Government Code Title 1, Sec. 212.004*
17. New drive approaches and sidewalks shall conform to City of Sherman and TxDOT standards and a permit with drawing showing dimensions is required from City of Sherman Engineering Department for review and approval prior to any work being done within public right of way. *Code of Ordinances Chapter 3, Division 5, Sec. 3.10.154; 10.03.003(h); Engineering Design Standards Manual 2.5*

**Solid Waste:**

18. Solid Waste enclosures and services shall adhere to Article 13.06 of the City of Sherman's Utility Ordinance and Section 14.04.004(d)(4)) of the City of Sherman's Zoning Ordinance.

**Additional Comments**

19. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded in the event that a person or entity other than Carroll Auto Group is the owner or lessee of the property.
20. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded on the first anniversary of the effective date identified below, unless earlier terminated, rescinded, extended or renewed by separate action of the City Council. The owner of the property subject to the Specific Use Permit must receive City Council approval of an application to extend or renew the Specific Use Permit prior to the expiration thereof.

It is the policy of the Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, contact Development Services by emailing [planning@cityofsherman.com](mailto:planning@cityofsherman.com) prior to the meeting.

Respectfully,



Rob Rae

Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager  
Clint Philpott, Asst. City Manager  
Wayne Lee, P.E., Director of Engineering  
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney

Steven Davis, Fire Marshal  
Amber Doan, Engineering Coordinator  
Tom Pruitt, Utility Engineer



**Planning & Zoning Commission Development Services**

Agenda Item No. 17.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**1916 GALLAGHER DRIVE (Project No. 000365-2026)**

The request of Brody Starks (Owner), Shierly Ucol (Applicant), and Winkelman & Associates, Inc. (Surveyor) concerning the property located at 1916 Gallagher Drive, consisting of 3.996 acres, being Block 18 and a part of Block 17, Lots 20-27 of Block 11 and Blocks 12, 13, 14, 15, 16, Town North Addition, in the Rueben Hendrix Survey, Abstract No. 504 and currently zoned C-2 (General Commercial) District, as follows:

***Planning and Zoning Commission***

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Contractors or construction offices, equipment sales, service, rental and repair, with outdoor storage in a C-2 (General Commercial) District.

**Background:**

The property is located at 1916 Gallagher Drive. The owner is requesting Site Plan approval and a Specific Use Permit to allow Contractors or construction offices, equipment sales, service, rental and repair, with outdoor storage.

SRS Distribution is a building supply company that offers roofing materials, shingles, roof decking, and vinyl siding. There will be approximately 20 vehicles per day for material pickups and 5 bulk truck deliveries per week at this site.

The following has been approved at this location:

- 02/16/1992- To allow a 250 gallon propane tank.
- 10/21/2014- To allow a feed store in a C-2 (General Commercial) District. ORD# 5861.

**Origination:**

The request of Brody Starks (Owner), Shierly Ucol (Applicant), and Winkelman & Associates, Inc. (Surveyor).

**Staff Recommendation:**

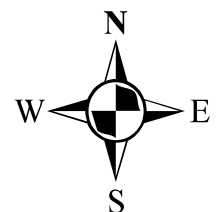
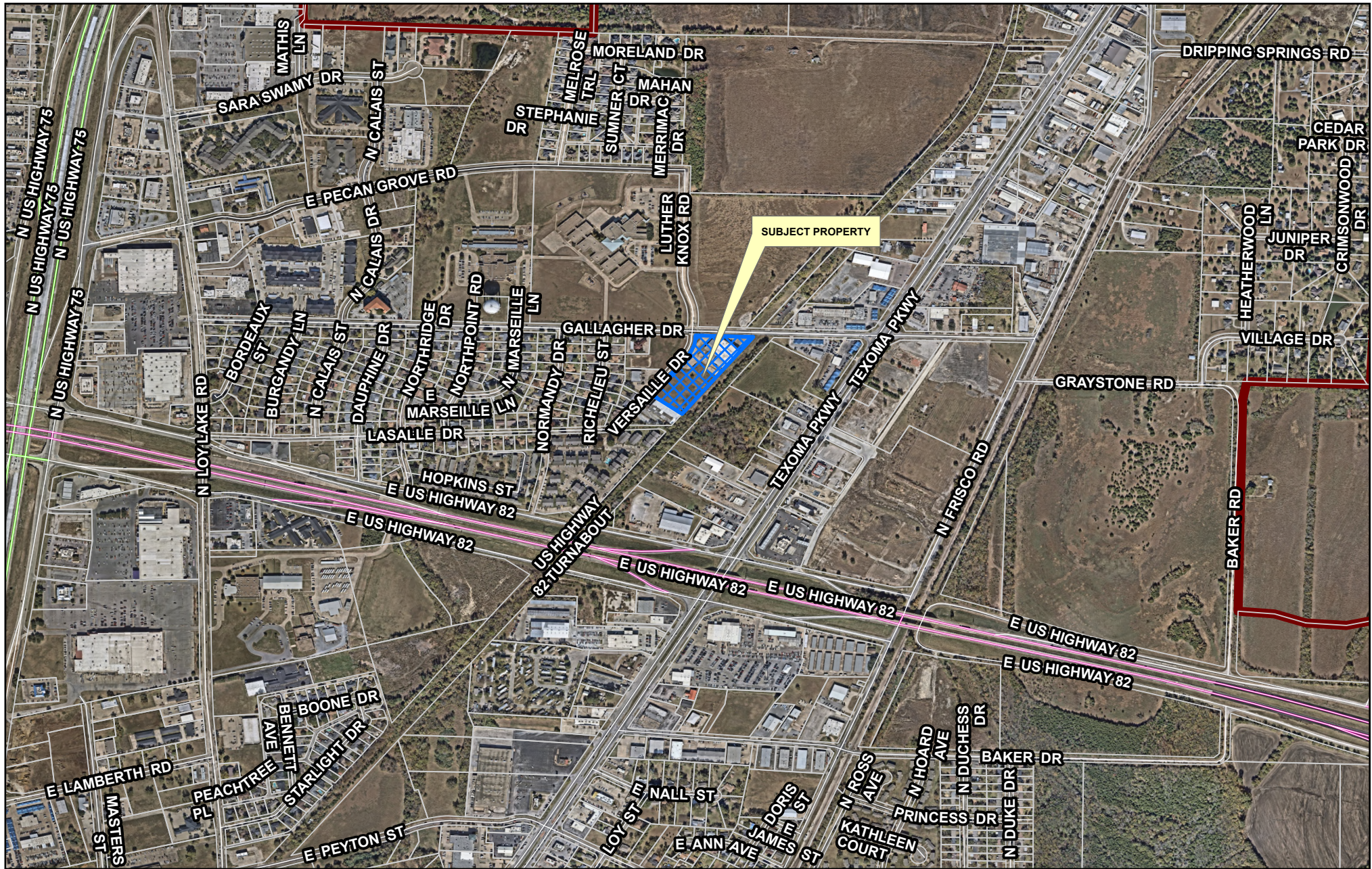
Staff recommends that if approved it include the following conditions:

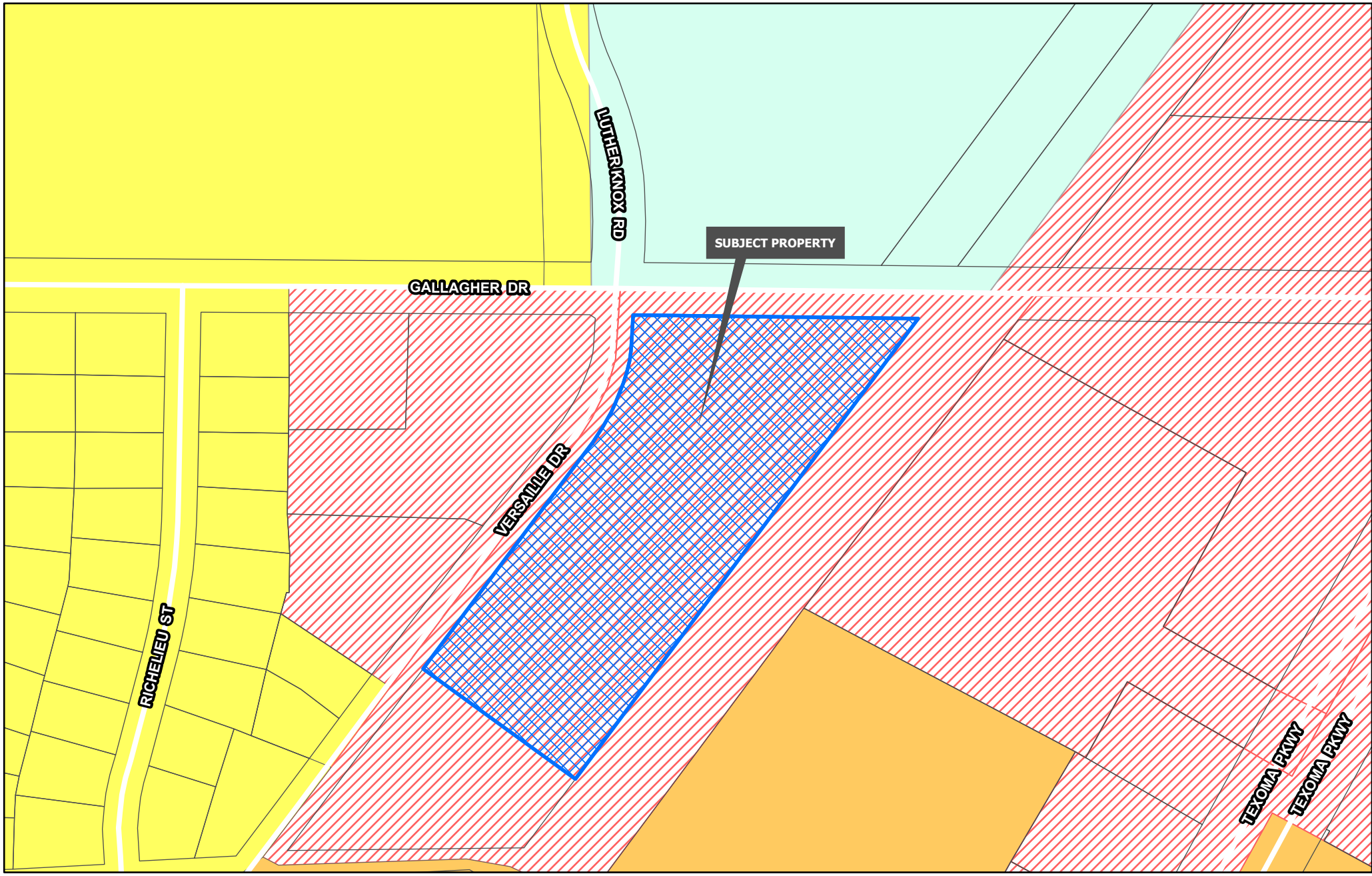
- Approved subject to the staff review letter.
- Landscape perimeter screening along Versailles Drive.
- Truck traffic to use only the driveways on Versailles Drive.
- No truck traffic from this development is allowed to travel west on Gallagher. Required to travel to Texoma Parkway.

---

**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Property Notification Signs
5. Survey
6. Project Narrative
7. Site Plan / Landscape Plan
8. Elevation
9. Staff Review Letter





**Sherman**  
 CLASSIC TOWN. BROAD HORIZON.  
 Development Services Department

- |                                |                                |                            |
|--------------------------------|--------------------------------|----------------------------|
| Planning & Zoning              | R-4 Patio Home Residential     | C-O Office                 |
| R-A Residential Agricultural   | R-2F Duplex Residential        | C-1 Retail Business        |
| R-E Estate Residential         | R-TH Townhome Residential      | C-2 General Commercial     |
| R-12 Single Family Residential | MF-15 Multi-Family Residential | M-1 Light Manufacturing    |
| R-6 Single Family Residential  | MF-30 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-5 Single Family Residential  | MH Manufactured Housing        | M-2 Heavy Manufacturing    |
|                                | C-N Neighborhood Commercial    | PD Planned Development     |

**CITY OF SHERMAN  
 ZONING MAP  
 1916 GALLAGHER DR**



**CORE NEIGHBORHOOD**

**Intent & Character**

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

**Appropriate Land Use Types**

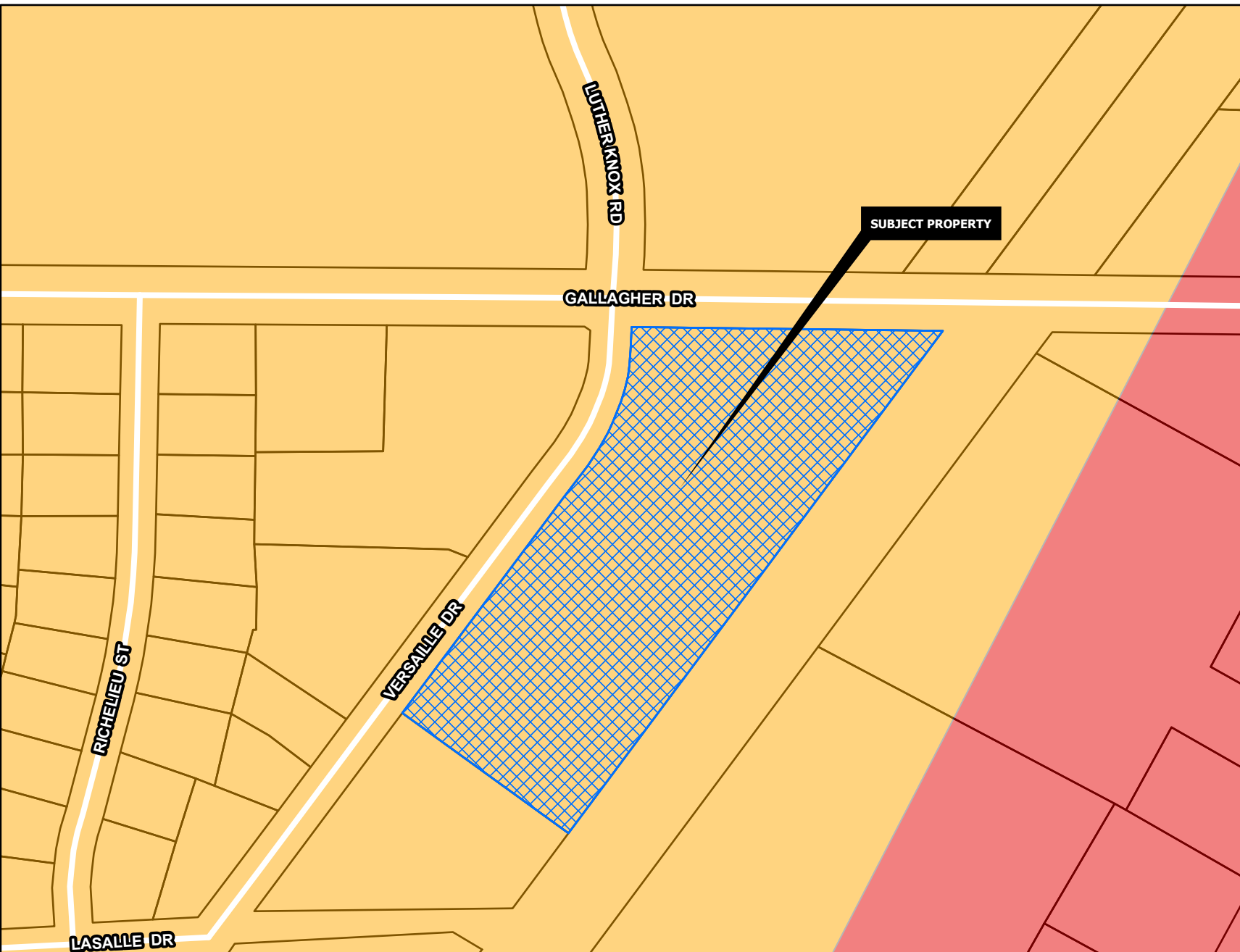
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

**Compatible Zoning Districts**

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

**Considerations**

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



Agriculture/Rural	Core Neighborhood	Technology Hub
Airport	Downtown	Planning & Zoning
City Parkland	Regional Commercial	
Community Commercial	Suburban Neighborhood	

**CITY OF SHERMAN  
FUTURE LANDUSE MAP  
1916 GALLAGHER DR**



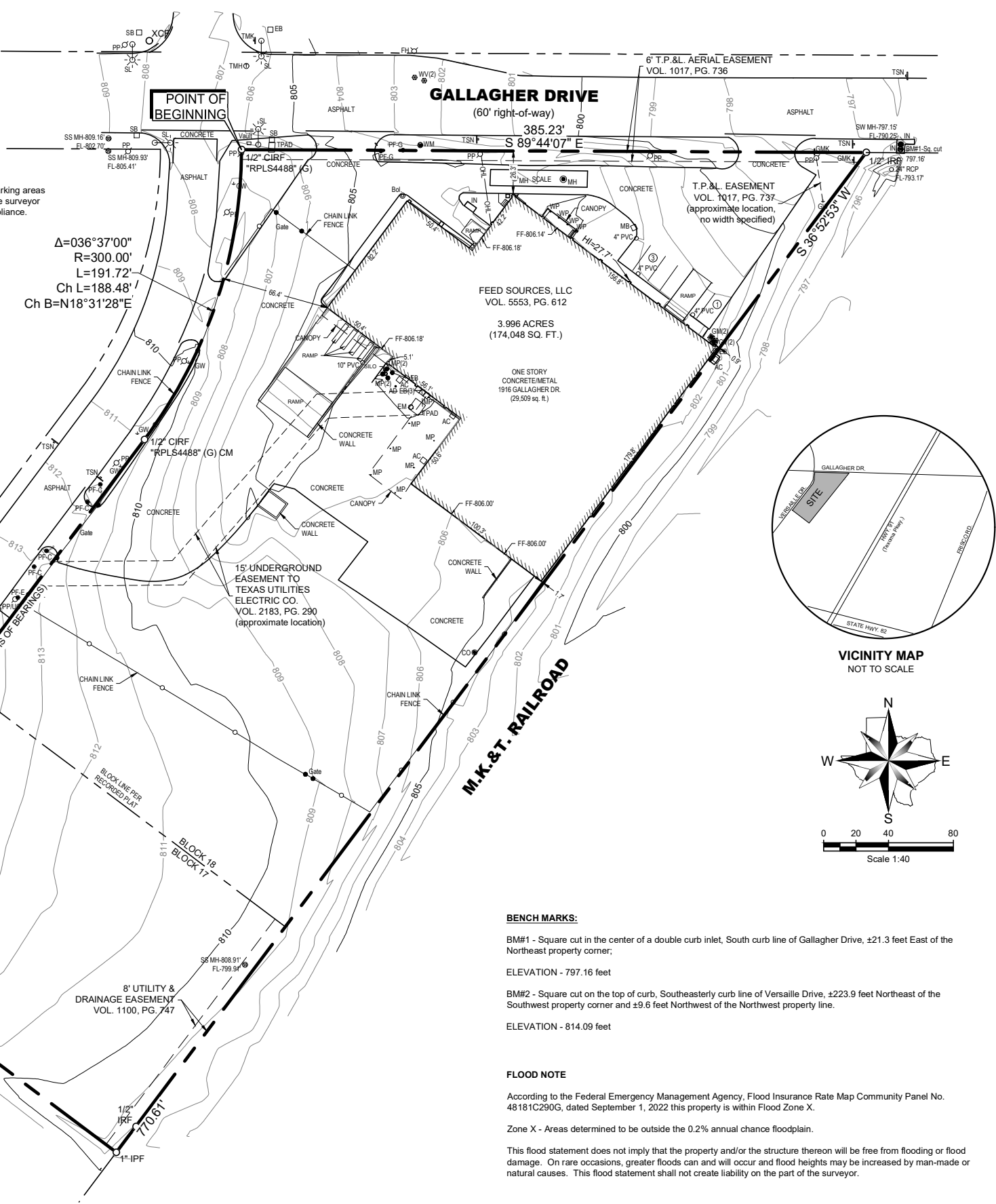


**ABBREVIATION LEGEND**

ABBR.	DEFINITION
AC	AIR CONDITIONER
AD	AREA DRAIN
BILLB	BILLBOARD
BoI.	BOLLARD
C	COMMUNICATION
CC#	COUNTY CLERK'S FILE NO.
CIRF	IRON ROD FOUND WITH CAP
CIRS	IRON ROD SET W/CAP STAMPED "W.A.I. 5714"
CM	CONTROLLING MONUMENT
CO	CLEANOUT
DS	DOWNSPOUT
E	ELECTRIC
EB	ELECTRIC BOX
EM	ELECTRIC METER
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FOMK	FIBER OPTIC MARKER
FP	FLAG POLE
G	GAS
GI	GRATE INLET
GL	GROUND LIGHT
GM	GAS METER
GMK	GAS MARKER
GR	GAS RISER
GV	GAS VALVE
GW	GUY WIRE
HI	BUILDING HEIGHT
HC	HANDICAPPED
ICV	IRRIGATION CONTROL VALVE
IN	INLET
IRF	IRON ROD FOUND
LP	LIGHT POLE
MAG	MAG NAIL SET WITH SHINER STAMPED "W.A.I. R.P.L.S. 5714"
MB	MAIL BOX
MH	MANHOLE
MP	METAL POST
MW	MONITORING WELL
OHL	OVERHEAD LINES
PF	PIN FLAG
PFC	POINT FOR CORNER
PKF	PK NAIL FOUND
PKS	PK NAIL SET
PM	PAINT MARK
PP	POWER POLE
SB	SIGNAL BOX
SN	SIGN
SP	SIGNAL POLE
SS	SANITARY SEWER
SSMK	SANITARY SEWER MARKER
SW	STORM WATER
TMK	TELEPHONE MARKER
TP	TELEPHONE PEDESTAL
TPAD	TRANSFORMER PAD
TSN	TRAFFIC SIGN
UGC	UNDERGROUND CABLE MARKER
W	WATER
WM	WATER METER
WP	WOOD POST
WV	WATER VALVE
XCF	"X" CUT IN CONCRETE FOUND
XCS	"X" CUT IN CONCRETE SET

PARKING	
TYPE	NUMBER
REGULAR	4
DISABLED	0
OTHER	
TOTAL	4

**PARKING NOTE:**  
At the time of the survey, any visible disabled parking areas were located and are shown on the survey. The surveyor cannot certify that they are in full ADA compliance.



**BENCH MARKS:**  
BM#1 - Square cut in the center of a double curb inlet, South curb line of Gallagher Drive, ±21.3 feet East of the Northeast property corner.  
ELEVATION - 797.16 feet  
BM#2 - Square cut on the top of curb, Southeastly curb line of Versailles Drive, ±223.9 feet Northeast of the Southwest property corner and ±9.6 feet Northwest of the Northwest property line.  
ELEVATION - 814.09 feet

**FLOOD NOTE**  
According to the Federal Emergency Management Agency, Flood Insurance Rate Map Community Panel No. 48181C290G, dated September 1, 2022 this property is within Flood Zone X.  
Zone X - Areas determined to be outside the 0.2% annual chance floodplain.  
This flood statement does not imply that the property and/or the structure thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

**PROPERTY DESCRIPTION**

STATE OF TEXAS §  
COUNTY OF GRAYSON §

BEING a tract of land situated in the RUEBEN HENDRIX SURVEY, ABSTRACT NO. 504, City of Sherman, Grayson County, Texas, being Block 18 and a part of Block 17, of Lots 20-27 of Blk. 11 and all of Blks. 12, 13, 14, 15, 16, of Town North Addition, and addition to the City of Sherman, Texas, according to the Replat thereof recorded in Volume 3, Page 91, Plat Records, Grayson County, Texas, and being all of the same tract of land as described in deed to Feed Sources, LLC, recorded in Volume 5553, Page 612, Deed Records, Grayson County, Texas (D.R.G.C.T.), and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with green plastic cap stamped "RPLS4488" found for corner at the intersection of the South right-of-way line of Gallagher Drive (60' right-of-way) and the Easterly right-of-way line of Versailles Drive (50' right-of-way);

THENCE South 89 deg 44 min 07 sec East, departing said Easterly right-of-way line and along said South right-of-way line, a distance of 385.23 feet to a 1/2-inch iron pipe found for corner in the Northwesterly line of the M.K.&T. Railroad;

THENCE South 36 deg 52 min 53 sec West, departing the South right-of-way line of said Gallagher Drive and along said Northwesterly line, a distance of 770.61 feet to a 1-inch iron pipe found for corner, said iron rod being the most Easterly corner of a tract of land as described in deed to Thomas A. Russell, recorded in Volume 2115, Page 790, D.R.G.C.T.;

THENCE North 53 deg 04 min 50 sec West, departing the Northwesterly line of said M.K.&T. Railroad and along the Northeasterly line of said Thomas A. Russell tract, a distance of 250.00 feet to a 1/2-inch iron rod with green plastic cap stamped "RPLS4488" found for corner, said iron rod being the most Northerly corner of said Thomas A. Russell tract and being situated in the Southeastly right-of-way line of said Versailles Drive;

THENCE North 36 deg 54 min 20 sec East, departing the Northeasterly line of said Thomas A. Russell tract and along said Southeastly right-of-way line, a distance of 361.78 feet to a 1/2-inch iron rod with green plastic cap stamped "RPLS4488" found for corner and the beginning of a curve to the left having a radius of 300.00 feet, a central angle of 36 deg 37 min 00 sec, a chord bearing of North 18 deg 31 min 28 sec East and a chord length of 188.48 feet;

THENCE continuing along the Southeastly right-of-way line of said Versailles Drive and along said curve to the left, an arc distance of 191.72 feet to the POINT OF BEGINNING.

CONTAINING within these metes and bounds 3.996 acres or 174,048 square feet of land, more or less.

Bearings shown hereon are based upon an on-the-ground survey performed in the field on the 26th day of February, 2026, utilizing a G.P.S. bearing related to the Texas North Central Zone (4202), NAD 83, grid values from the City of Sherman Monuments, Geodetic Control Stations #1-103 and #1-102.

**SCHEDULE "B" NOTES**

Items corresponding to the Commitment for Title Insurance issued March 25, 2026 by Title Resources Guaranty Company bearing an effective date of March 23, 2026, GF# 0148218.

- The property is subject to the following restrictive covenants of record as itemized below:  
Those filed of record in Volume 1010, Page 117 and Volume 1078, Page 590, Deed Records, Grayson County, Texas.  
2-10a. Intentionally omitted by Surveyor. (Not survey related items)  
10b. Any matters as shown on the recorded plat of Town North Addition to the City of Sherman, Texas, filed of record in Volume 3, Page 91, Plat Records, Grayson County, Texas. (Affects, blanket)  
10c. Intentionally omitted by Surveyor. (Not a survey related item)  
10d. Easement to Texas Power & Light Company of record in Volume 1017, Page 736 & 737, Deed Records, Grayson County, Texas. (Affects as shown)  
10e. Easement to Texas Utilities Electric Company of record in Volume 2183, Page 290, Real Property Records, Grayson County, Texas. (Affects as shown, approximate location)  
10f. Mineral reservations of record in Volume 778, Page 15 (Affects, blanket) and Volume 1081, Page 678 (Affects Block 18, blanket), Deed Records, Grayson County, Texas. (Not a survey related item)  
10g. Easement dedication for utility and drainage purposes of record in Volume 1100, Page 747, Deed Records, Grayson County, Texas. (Affects as shown)  
10h-10i. Intentionally omitted by Surveyor. (Not survey related items)

The Surveyor has not abstracted the record title and/or easements of the subject property. The Surveyor prepared this survey with the benefit of a title commitment described above and assumes no liability for any easements, right-of-way dedications or other title matters affecting the subject property which may have been filed in the real property records but are not disclosed in said title commitment.

**SURVEYOR'S CERTIFICATION**

To: BUILDING SUPPLY REAL ESTATE, LLC; FEED SOURCES, LLC, A NEW MEXICO LIMITED LIABILITY COMPANY; and Title Resources Guaranty Company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2026 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 7(b)(1), 7(c), 8, 9, 13 and 14 of Table A thereof. The fieldwork was completed on 02/26/2026.

**PRELIMINARY, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.**

Leonard J. Lueker  
Registered Professional Land Surveyor  
Texas Registration No. 5714  
l.lueker@winkelmans.com

Winkelmans & Associates, Inc.  
6750 Hillcrest Plaza Drive, Suite 215  
Dallas, Texas 75230  
(972) 490-7090 www.winkelmans.com

Please note that the use of the word "CERTIFY" or "CERTIFICATE" used hereon constitutes an expression of professional opinion regarding those facts or findings which are the subject of the certification, and does not constitute a warranty or guarantee, either expressed or implied.

L/L	title updated
3	3/25/2026
2	3/23/2026
1	3/16/2026
No.	

L/L	comments addressed
3	
2	
1	
No.	

REVISION	DATE
3	3/25/2026
2	3/23/2026
1	3/16/2026
No.	

RUEBEN HENDRIX SURVEY, ABSTRACT NO. 504  
CITY OF SHERMAN  
GRAYSON COUNTY, TEXAS  
CANTEX CAPITAL  
107 PITTSBURG STREET  
DALLAS, TEXAS 75207

**ALTA/NSPS LAND TITLE SURVEY**  
**3.996 ACRES**

Date : 03/02/26  
Scale : 1:40  
File : 96006-ALTA  
Project No. : 96006.00

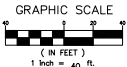
**SHEET**  
1 of 1

## **Project Narrative - SRS Distribution**

- SRS Distribution, is a reputable building supply company providing services throughout 800+ locations <https://www.srsdistribution.com/en/>
- Operating Hours – in general SRS will be open to Clients, Monday through Friday 7am-4:30pm or a slight variation of that time frame depending on the branch (if any one-off pickups are scheduled for Saturdays)
- Foot Traffic – SRS is technically “open to the public” but the average person does not buy material at this volume for odd jobs. Each branch has +/- 10 Employees
- Product – roofing materials, shingles, roof decking, vinyl siding, etc.
- Outdoor Storage – roofing materials would be stacked lower than the perimeter fencing, due to weight likely 2 pallets high – per image below



- 
- Straight Trucks, Boom Trucks, and Fork Lifts will be operating at the loading doors and in the yard to move product to service clients – per image above
- The clients are all Contractors who will be arriving to the location in Pick Up Trucks, Sprinter Vans, and Smaller Contractor Vehicles, roughly +/-20 a day
- Bulk product deliveries will be +/-5 Trucks Per Week, and will come on 40' Trucks which are 3rd party shippers transferring product from other branch locations. These deliveries occur during working hours.



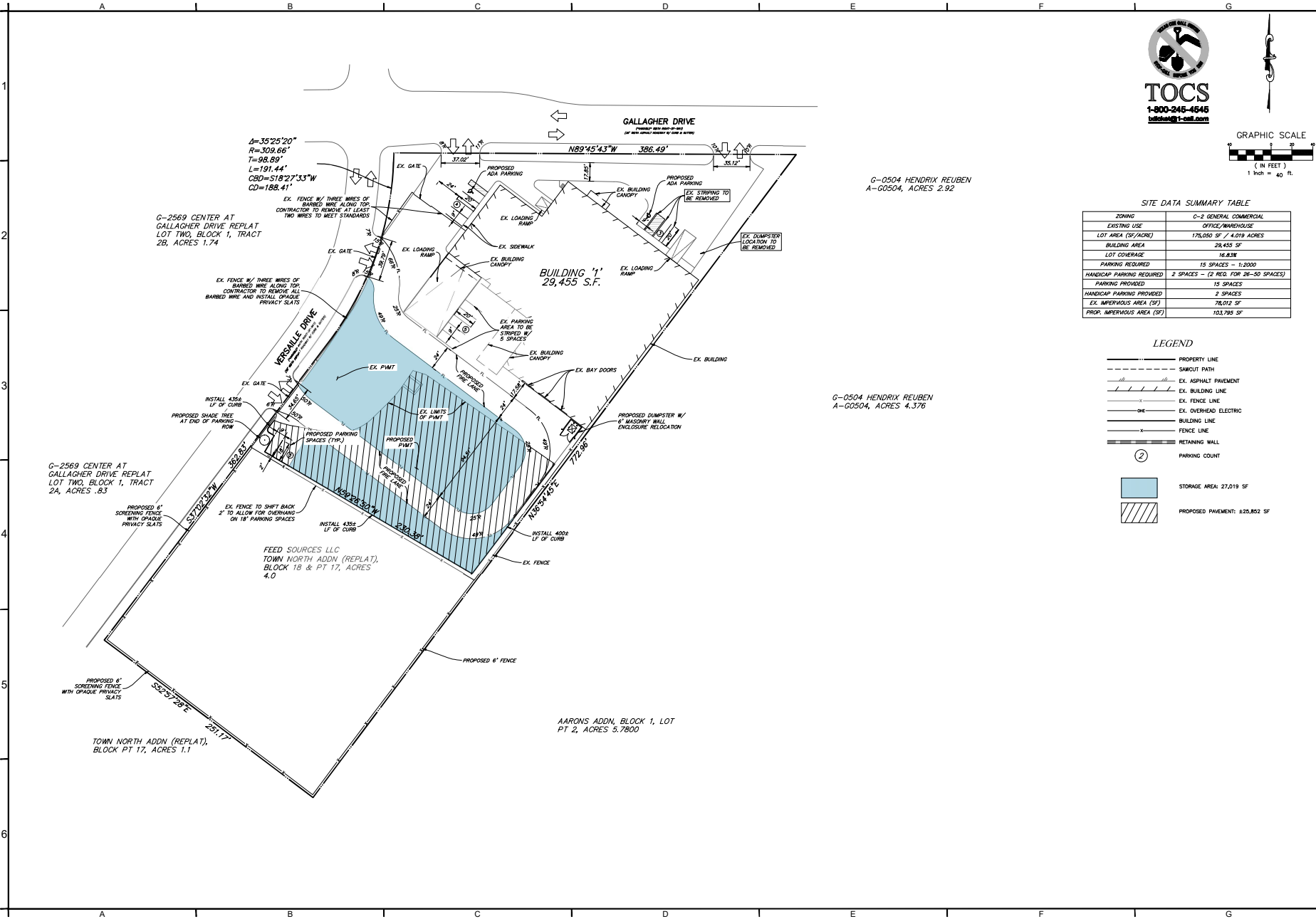
GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 40 ft.

SITE DATA SUMMARY TABLE

ZONING	C-2 GENERAL COMMERCIAL
EXISTING USE	OFFICE/WAREHOUSE
LOT AREA (SF/ACRE)	178,050 SF / 4.019 ACRES
BUILDING AREA	29,455 SF
LOT COVERAGE	16.53%
PARKING REQUIRED	15 SPACES - 1,200
HANDICAP PARKING REQUIRED	2 SPACES - (2 REQ. FOR 26-50 SPACES)
PARKING PROVIDED	15 SPACES
HANDICAP PARKING PROVIDED	2 SPACES
EX. IMPERVIOUS AREA (SF)	78,012 SF
PROP. IMPERVIOUS AREA (SF)	103,795 SF

LEGEND

	PROPERTY LINE
	SHORTCUT PATH
	EX. ASPHALT PAVEMENT
	EX. BUILDING LINE
	EX. FENCE LINE
	EX. OVERHEAD ELECTRIC
	BUILDING LINE
	FENCE LINE
	RETAINING WALL
	PARKING COUNT
	STORAGE AREA: 27,019 SF
	PROPOSED PAVEMENT: 125,852 SF



URBAN STRATEGY  
 4232 Main Street  
 Houston, TX 77021  
 TEL: 713.352.3339  
 WWW.URBANSTRATEGY.COM

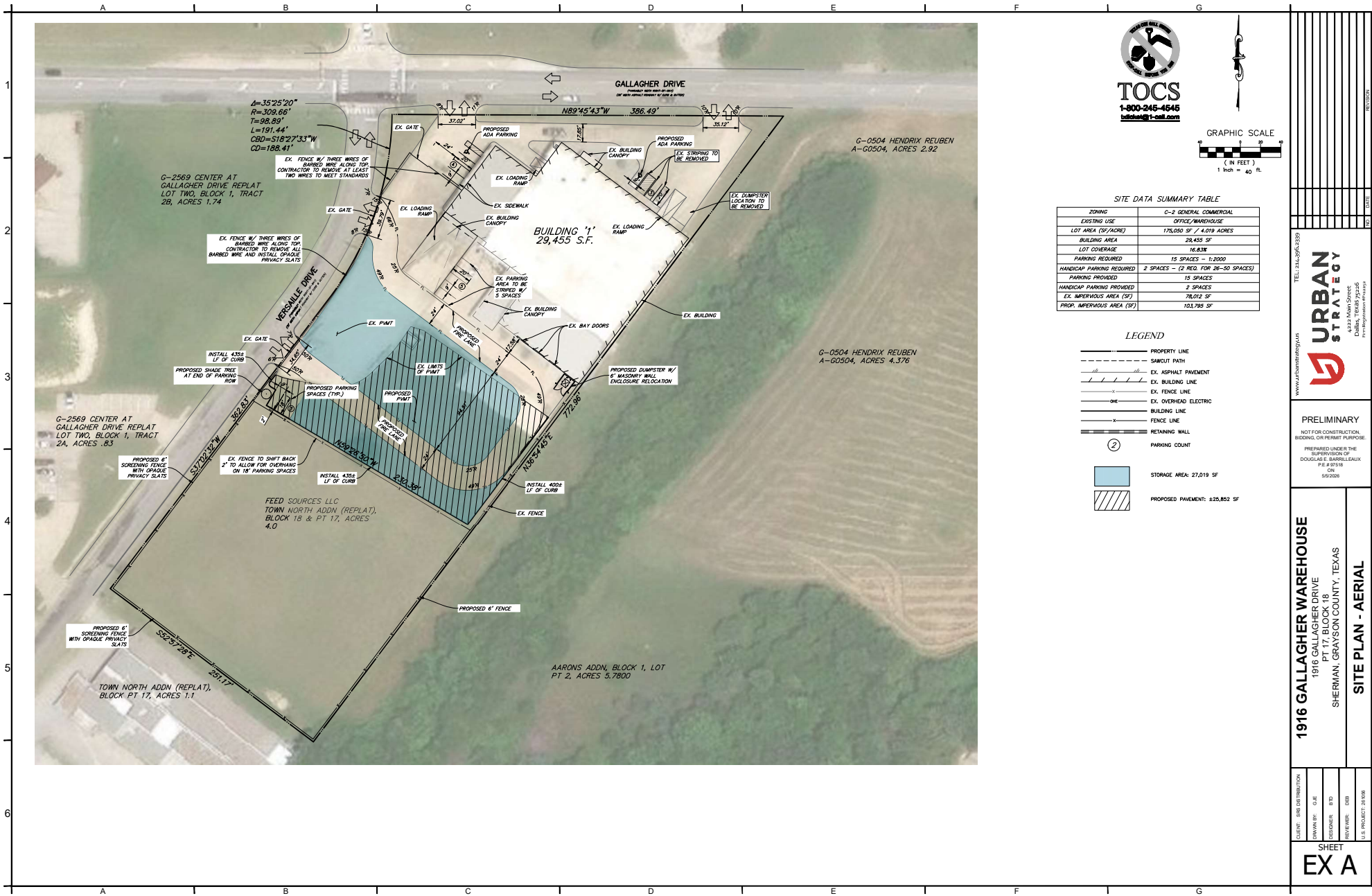
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 NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
 PREPARED UNDER THE SUPERVISION OF  
 DOUGLASE BARRELL/EAUX  
 P.E. #97518  
 ON 5/5/2026

1916 GALLAGHER WAREHOUSE  
 1916 GALLAGHER DRIVE  
 PT 17, BLOCK 18  
 SHERMAN, GRAYSON COUNTY, TEXAS

SITE PLAN

CLIENT: SRS DISTRIBUTION  
 DRAWN BY: CBE  
 CHECKED BY: BTD  
 REVIEWED BY: BOB  
 U.S. PROJECT: 28.006

SHEET  
**EX A**



**SITE DATA SUMMARY TABLE**

ZONING	G-2 GENERAL COMMERCIAL
EXISTING USE	OFFICE/WAREHOUSE
LOT AREA (SF/ACRES)	178,050 SF / 4.019 ACRES
BUILDING AREA	29,455 SF
LOT COVERAGE	16.53%
PARKING REQUIRED	15 SPACES - 1,200
HANDICAP PARKING REQUIRED	2 SPACES - (2 REQ. FOR 26-50 SPACES)
PARKING PROVIDED	15 SPACES
HANDICAP PARKING PROVIDED	2 SPACES
EX. IMPERVIOUS AREA (SF)	78,012 SF
PROP. IMPERVIOUS AREA (SF)	103,795 SF

- LEGEND**
- PROPERTY LINE
  - SHOROT PATH
  - EX. ASPHALT PAVEMENT
  - EX. BUILDING LINE
  - EX. FENCE LINE
  - EX. OVERHEAD ELECTRIC
  - BUILDING LINE
  - FENCE LINE
  - RETAINING WALL
  - PARKING COUNT
  - STORAGE AREA: 27,019 SF
  - PROPOSED PAVEMENT: 125,852 SF

TEL: 714.362.3235

**URBAN STRATEGY**  
4232 Main Street  
Plymouth, MA 01959

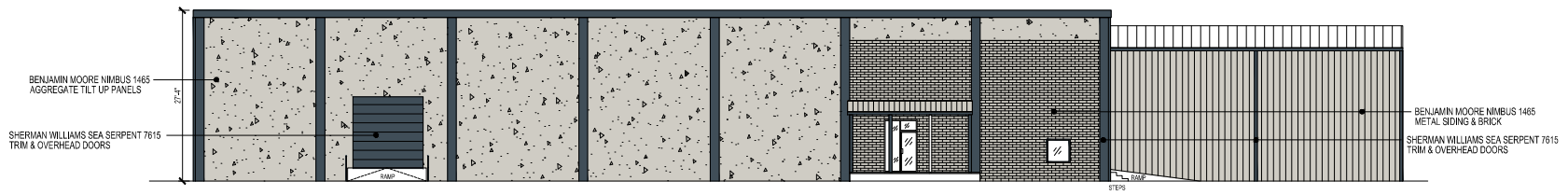
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NOT FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.  
PREPARED UNDER THE SUPERVISION OF DOUGLASE BARRELL/EAUX  
P.E. #9518  
ON 5/5/2026

**1916 GALLAGHER WAREHOUSE**  
1916 GALLAGHER DRIVE  
PT 17, BLOCK 18  
SHERMAN, GRAYSON COUNTY, TEXAS

**SITE PLAN - AERIAL**

SHEET  
**EX A**

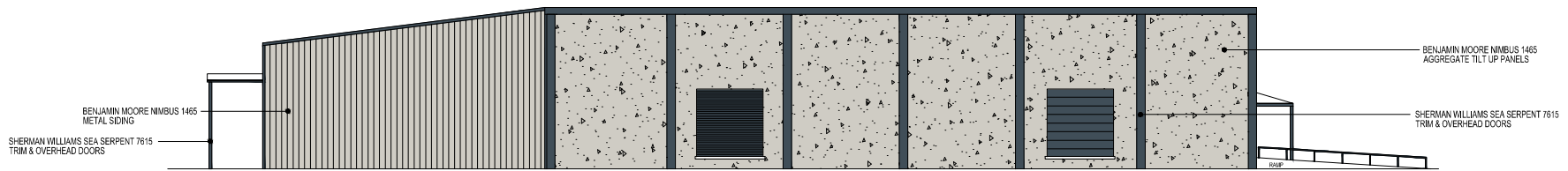
CLIENT: SRS DISTRIBUTION  
DRAWN BY: GBE  
CHECKED BY: BTD  
REVISED BY: GBE  
U.S. PROJECT: 28106



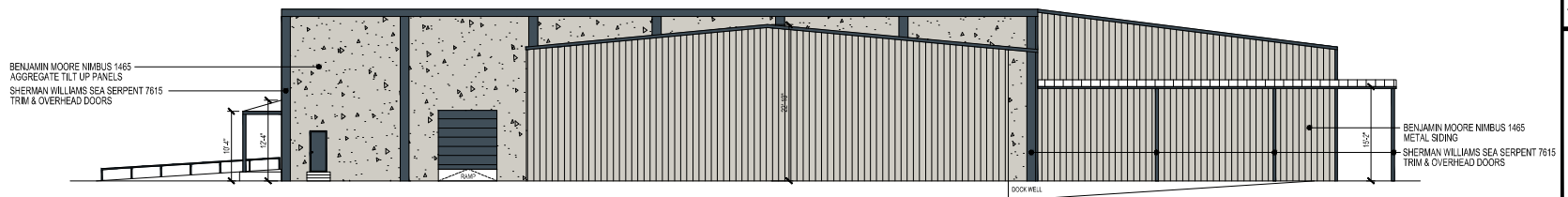
NORTH ELEVATION



SOUTH ELEVATION






EAST ELEVATION



WEST ELEVATION

LEGEND

	WALLS - BENJAMIN MOORE NIMBUS 1465
	TRIM - SHERMAN WILLIAMS SEA SERPENT 7615
	OVERHEAD DOOR - SHERMAN WILLIAMS SEA SERPENT 7615

CLIENT:

PROJECT:  
1916 GALLAGHER DRIVE  
SHERMAN, TEXAS

PROJECT:

TITLE:  
ELEVATIONS

SCALE: 1/8" = 1'-0"  
(when printed on 30x42 paper)

DATE: 3/30/26

REVISION: 1

SHEET:

A-1

**STAFF REVIEW LETTER**

May 13, 2026

Sent via email

Shierly Ucol  
107 Pittsburg St.  
Dallas, TX 75207

Dear Applicants,

The request of a Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Contractors or construction offices, equipment sales, service, rental and repair, with outdoor storage in a C-2 (General Commercial) District at 1916 Gallagher Drive has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, May 19, 2026, at 5:00 P.M., in the City Council Chambers at 220 W. Mulberry.

City staff has reviewed your request, and the following items need to be noted/addressed:

**Zoning:**

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including, but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Fire access, lanes and codes shall be coordinated with the Fire Marshal.
3. Sign shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
4. Fence Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Sec. 14.04.004*)
5. Outdoor storage of merchandise, equipment or materials, which is essential or incidental to the use and which is not on temporary display for the purpose of being immediately available for sale to the public at-large, shall be screened from all public thoroughfares and abutting uses. Stored merchandise shall not exceed the height of the screening device.
6. The use of the property must comply with all Federal and State Laws and Regulations and with all the Ordinances, Rules and Regulations of the City of Sherman.
7. The property must be properly maintained in a state of good repair and neat appearance.
8. The granting of the Specific Use Permit has no effect on the uses permitted as of right and does not waive the regulations of the underlying zoning district.
9. Route all truck traffic via the Versailles Drive entrance/exit, not Gallagher Drive.
  - a. The site plan must clearly show circulation for trucks (delivery entrance/exit) versus regular vehicles (customers/employees).
10. Outdoor storage must be fully screened from adjacent properties and not visible from any street or right-of-way.
11. It shall be unlawful for any person to build or erect any barbed wire fence consisting of one (1) or more wires with barbs on them on, along or adjoining any public street, alley, or grounds within the city, or to lay any such wire or barbs on or along the top of any wooden or other fence adjoining any such street, alley, or grounds in the city, such fences being regarded as dangerous to the traveling public. (*Sec. 14.04.004(d)(6)*)
  - a. Remove the three-strand barbed wire.
12. Parking must adhere to Sections 14.04.003
  - a. A tabulation must be provided showing the following to confirm minimum parking requirements are met:
    - i. Square feet of office area
    - ii. Square feet warehouse area

1. One parking space must be provided for every 400 square feet of office area.
2. One parking space must be provided for every 1000 square feet of warehouse area up to 20000 square feet of warehouse area
3. One parking space must be provided for every 2000 square feet over 20000.
  - a. The tabulation provided does not provide sufficient information and does not indicate sufficient parking for this use.
  - b. A minimum of one (1) shade tree shall be planted in all required landscape islands. A landscaped island is provided for every twelve (12) parking stalls in a row. (Sec. 14.04.006(d)(2)(A))
13. A Specific Use Permit is an amendment to the district regulations of the Zoning Ordinance that permits the establishment of a specific use within a zoning district in which such specific use may be established unless such use of land or structure is discontinued or abandoned for a period of thirty (30) consecutive days in which event such Specific Use Permit shall be void and such use may not thereafter be resumed unless a new Specific Use Permit is granted in accordance with this section. (Sec. 14.06.009(a)(1)(C))
14. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.
15. Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission.

#### Engineering

16. Replatting of the property is required within 90 days of Specific Use Permit approval from City Council. *Code of Ordinances Chapter 10.01.005; Texas Local Government Code Title 1, Sec. 212.004*
17. New drive approaches and sidewalks shall conform to City of Sherman standards and a permit with drawing showing dimensions is required from City of Sherman Engineering Department for review and approval prior to any work being done within public right of way. *Code of Ordinances Chapter 3, Division 5, Sec. 3.10.154; 10.03.003(h); Engineering Design Standards Manual 2.5*

#### Solid Waste Services

18. Solid Waste enclosures and services shall adhere to Article 13.06 of the City of Sherman's Utility Ordinance and Section 14.04.004(d)(4) of the City of Sherman's Zoning Ordinance.

#### Additional Comments

19. Semi-truck and delivery trucks shall use Texoma parkway and not Loy Lake Road for the operation of this business, including, but not limited to shipments and deliveries.
20. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded in the event that a person or entity other than SRS Distribution is the owner or lessee of the Property.
21. A street perimeter landscaped buffer is required along Versailles Drive. (Sec. 14.04.006(d)(e))

It is the policy of the Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, contact Development Services by emailing [planning@cityofsherman.com](mailto:planning@cityofsherman.com) prior to the meeting.

Respectfully,



Rob Rae  
Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager  
Clint Philpott, Asst. City Manager  
Wayne Lee, P.E., Director of Engineering  
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney  
Steven Davis, Fire Marshal  
Amber Doan, Engineering Coordinator  
Tom Pruitt, Utility Engineer



**Planning & Zoning Commission Development Services**

Agenda Item No. 18.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**223 WEST PELTON STREET (Project No. 000367-2026)**

The request of Alka Ventures LLC (Owner), Danielle Moore (Applicant), and CBG Surveying Texas LLC (Surveyor) concerning the property located at 223 West Pelton, consisting of 0.22 acres in the J.B. McAnair Survey, Abstract No. 763, as follows:

***Board of Adjustment***

A. Public Hearing and Variance under Section 14.02.009 to allow a lot width of 67.30' in lieu of the required 80'.

***Planning and Zoning Commission***

B. Public Hearing and Zone Change from R-6 (Single-Family Residential) District to R-2F (Duplex Residential) District.

**Background:**

The property is located at 223 West Pelton Street. The owner is requesting a Variance to allow a lot width of 67.30' in lieu of the required 80' and a Zone Change from R-6 (Single Family Residential) District to R-2F (Duplex Residential) District.

**Origination:**

The request of Alka Ventures LLC (Owner), Danielle Moore (Applicant), and CBG Surveying Texas LLC (Surveyor).

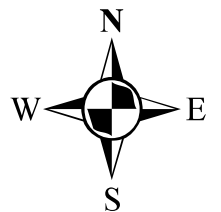
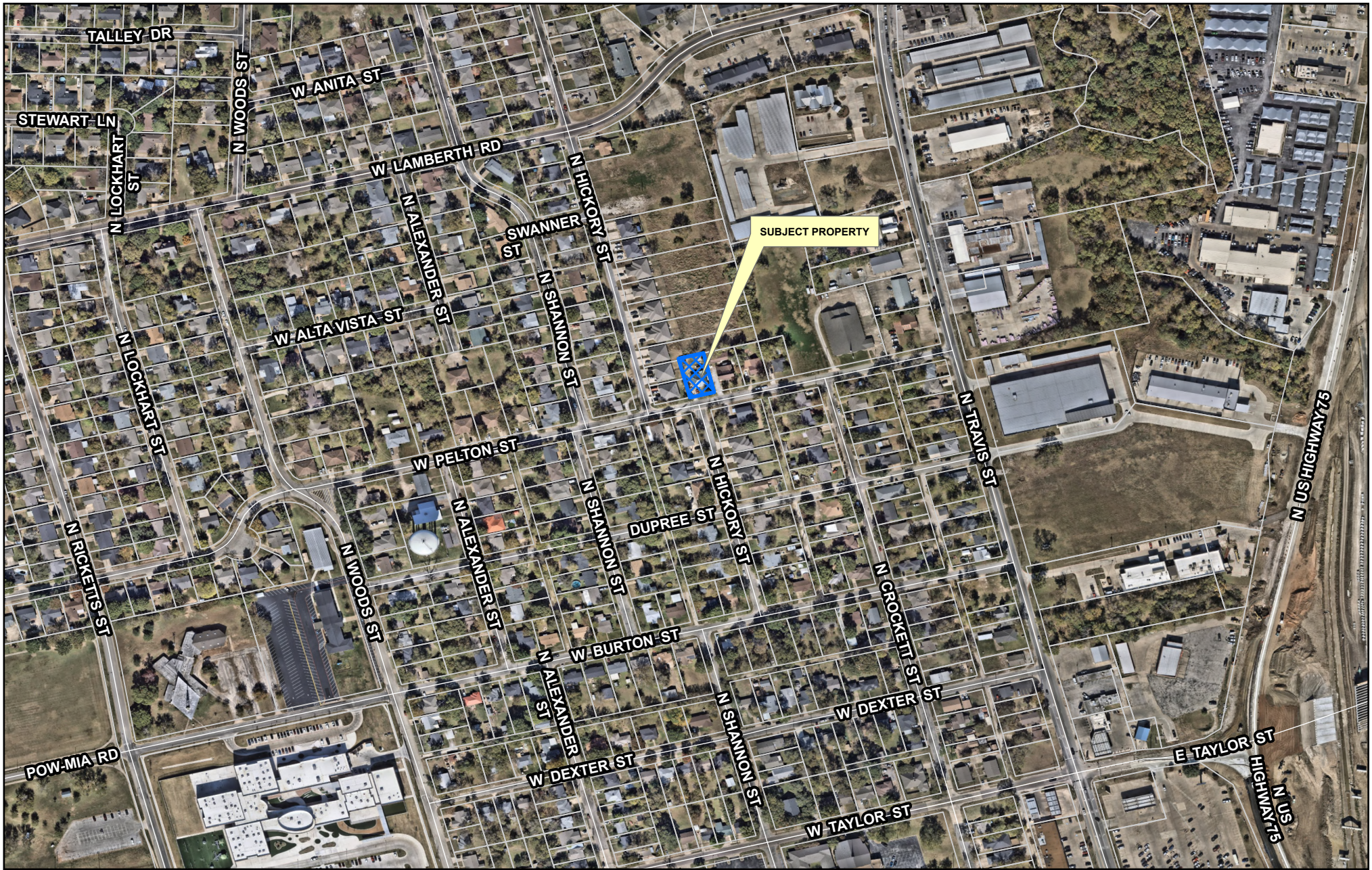
**Staff Recommendation:**

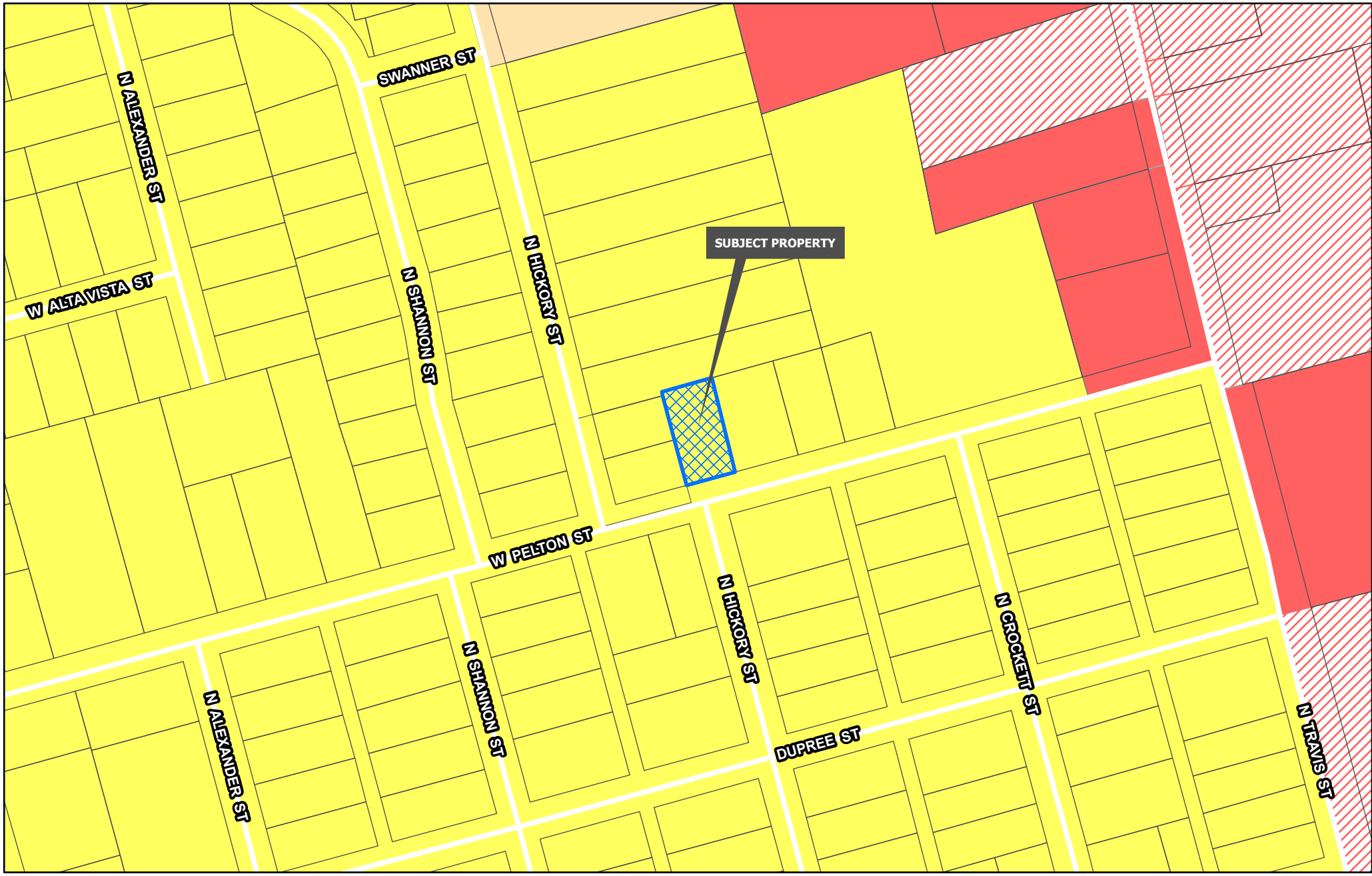
Staff recommends that the Board of Adjustment deny the variance request, and P&Z deny the zoning request. The City Council recently approved the R-2F district regulation change to increase the minimum lot width from 60' to 80'.

---

**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Property Notification Sign
5. Survey
6. Site Plan
7. Elevation





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN  
ZONING MAP  
223 W PELTON ST**



**CORE NEIGHBORHOOD**

**Intent & Character**

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

**Appropriate Land Use Types**

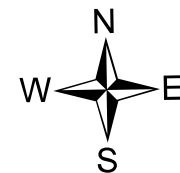
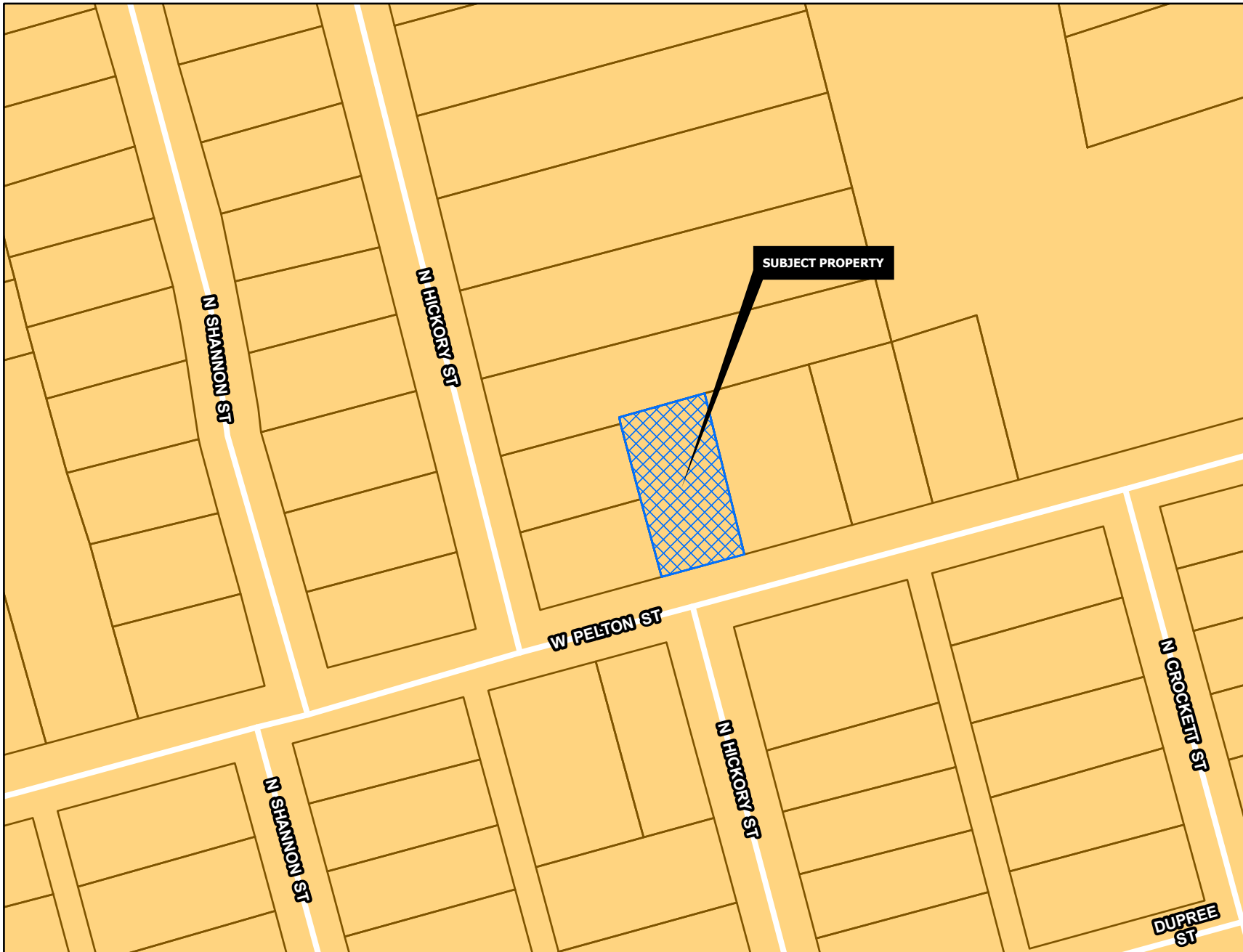
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

**Compatible Zoning Districts**

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

**Considerations**

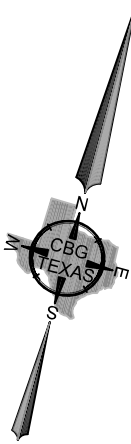
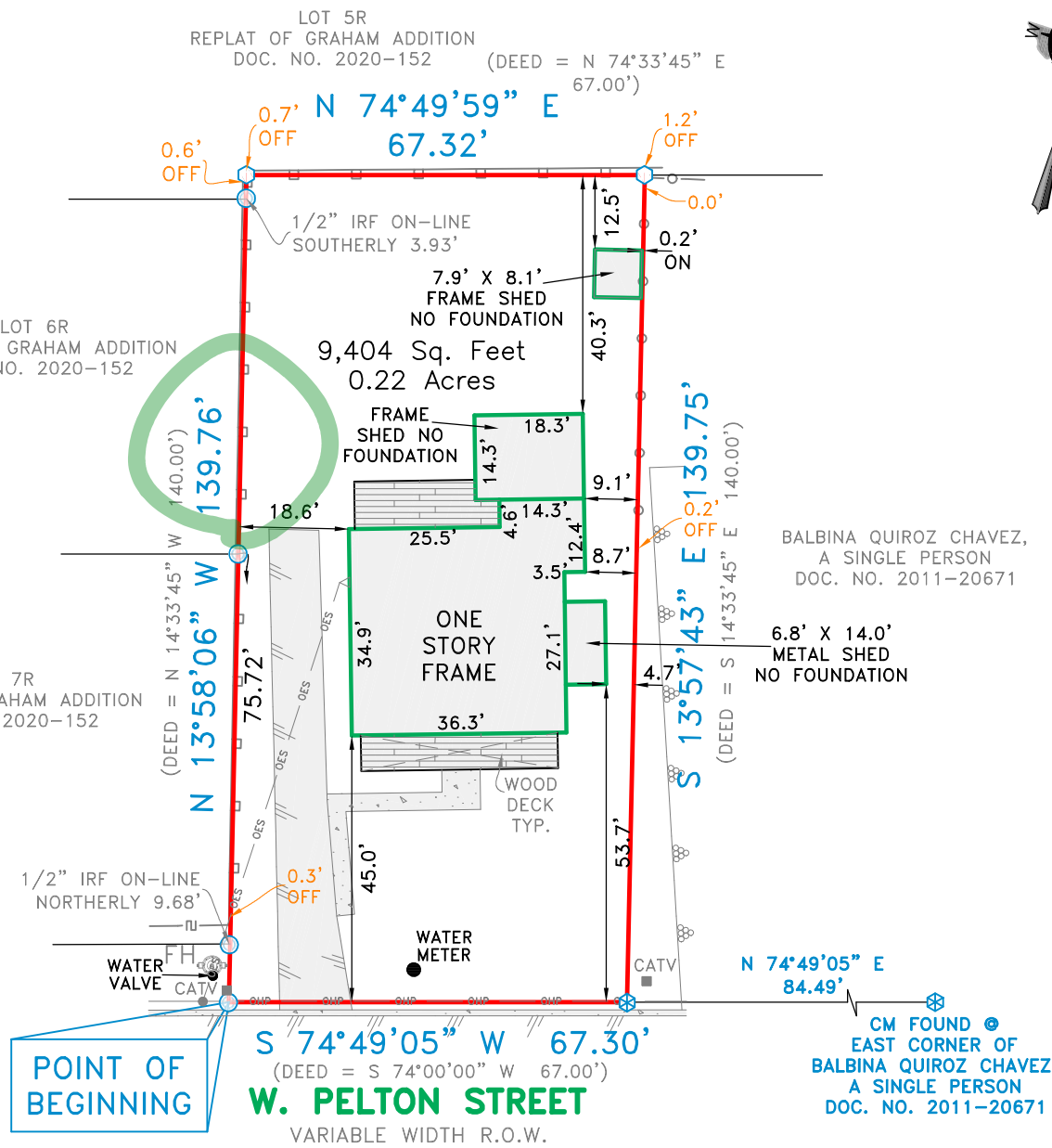
- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.





**LEGEND**

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 1" PIPE FOUND
- ⊗ "X" FOUND/SET
- ⊕ POINT FOR CORNER
- ⊗ 1/2" PIPE FOUND
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- T TRANSFORMER PAD
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- COLUMN
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- POWER POLE
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- DOUBLE SIDED WOOD FENCE
- I— IRON FENCE
- X — BARBED WIRE
- E— EDGE OF ASPHALT
- G— EDGE OF GRAVEL
- STONE
- CONCRETE
- COVERED AREA
- BRICK



**223 W. Pelton Street**

Being a tract of land situated in the J.B. McAnair Survey, Abstract No. 763, Grayson County, Texas, same being that tract of land conveyed to Ronald S. Green and wife, Linda K. Green, by deed recorded in Volume 2129, Page 564, Deed Records of Grayson County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch Iron rod found for corner, said corner lying along the Northwest line of W. Pelton Street (variable width right-of-way), and being the South corner of herein described tract;

THENCE North 13 degrees 58 minutes 06 seconds West, departing said Northwest line of W. Pelton Street, passing at a distance of 9.68 feet to a 1/2 inch iron rod found at the East corner of Lot 7R of the Replat of Graham Addition, an addition to the City of Sherman, Texas, as shown by plat or record in Document No. 2020-152, Plat Records of Grayson County, Texas, continuing at a distance of 75.72 feet to a 1/2 inch iron rod found at the North corner of said Lot 7R and East corner of Lot 6R of Replat of Graham Addition, and continuing a total distance of 139.76 feet to a 1 Inch Iron pipe found for corner, said corner being an inside "ell" corner of Lot 5R of Replat of Graham Addition, from which a 1/2 inch iron rod found on-line bears in a Southerly direction at a distance of 3.93 feet, at the North corner of said Lot 6R of Replat of Graham Addition;

THENCE North 74 degrees 49 minutes 59 seconds East, along a Southeast line of said Lot 5R of Replat of Graham Addition, a distance of 67.32 feet to a 1 Inch Iron pipe found for corner, said corner being the West corner of that tract of land conveyed to Balbina Quiroz Chavez, a single person, by deed recorded in Document No. 2011-20671, Official Public Records of Grayson County, Texas;

THENCE South 13 degrees 57 minutes 43 seconds East, along the Southwest line of said Chavez tract, a distance of 139.75 feet to a 1/2 inch Iron pipe found for corner, said corner being the South corner of said Chavez tract, and lying along the aforementioned Northwest line of W. Pelton Street;

THENCE South 74 degrees 49 minutes 05 seconds West, along said Northwest line of W. Pelton Street, a distance of 67.30 feet to the POINT OF BEGINNING and containing 9,404 square feet or 0.22 acres of land.

**SURVEYOR'S CERTIFICATE**

The undersigned Registered Professional Land Surveyor hereby certifies to Alka Ventures LLC, a Texas Limited Liability Company and Spartan Title Company, in connection with the transaction described in G.F. No. 25-5320 that, (a) this survey and the property description set forth hereon were prepared from an actual on-the-ground survey; (b) such survey was conducted by the Surveyor, or under his direction; (c) all monuments shown hereon actually existed on the date of the survey, and the location, size and type of material thereof are correctly shown; Use of this survey by any other parties and/or for other purposes shall be at User's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, all improvements are located within the boundaries the distances indicated and there are no visible and apparent encroachments or protrusions on the ground.

Executed this 12th day of November, 2025

*(Signature)*  
Registered Professional Land Surveyor



**EXCEPTIONS:**

NOTE: BEARINGS SHOWN ARE BASED ON NAD 83 TEXAS NORTH CENTRAL ZONE

**NOTES:**  
EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

**FLOOD NOTE:** According to the F.I.R.M. No. 48181C0290G, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

Drawn By: MARIA

Scale: 1" = 30'

Date: 11/12/2025

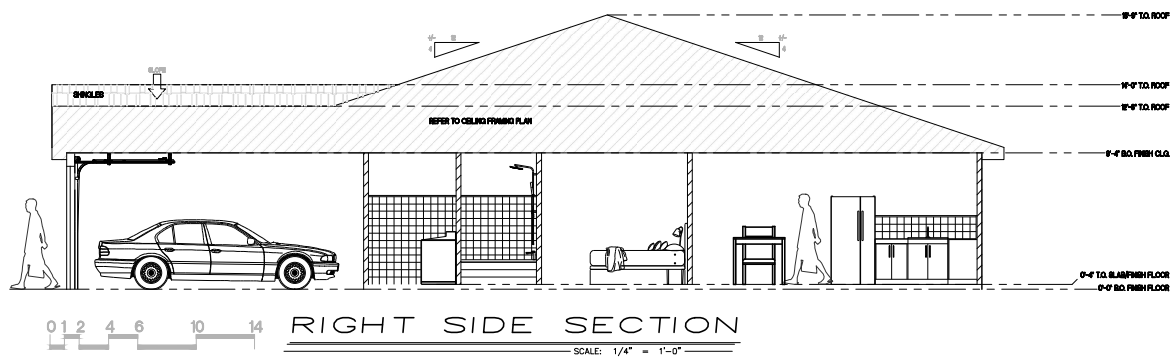
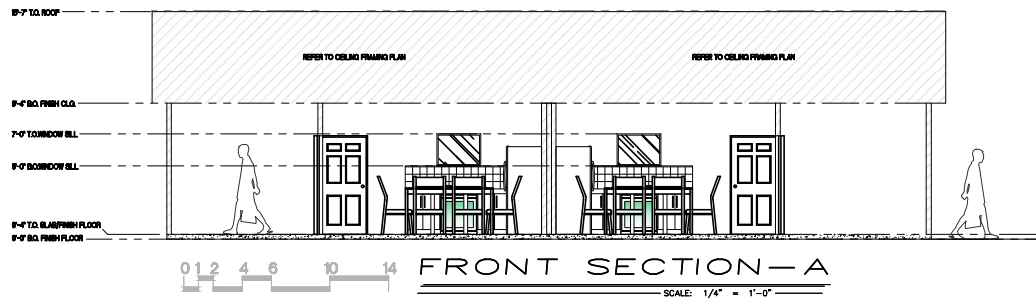
**CBG**  
SURVEYING TEXAS LLC

1413 E. IH-30, Ste. 7  
Garland, TX 75043  
P 214.349.9485  
F 214.349.2216  
Firm No. 10168800  
www.cbgtllc.com

Date: \_\_\_\_\_ Accepted by: \_\_\_\_\_  
Purchaser  
Purchaser



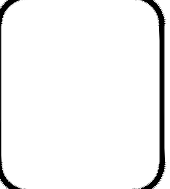




VERIFY ALL DIMENSIONS  
PRIOR TO CONSTRUCTION

**GREENWORKS**  
INSPECTIONS | ENGINEERING | ENVIRONMENTAL  
CONCRETE AT YOUR SERVICE  
3626 N. Hall Street, Suite 610-C91  
Dallas, Texas 75219  
(822) 246-6272

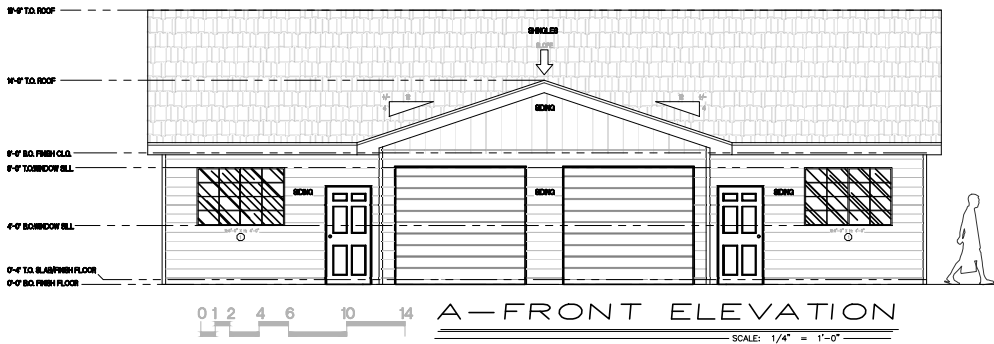
Texas Eng. Firm : 20170



PROPOSED DUPLEX RESIDENCE  
223 W PELTON ST  
SHERMAN, TEXAS, 75092

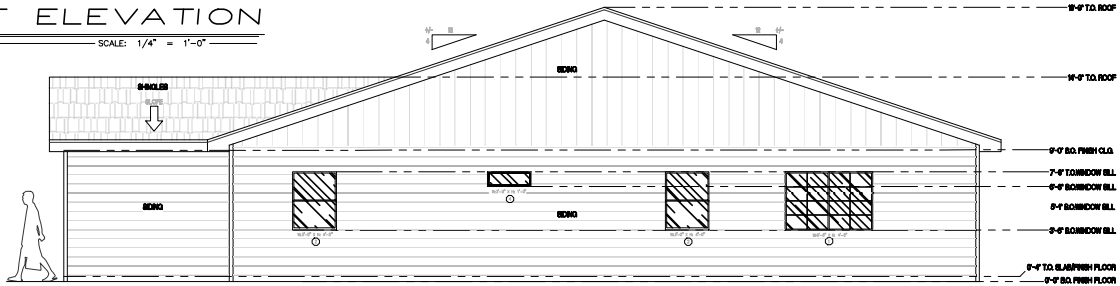
DESIGN BY:	CLIENT
DRAWN BY:	LA
DATE:	03/04/2028
REVISION:	DATE:
REVISION-1	2/13/28
REVISION-2	3/02/28
REVISION-3	3/04/28

SHEET No.  
**A4**  
5 OF 7  
PROJECT No.  
**218105**



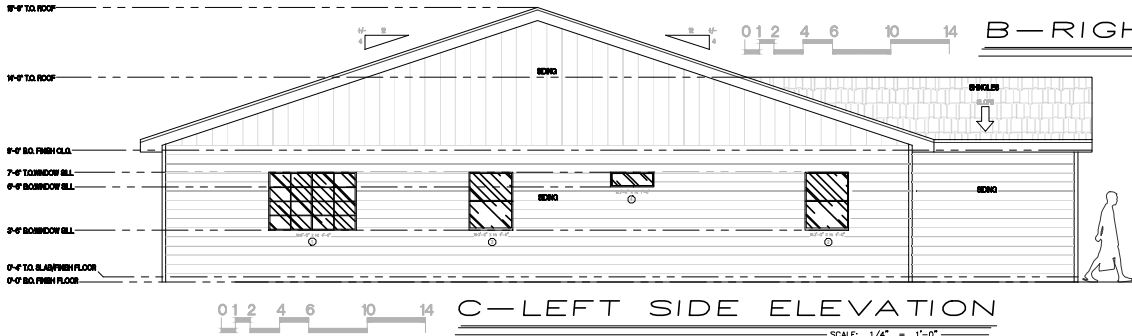
A—FRONT ELEVATION

SCALE: 1/4" = 1'-0"



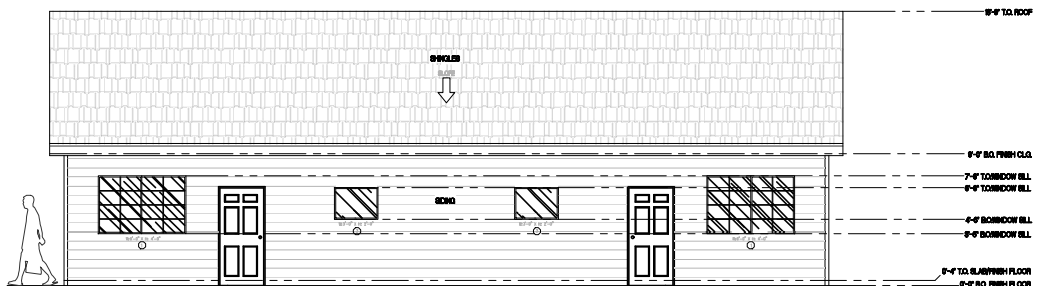
B—RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



C—LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



D—REAR ELEVATION

SCALE: 1/4" = 1'-0"

VERIFY ALL DIMENSIONS  
PRIOR TO CONSTRUCTION

PROPOSED DUPLEX RESIDENCE  
223 W PELTON ST  
SHERMAN, TEXAS, 75092

DESIGN BY:	CLIENT
DRAWN BY:	LA
DATE:	03/04/2028
REVISION:	DATE:
REVISION-1	2/13/28
REVISION-2	3/02/28
REVISION-3	3/04/28

SHEET No.  
**A5**  
6 OF 7  
PROJECT No.  
218105



**Planning & Zoning Commission Development Services**

Agenda Item No. 19.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**300-1200 BLOCKS WEST HIGHWAY 82 (Project No. 000369-2026)**

The request of AJH Enterprises LTD (Owner), Bryan Weisgerber (Applicant), and Underwood Drafting & Surveying (Surveyor), concerning the property located in the 300-1200 Blocks West Highway 82, consisting of 14.384 acres, being Lot 1, Block N, in the J.B. McAnair Survey, Abstract No. 763, as follows:

***Planning and Zoning Commission***

Public Hearing and Zone Change from R-6 (Single Family Residential) District/75 & 82 Overlay District to C-1 (Retail Business) District/75 & 82 Overlay District

**Background:**

The property is located in the 300-1200 Blocks West Highway 82. The owner is requesting a Zone Change from R-6 (Single Family Residential) District/75 & 82 Overlay District to C-1 (Retail Business) District/75 & 82 Overlay District.

The following has been approved at this location:

- 08/19/2025 - Final Plat for the Hills of Sherman.
- 06/18/2024 - Public Hearing and Temporary Use Permit under Section 14.06.008 to allow a concrete batch plant in a R-6 (Single-Family Residential) District, MF-30 (Multi-Family Residential) District and R-5 (Single-Family Residential) District. (90 Days from date Building Permit is pulled).
- 06/21/2022- Preliminary Plat of The Hills of Sherman.

**Origination:**

The request of AJH Enterprises LTD (Owner), Bryan Weisgerber (Applicant), and Underwood Drafting & Surveying (Surveyor).

**Staff Recommendation:**

Staff has no objection to the approval of this item.

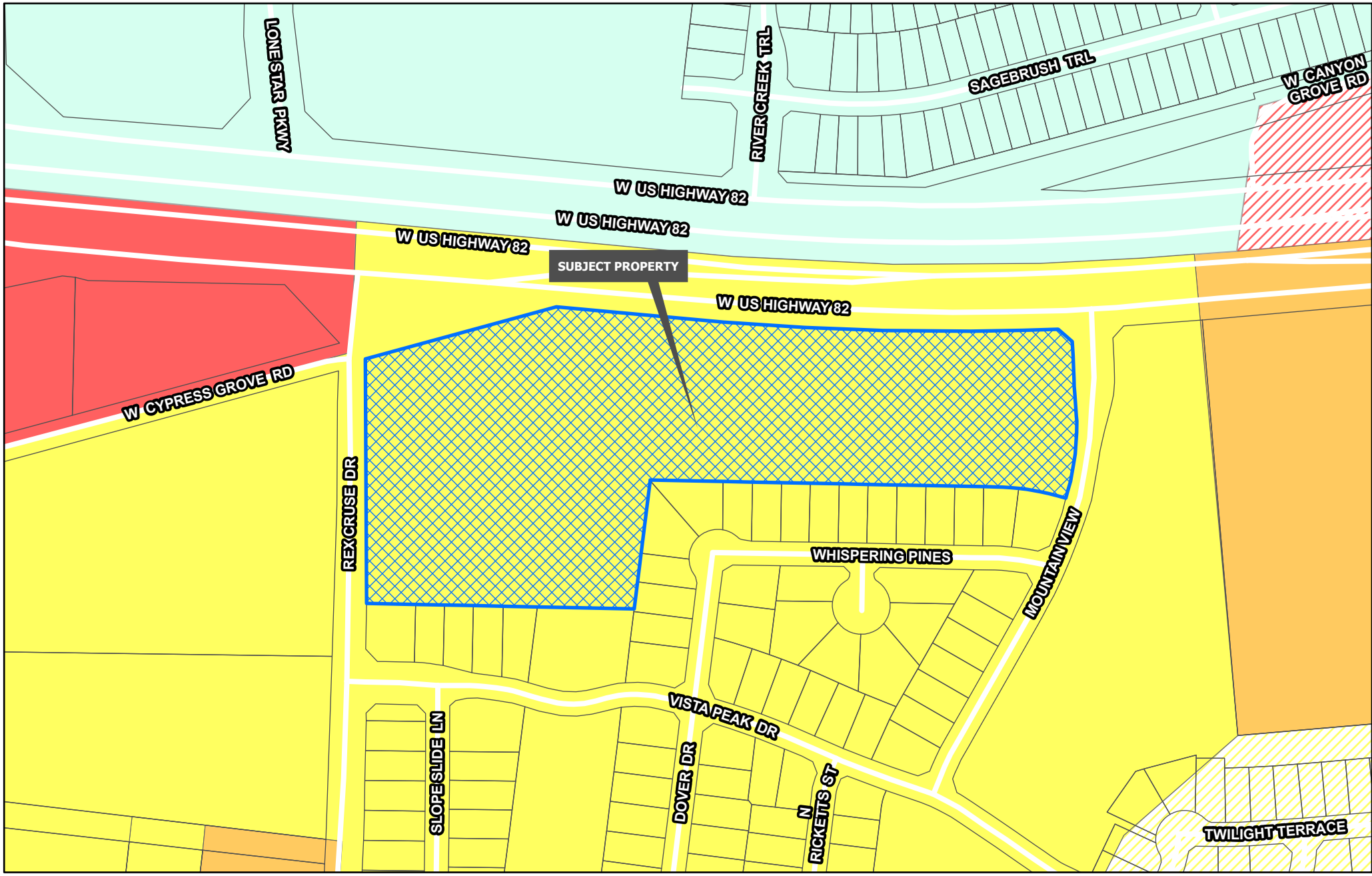
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**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Property Notification Sign
5. Survey
6. Project Narrative

7. Zoning Exhibit





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN**  
**ZONING MAP**  
**300-1200 BLKS W HWY 82**



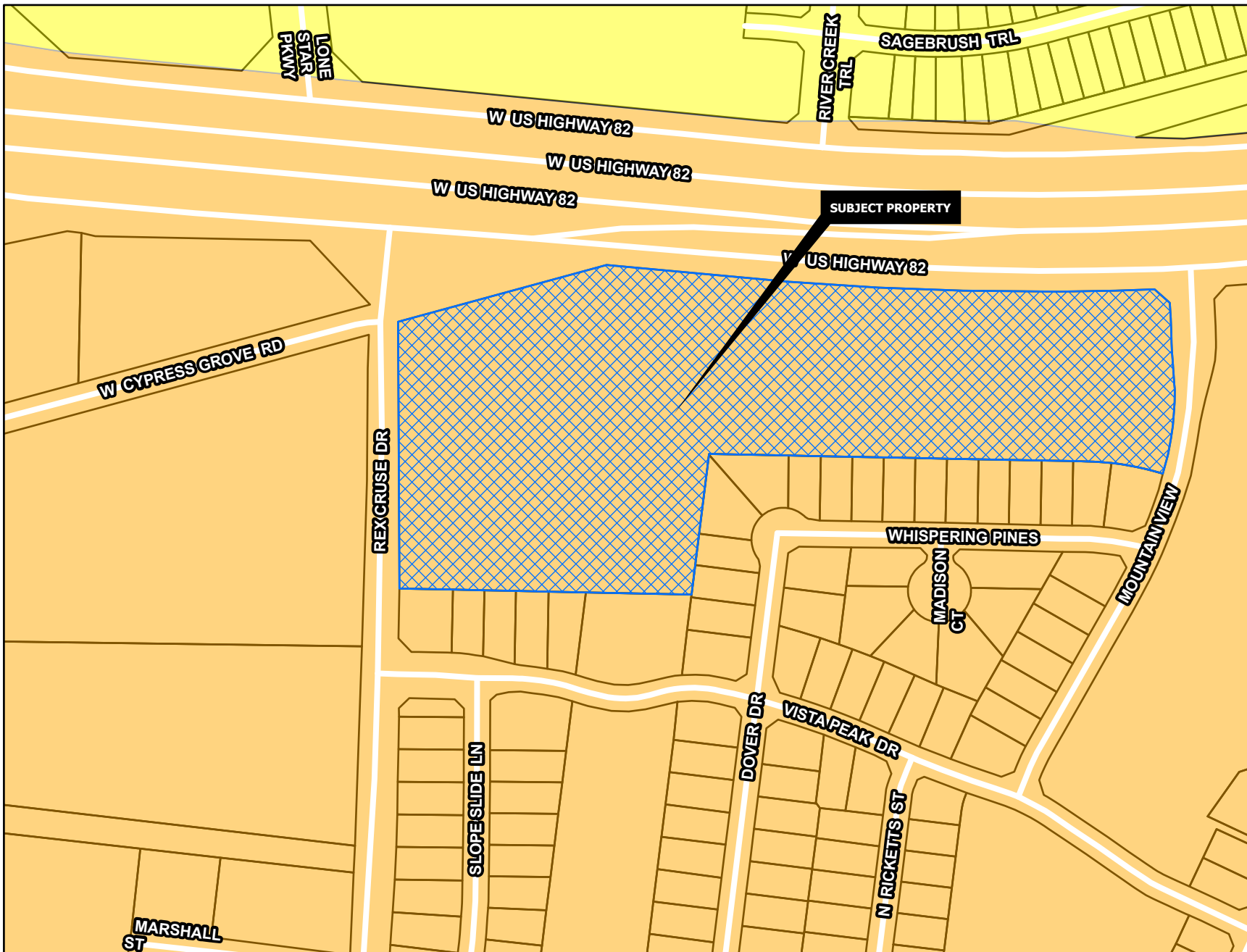
**CORE NEIGHBORHOOD**

**Intent & Character**  
 The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

- Appropriate Land Use Types**
- Single-family detached
  - Single-family attached
  - Local/neighborhood commercial and office
  - Parks and open space
  - Schools and civic uses

- Compatible Zoning Districts**
- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
  - Multi-Family Residential (MF-15 and MF-30)
  - Manufactured Housing
  - Retail Business
  - Neighborhood Commercial

- Considerations**
- Infill that increases density should match the character of the surrounding structures.
  - Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



Agriculture/Rural	Core Neighborhood	Technology Hub
Airport	Downtown	Planning & Zoning
City Parkland	Regional Commercial	
Community Commercial	Suburban Neighborhood	

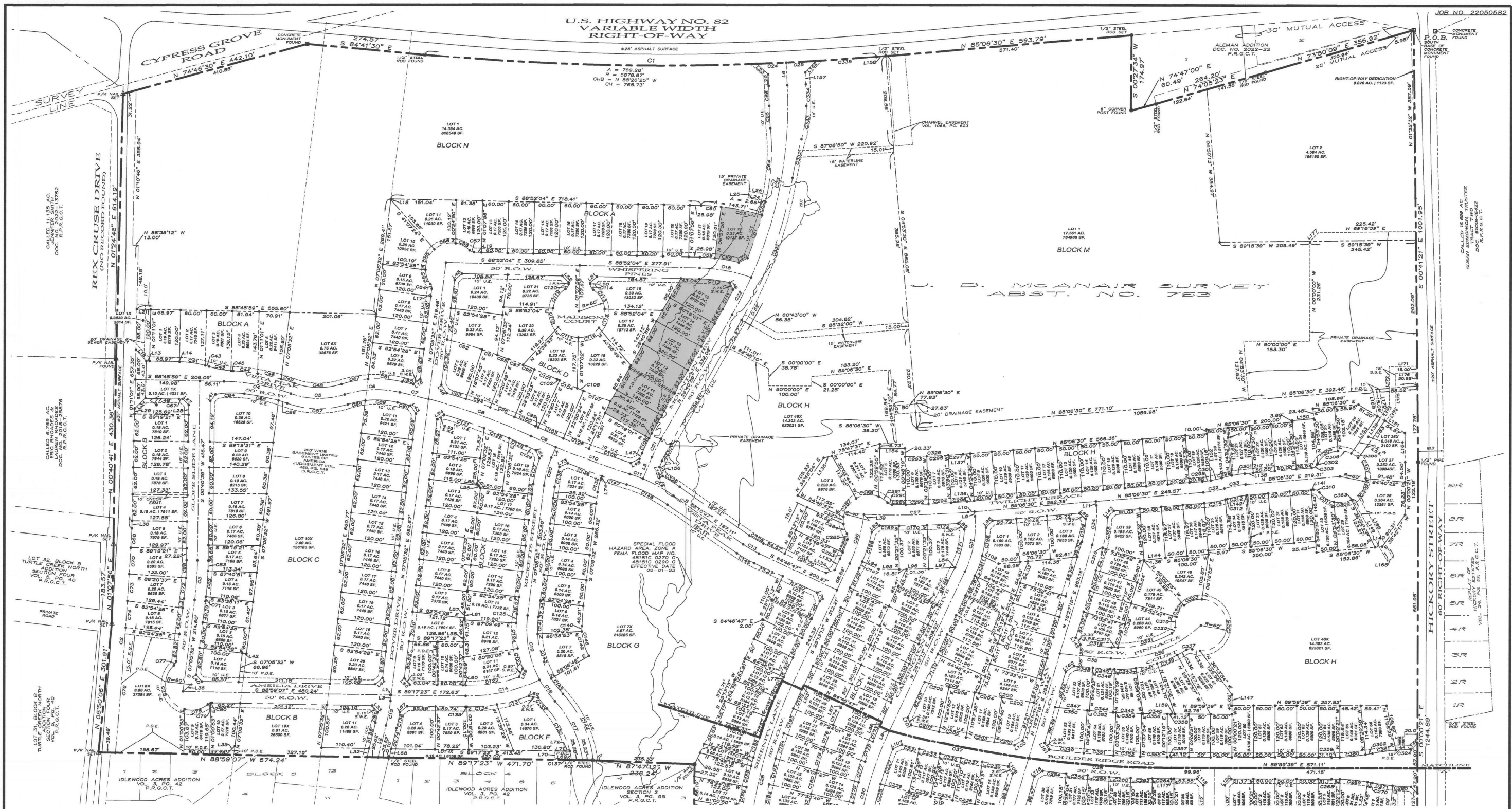
**CITY OF SHERMAN  
 FUTURE LANDUSE MAP  
 300-1200 BLKS W HWY 82**





*Sherman*  
NORTH CAROLINA  
**NOTICE OF  
PROPOSED ZONING  
CHANGE**  
PROJECT # 000369-2025  
Planning & Zoning Dept. FOR MORE INFORMATION  
CONTACT:  
DEVELOPMENT SERVICES  
910.492.1210

U.S. HIGHWAY NO. 82  
VARIABLE WIDTH  
RIGHT-OF-WAY

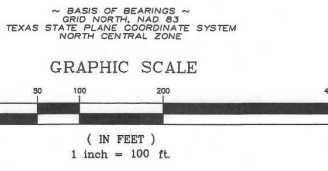


JOB NO. 2205052

22399

OWNERS/DEVELOPER  
AJH ENTERPRISES, LTD  
1400 SHADY HOLLOW COURT  
KELLER, TX 76248

SURVEYOR  
DOUGLAS W. UNDERWOOD  
R.P.L.S. NO. 4709  
3404 INTERURBAN ROAD  
DENISON, TEXAS



LEGEND

●	P.O.B. POINT OF BEGINNING
○	1/2" STEEL ROD SET
⊙	1/2" STEEL ROD FOUND
○	3/4" STEEL ROD FOUND
▲	P/K NAIL SET
▲	P/K NAIL FOUND
□	CONC. MON. FOUND
—	R.P.R.C.T. REAL PROPERTY RECORDS, GRAYSON COUNTY, TEXAS
—	P.L.S. PLAT RECORDS, GRAYSON COUNTY, TEXAS
—	P.D.E. PRIVATE DRAINAGE EASEMENT
—	S.S.E. SANITARY SEWER EASEMENT
—	D.E. DRAINAGE EASEMENT
—	U.E. UTILITY EASEMENT
—	— PROPERTY LINE
—	— EASEMENT LINE

SEE SHEET 3 FOR  
LINE/CURVE TABLE

UNDERWOOD  
DRAFTING & SURVEYING

3404 INTERURBAN ROAD DENISON, TEXAS 75021 (903)465-2151

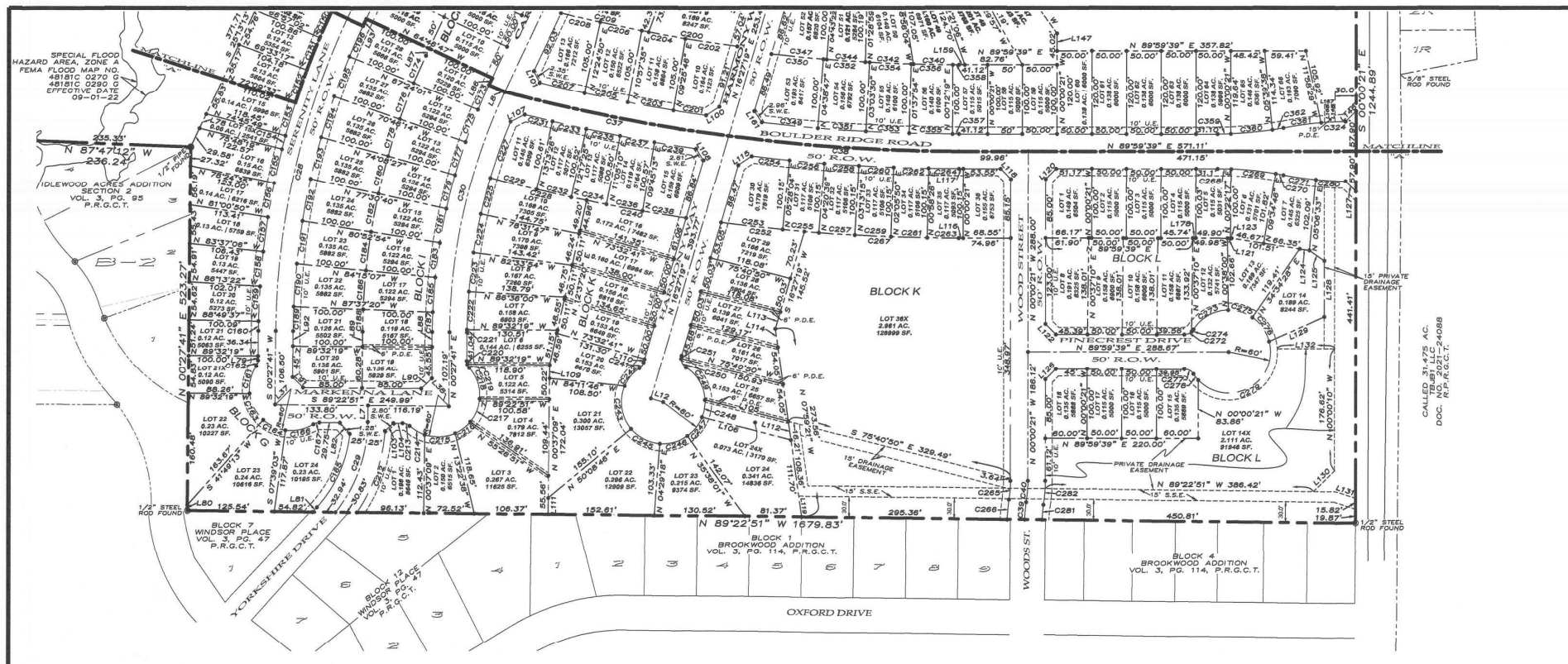
Filed for Record  
in the Official Records Of:  
Grayson County Clerk  
On: 9/26/2025 9:47:05 AM  
in the PLAT Records  
HILLS OF SHERMAN  
Doc Number: 2025-171  
Number of Pages: 3  
Amount: 106.00  
Order: 2025092600023  
By: CT



FINAL PLAT  
THE HILLS OF  
SHERMAN

Being a part of the J.B. MCANAIR  
Survey, Abstract Number 763. Being in  
the City of Sherman, Grayson County,  
Texas. Containing 133.14 acres of land

08/19/2025

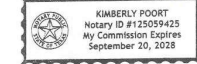


OWNER'S CERTIFICATE OF DEDICATION
THAT AJH ENTERPRISES, LTD, acting by and through its duly authorized agent does hereby adopt this plat designating the herein described real property as THE HILLS OF SHERMAN, an addition to the City of Sherman, Grayson County, Texas.

JEROME HILL
AJH ENTERPRISES, LTD

STATE OF TEXAS
COUNTY OF GRAYSON
BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared, JEROME HILL known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Kimberly Poort
Notary Public in and for the State of Texas
Commission Expires 9/20/28



SURVEYOR'S CERTIFICATION
KNOWN ALL MEN BY THESE PRESENTS:
That I, Douglas W. Underwood, Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments thereon were properly placed, under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

D Underwood
Douglas W. Underwood
Registered Professional Land Surveyor, No. 4709



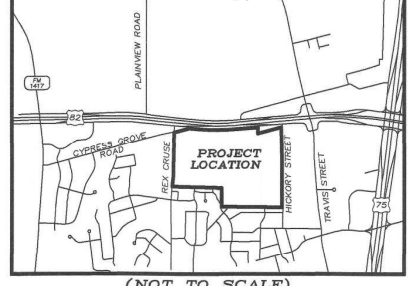
ACCEPTANCE
Approved this 19th day of August, 2025, by the City Planning and Zoning Commission of the City of Sherman, Texas.

LEGAL DESCRIPTION

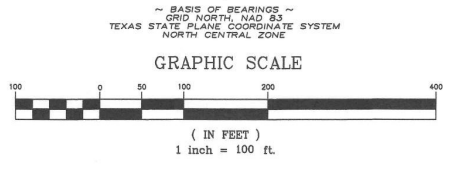
Situated in the County of Grayson, State of Texas, being a part of J.B. McAnair Survey, Abstract No. 763, and being all of a called 85.22 acre tract of land described in the deed to AJH Enterprises, LTD, recorded in Instrument No. 2021-31807, Official Public Records, Grayson County, Texas, and all of a called 48.07 acre tract of land described in the deed to AJH Enterprises, LTD, recorded in Instrument No. 2021-26738, said Official Public Records, and being described by metes and bounds as follows:

- Beginning at the south base of a found concrete monument;
Thence South 00°41'21" East, a distance of 1001.95 feet to a found 1/2" Iron pipe;
Thence South 00°00'21" East, a distance of 1244.89 feet to a found 1/2" steel rod;
Thence North 89°22'51" West, a distance of 1679.83 feet to a found 1/2" steel rod;
Thence North 00°27'41" East, a distance of 523.27 feet to a found 1/2" steel pipe;
Thence North 87°47'12" West, a distance of 236.24 feet to a found 1/2" steel rod;
Thence North 89°17'23" West, a distance of 471.70 feet to a found 1/2" steel rod;
Thence North 88°59'07" West, a distance of 674.24 feet to a previously set P/K nail;
Thence North 05°50'06" East, a distance of 301.91 feet to a previously set P/K nail;
Thence North 01°07'56" East, a distance of 183.57 feet to a previously set P/K nail;
Thence North 00°40'41" East, a distance of 430.36 feet to a found P/K nail;
Thence North 01°24'48" East, a distance of 614.19 feet to a previously set P/K nail;
Thence North 74°46'30" East, a distance of 442.10 feet to a concrete monument found;
Thence South 84°41'30" East, a distance of 274.57 feet to a previously set 1/2" steel rod;
Thence with a tangent curve to the left having a radius of 5878.87 feet, (chord bears South 89°47'30" East, a distance of 1045.20 feet) an arc length of 1046.58 feet to a previously set 1/2" steel rod;
Thence North 85°06'30" East, a distance of 593.79 feet to a set 1/2" steel rod;
Thence South 00°27'34" West, a distance of 174.97 feet to a found corner post;
Thence North 74°47'00" East, a distance of 60.49 feet to a found 1/2" steel rod;
Thence North 74°05'23" East, a distance of 264.20 feet to a found 1/2" steel rod;
Thence North 73°50'09" East, a distance of 356.92 feet to the Point of Beginning and containing 133.14 acres (5,709,506 square feet) of land, more or less.

LOCATION MAP



- GENERAL NOTES
1. Water Supply to be provided by the City of Sherman.
2. Sewer Service to be provided by the City of Sherman.
3. Electrical service is provided by Oncor Electrical Delivery.
4. Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the roadway is prohibited.
5. The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or drainage easements for the control of erosion.
6. Neither the City of Sherman nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
7. The owners and builders must comply with all other local, state and federal regulations regarding developments of this type.
8. Bearings are based on the City of Sherman Control Monument Network.
9. All lots are to be Residential Lots.
10. A portion of the subject property does lie within a Federal Emergency Management Agency (FEMA) designated flood plain as shown by firm Map No. 48181C02700 & 48181C02800, effective date September 1, 2022.



22399

OWNERS/DEVELOPER
AJH ENTERPRISES, LTD
1400 SHADY HOLLOW COURT
KELLER, TX 76248
SURVEYOR
DOUGLAS W. UNDERWOOD
R.P.L.S. NO. 4709
3404 INTERURBAN ROAD
DENISON, TEXAS

SEE SHEET 3 FOR LINE/CURVE TABLE



FINAL PLAT
THE HILLS OF SHERMAN
Being a part of the J.B. MCANAIR Survey, Abstract Number 763. Being in the City of Sherman, Grayson County, Texas. Containing 133.14 acres of land
08/19/2025

Filed for Record in the Official Records of: Grayson County Clerk On: 9/26/2025 5:47:05 AM In the PLAT Records HILLS OF SHERMAN Doc Number: 2025-171 Number of Pages: 3 Amount: 106.00 Order#: 20250926000023 By: CT



CURVE TABLE

Table with columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING, DELTA ANGLE. Contains curve data from C1 to C120.

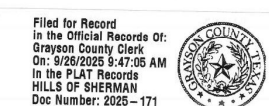
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Table with columns: CURVE, RADIUS, ARC LENGTH, CHORD LENGTH, CHORD BEARING, DELTA ANGLE. Contains curve data from C241 to C362.

LINE TABLE

Table with columns: LINE, BEARING, DISTANCE. Contains line data from L1 to L99.

Table with columns: LINE, BEARING, DISTANCE. Contains line data from L100 to L178.



Filed for Record in the Official Records Of: Grayson County Clerk On: 9/26/2025 9:47:05 AM In the PLAT Records Book: 22050582 Doc Number: 2025-171 Number of Pages: 3 Amount: 106.00 Order#: 2025092600023 By: CT

FINAL PLAT THE HILLS OF SHERMAN Being a part of the J.B. MCANAIR Survey, Abstract Number 763. Being in the City of Sherman, Grayson County, Texas. Containing 133.14 acres of land



3404 INTERURBAN ROAD DENISON, TEXAS 75021 (903)465-2151

22399

OWNERS/DEVELOPER AJH ENTERPRISES, LTD 1400 SHADY HOLLOW COURT KELLER, TX 76248

SURVEYOR DOUGLAS W. UNDERWOOD R.P.L.S. NO. 4709 3404 INTERURBAN ROAD DENISON, TEXAS

---

# CROSS ENGINEERING CONSULTANTS

---

1720 W. Virginia St.  
972.562.4409

•  
•

McKinney, Texas 75069  
Fax 972.562.4471

April 7, 2026

City of Sherman  
Planning Department  
220 W. Mulberry  
Sherman, Texas 75091

Attn: Mr. Rob Rae, Director of Development Services

**Re: The Hills of Sherman Rezoning**

Dear Mr. Rae:

My client AJH Enterprises LTD wants to rezone Lot 1, Block N of The Hills of Sherman. The subject property is located southeast of US Highway 82 and Rex Cruse Drive in the City of Sherman, Texas. The current property is zoned R-6 (Single-Family Residential) and would like to rezone to C-1 (Retail Business). We believe commercial use for this property is more suitable since the property is adjacent to US Highway 82, rather than being developed for single-family residential use. The subject Lot was part of The Hills of Sherman Final Plat that was recorded on September 26, 2025. We would appreciate your assistance and support in this rezoning process. Project details are listed below:

- Lot 1, Block N
- 14.384 acres
- Existing zoning is R-6
- Proposed zoning to be C-1
- Subject property part of The Hills of Sherman Final Plat

Thank you in advance for your consideration of this rezoning request. Please contact me if you have any questions or concerns.

Sincerely,

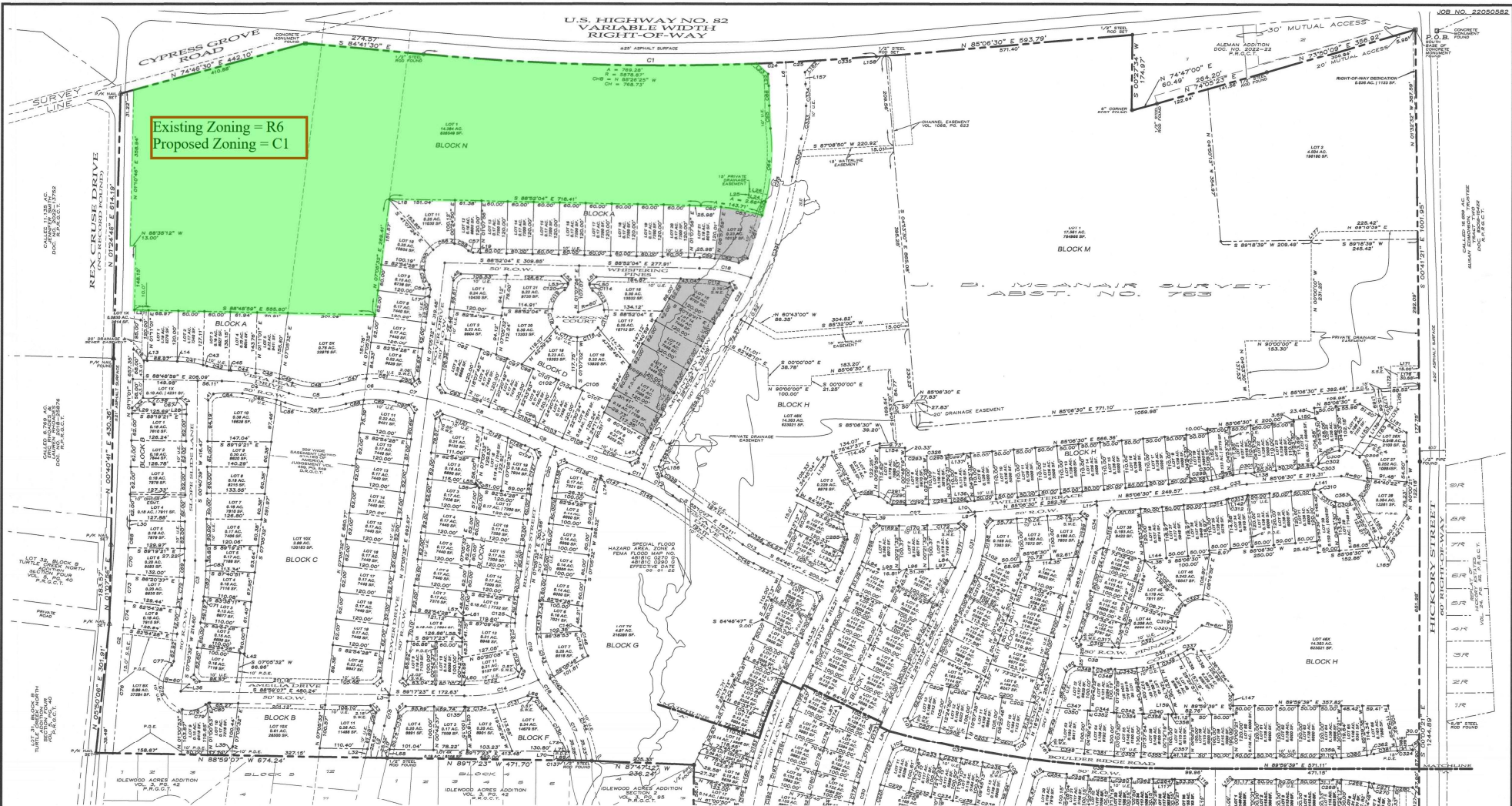
**CROSS ENGINEERING CONSULTANTS, INC.**



Bryan Weisgerber, P.E.  
Project Manager

U.S. HIGHWAY NO. 82  
VARIABLE WIDITH  
RIGHT-OF-WAY

Existing Zoning = R6  
Proposed Zoning = C1

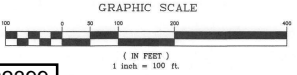


JOB NO. 22050582

ASBESTOS  
SURVEY  
CONDUCTED BY  
J.B. MCANAI SURVEY  
NO. 763

HICKORY STREET

BASES OF BEARINGS -  
1983 NORTH MANDATORY  
TEXAS STATE PLANE COORDINATE SYSTEM  
NORTH CENTRAL ZONE



PENDING LUMP APPROVAL SHOULD REMOVE  
LOT 22 OF BLOCK A AND LOTS 11-14  
OF BLOCK B FROM THIS PLAT. LUMP APPROVAL  
SHOULD FOLLOW PERM AND CITY  
REGULATIONS.

**LEGEND**

P.O.B.	POINT OF BEGINNING
S	1/2" IRON ROD SET
C	1/2" IRON ROD FOUND
O	1/2" PIPE FOUND
X	1/2" PIPE FOUND
A	1/2" GALV. PIPE FOUND
H	1/2" GALV. PIPE FOUND
D	CONC. W/IN FOUND
---	PROPERTY LINE
---	BOUNDARY LINE
---	PROPERTY LINE
---	EASEMENT LINE

SEE SHEET 3 FOR  
LINE/CURVE TABLE

**UNDERWOOD**  
DRAFTING & SURVEYING

Filed for Record in the Official Records of:  
Grayson County Clerk  
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**FINAL PLAT  
THE HILLS OF  
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Being a part of the J.B. MCANAI  
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08/19/2025

**22399**  
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1400 SHADY HOLLOW COURT  
KELLER, TX 76248  
SURVEYOR  
DOUGLAS W. UNDERWOOD  
P.L.S. NO. 4709  
3404 INTERURBAN ROAD  
DENISON, TEXAS



**Planning & Zoning Commission Development Services**

Agenda Item No. 20.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**1410 WEST HOUSTON STREET (Project No. 000371-2026)**

The request of Laurel Acres (Owner), Gustavo Cardona de Liva (Applicant), and Jerry P. Montgomery (Surveyor), concerning the property located at 1410 West Houston Street, being Lot 1, Block 3 Elliott's Gray's Hill Addition and currently zoned C-2 (General Commercial) District, as follows:

***Planning and Zoning Commission***

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Automobile, repair, body work, or painting in a C-2 (General Commercial) District.

**Background:**

The property is located at 1410 West Houston Street. The owner is requesting Site Plan approval and a Specific Use Permit to allow Automobile, repair, body work, or painting in a C-2 (General Commercial) District.

The applicant received an approved SUP (Ordinance No. 6842) on June 25, 2025, with a condition that it expires after a year. The applicant is required to renew this SUP to continue operation.

**Origination:**

The request of Laurel Acres (Owner), Gustavo Cardona de Liva (Applicant), and Jerry P. Montgomery (Surveyor).

**Staff Recommendation:**

Staff recommends that this SUP be conditioned for another year to ensure the applicant is willing to comply with the adopted ordinance.

---

**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Property Notification Sign
5. Survey
6. Project Narrative
7. Site Plan
8. Elevation
9. Ord. No. 6842
10. Staff Review Letter

diagrone H:\PLANNING\Public Notification KT.aprx

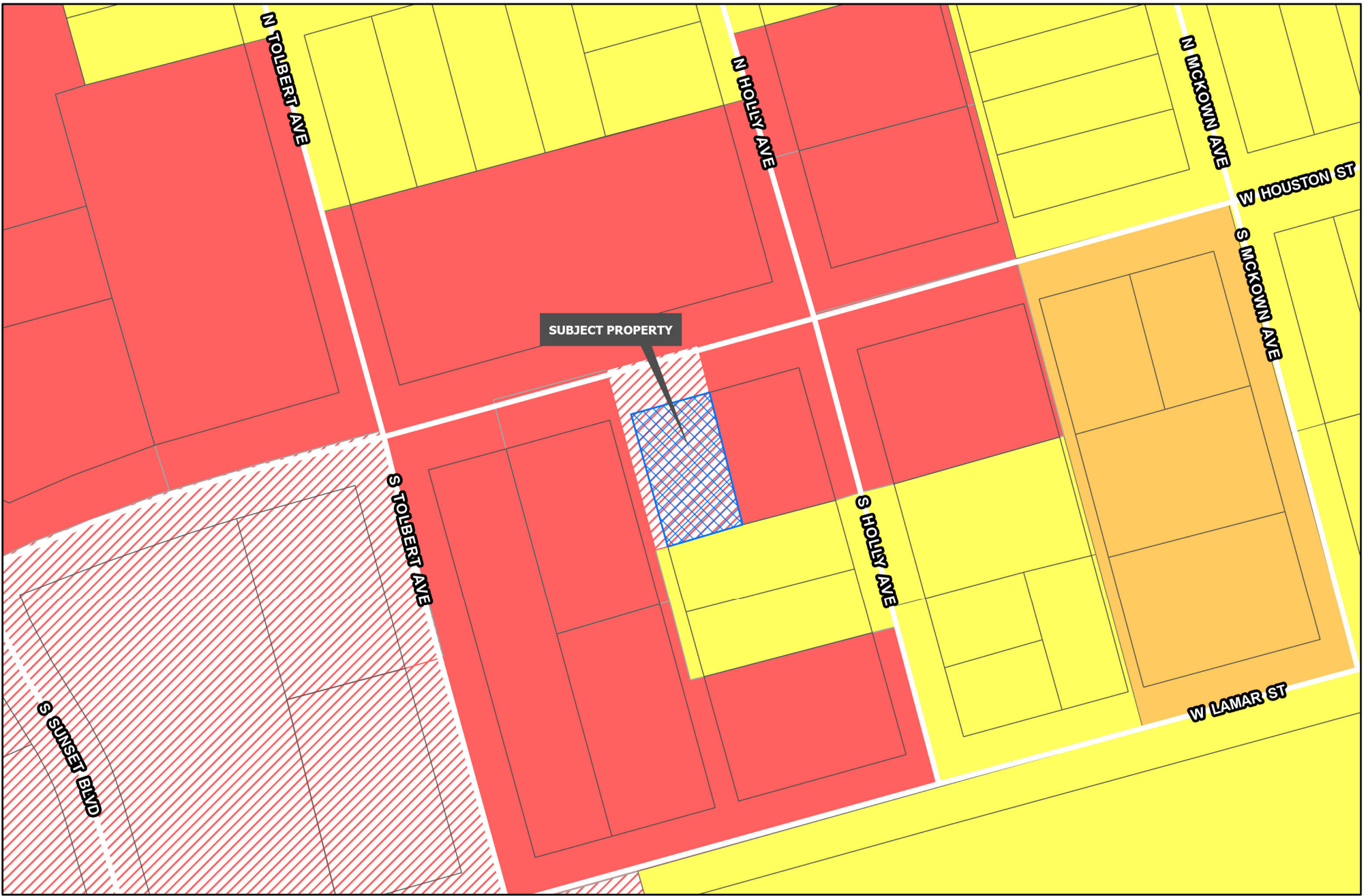


City of Sherman, Texas  
Development Services Department

**CITY OF SHERMAN  
LOCATION MAP  
1410 W HOUSTON ST**



Date: 5/5/2025 3:39 PM



Development Services  
Department

- |                                |                                |                            |
|--------------------------------|--------------------------------|----------------------------|
| R-A Residential Agricultural   | MF-15 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-E Estate Residential         | MF-30 Multi-Family Residential | M-2 Heavy Manufacturing    |
| R-12 Single Family Residential | MH Manufactured Housing        | PD Planned Development     |
| R-6 Single Family Residential  | C-N Neighborhood Commercial    | Road Names All             |
| R-5 Single Family Residential  | C-O Office                     | Planning & Zoning          |
| R-4 Patio Home Residential     | C-1 Retail Business            |                            |
| R-2F Duplex Residential        | C-2 General Commercial         |                            |
| R-TH Townhome Residential      | M-1 Light Manufacturing        |                            |

CITY OF SHERMAN  
ZONING MAP  
1410 W HOUSTON ST





**CORE NEIGHBORHOOD**

**Intent & Character**

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**Appropriate Land Use Types**

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

**Compatible Zoning Districts**

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

**Considerations**

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



Development Services  
Department

- |                      |                       |                   |
|----------------------|-----------------------|-------------------|
| Agriculture/Rural    | Core Neighborhood     | Technology Hub    |
| Airport              | Downtown              | Road Names All    |
| City Parkland        | Regional Commercial   | Planning & Zoning |
| Community Commercial | Suburban Neighborhood |                   |

CITY OF SHERMAN  
FUTURE LAND USE MAP  
1410 W HOUSTON ST



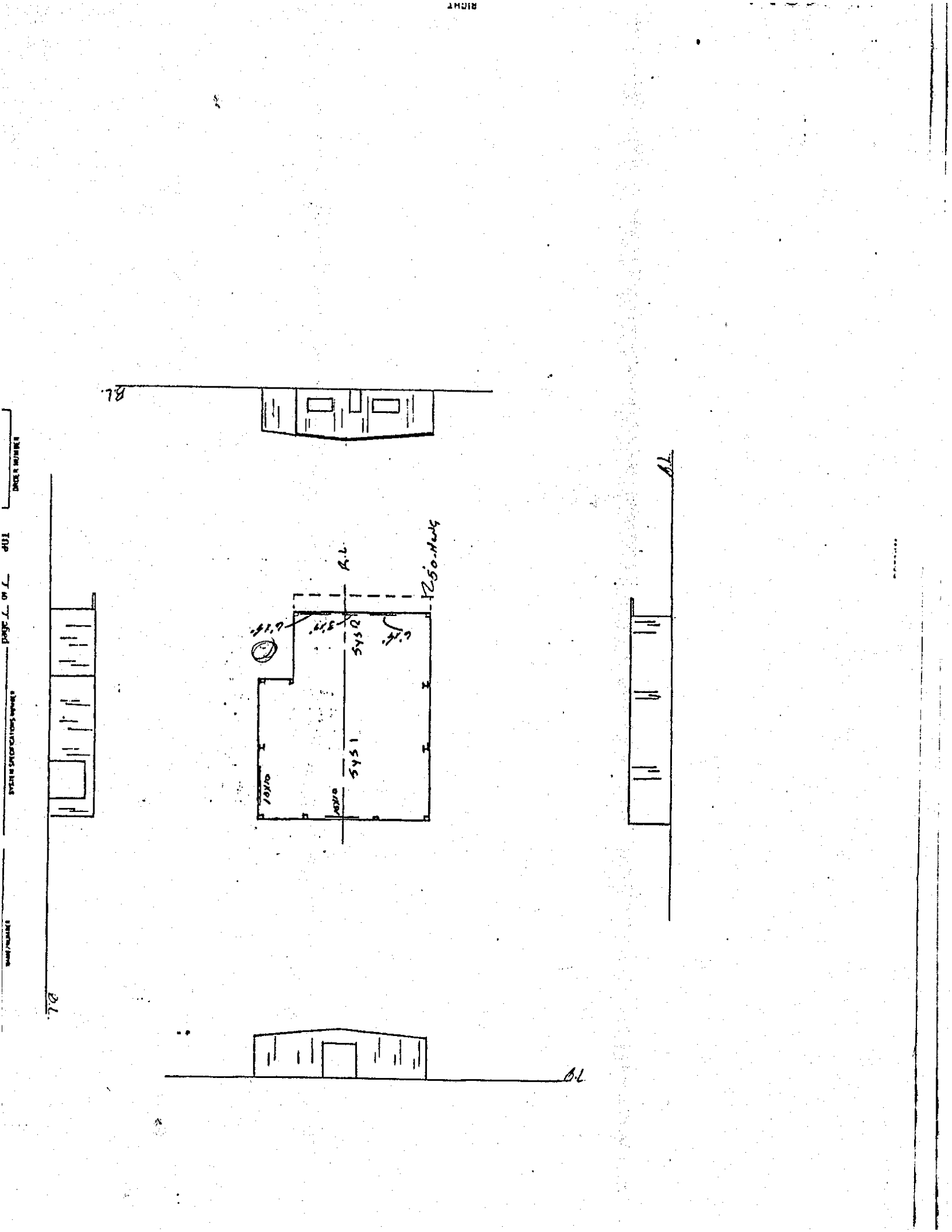


 **NOTICE OF  
SPECIFIC USE PERMIT  
REQUEST**

**PROJECT #: 000371-2026**

FOR MORE INFORMATION CONTACT:  
DEVELOPMENT SERVICES  
903-892-7210 

© 2019 BY TEXAS



INDEX NUMBER

PAGE 1 OF 1

STATE SPECIFICATIONS

DATE/SCALE

DL

RIGHT

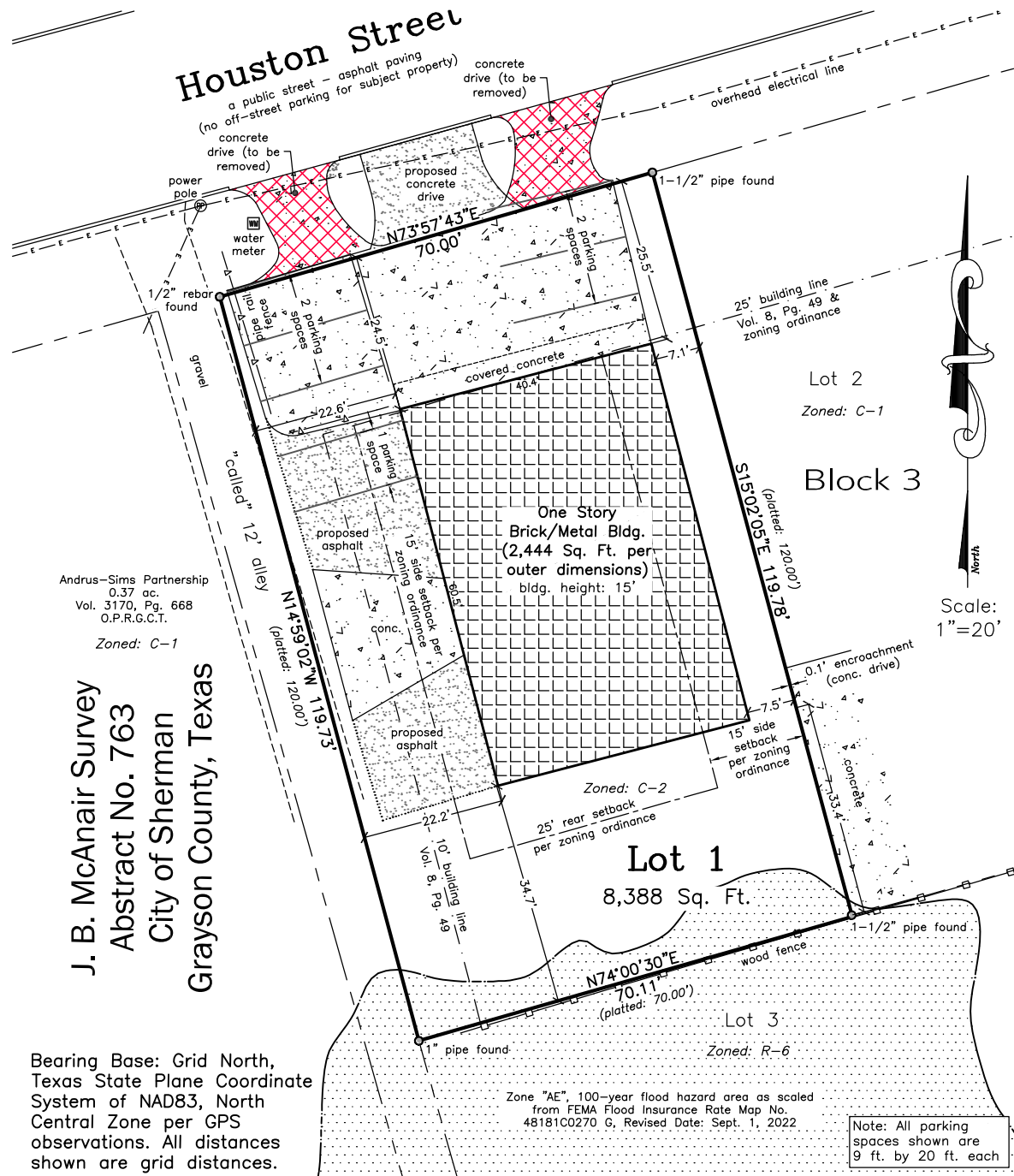
DL

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**Narrative of why we are requesting a Specific Use Permit for 1410 W. Houston St., Sherman, Texas.**

Desire to put in a tire sales and tire repair shop.



Andrus-Sims Partnership  
 0.37 ac.  
 Vol. 3170, Pg. 668  
 O.P.R.G.C.T.  
 Zoned: C-1

J. B. McAnair Survey  
 Abstract No. 763  
 City of Sherman  
 Grayson County, Texas

Bearing Base: Grid North,  
 Texas State Plane Coordinate  
 System of NAD83, North  
 Central Zone per GPS  
 observations. All distances  
 shown are grid distances.

Zone "AE", 100-year flood hazard area as scaled  
 from FEMA Flood Insurance Rate Map No.  
 48181C0270 G, Revised Date: Sept. 1, 2022

Note: All parking  
 spaces shown are  
 9 ft. by 20 ft. each

Owner: Laurel Acres LTD  
 Address: 1410 W. Houston  
 Sherman, Texas

This survey is for the sole benefit of the Owners Stated hereon and is null and void for any other transaction. Any unauthorized use of this survey without the sole consent of the undersigned surveyor will infringe upon state and federal copyright statutes. Any violation of said statutes will be aggressively pursued.

I, Kate A. Wagner, Registered Professional Land Surveyor, do hereby certify that a survey was performed on the ground of the property shown hereinabove and that this survey complies with the current Texas Society of Professional Surveyors Manual of Practice for a Category 1A, Condition 2, TSPS Land Title Survey and is a true and correct representation of the property shown hereon to the best of my knowledge and belief.

Legal Description is as follows: Lot 1, Block 3, of the Replat of Lots 1, 2, 3, 4 and the North 15 Ft. of Lot 5, Block 3, Elliott's Gray's Hill Addition to the City of Sherman, Texas, as per plat of record in Volume 8, Page 49, Plat Records, Grayson County, Texas.

Job No. AGS100425-R

Helvey-Wagner Surveying, Inc.  
 222 W. Main St., Denison, Texas 75020  
 Phone (903) 463-6191  
 Email: kate@helveywagnersurvey.net  
 TBPELS Firm Registration No. 10088100

*Kate A. Wagner*  
 KATE A. WAGNER  
 6578  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 Kate A. Wagner, R. P. L. S. No. 6578  
 Revised Date: May 14, 2025



**ORDINANCE NO. 6842**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF SHERMAN, TEXAS, AMENDING SHERMAN'S ZONING ORDINANCE/CODE OF ORDINANCES CHAPTER 14, AND GRANTING A SPECIFIC USE PERMIT TO ALLOW AUTOMOBILE REPAIR, BODY WORK, OR PAINTING IN A C-2 (GENERAL COMMERCIAL) DISTRICT, LOCATED AT 1410 WEST HOUSTON STREET, CONSISTING OF 0.1928 ACRES BEING LOT 1, BLOCK 3, OF THE REPLAT OF LOTS 1, 2, 3, 4 AND THE NORTH 15 FT. OF LOT 5, BLOCK 3, ELLIOTT'S GRAY'S HILL ADDITION, CITY OF SHERMAN, GRAYSON COUNTY, TEXAS LAUREL ACRES, LTD (OWNER), BRIAN DUNNE (REPRESENTATIVE), GUSTAVO CARDONA (TENANT) AND HELVEY-WAGNER SURVEYING, INC. (SURVEYOR) PRESCRIBING CONDITIONS TO THE SPECIFIC USE PERMIT; PROVIDING A PENALTY NOT TO EXCEED \$2,000.00; PROVIDING A REPEALING/SAVINGS CLAUSE, SEVERABILITY CLAUSE AND AN EFFECTIVE DATE; FINDING AND DETERMINING THAT THE MEETING AT WHICH THIS ORDINANCE IS PASSED WAS NOTICED AND IS OPEN TO THE PUBLIC AS REQUIRED BY LAW**

**WHEREAS**, the City Planning and Zoning Commission and the City Council, in accordance with the state law and the ordinances of the City of Sherman, have given the required notices and have held the required public hearings regarding this Specific Use Permit; and

**WHEREAS**, the City Council finds that this use will complement or be compatible with the surrounding uses and community facilities; contribute to, enhance, or promote the welfare of the area of request and adjacent properties; not be detrimental to the public health, safety, or general welfare; and conform in all other respects to all applicable zoning regulations and standards; and

**WHEREAS**, the City Council finds that it is in the public interest to grant this Specific Use Permit, subject to certain conditions.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF SHERMAN, TEXAS:**

**SECTION 1.** That, from and after the effective date of this Ordinance, the property located at 1410 West Houston Street, City of Sherman, Grayson County, Texas is/are granted a Specific Use Permit to a Automobile repair, body work, or painting, subject to the conditions described in this Ordinance and that Sherman's Zoning Ordinance/Code of Ordinances, Chapter 14 is hereby amended so as to hereafter include property on **Exhibit A – Survey**.

**SECTION 2.** That this Specific Use Permit is granted on the following conditions:

Zoning:

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Fire access, lanes and codes shall be coordinated with the Fire Marshal. (*Code of Ordinances Chapter 3.02(c)*)
3. Fence Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Sec. 14.04.004*)
4. Sign Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
5. All vehicle maneuvering shall take place on-site. (*Sec. 14.04.003(b)(2)*)
6. The use of the property must comply with all Federal and State Laws and regulations and with all the ordinances, rules and regulations of the City of Sherman.
7. No outside parking or storage of dismantled, junk or inoperable vehicles, wrecks, tires, displays or parts are permitted.
8. The property must be properly maintained in a state of good repair and neat appearance.
9. The granting of the Specific Use Permit has no effect on the uses permitted as of right and does not waive the regulations of the underlying zoning district.
10. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded in the event that a person or entity other than Gustavo Cardona is the owner or lessee of the Property.
11. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded on the first anniversary of the effective date identified below, unless earlier terminated, rescinded, extended or renewed by separate action of the City Council. The owner of the property subject to the Specific Use Permit must receive City Council approval of an application to extend or renew the Specific Use Permit prior to the expiration thereof.
12. A Specific Use Permit is an amendment to the district regulations of the Zoning Ordinance that permits the establishment of a specific use within a zoning district in which such specific use may be established unless such use of land or structure is discontinued or abandoned for a period of thirty (30) consecutive days in which event such Specific Use Permit shall be void and such use may not thereafter be resumed unless a new Specific Use Permit is granted in accordance with this section. (*Chapter 14, Sec. 14.06.009(a)(1)(C)*)
13. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.  
Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission

Engineering

14. All requirements of the Floodplain Ordinance shall be followed. *Code of Ordinances Chapter 3, Article 3.12*

Additional Conditions:

15. The property shall be developed and used in accordance with all City Ordinances and the Site Plan shown in **Exhibit B**.
16. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded in the event that a person or entity other than Gustavo Cardona is the lessee of the Property.

**SECTION 3.** That this Ordinance shall be entered upon the official zoning map as provided in Sherman's Zoning Ordinance/Code of Ordinances, Chapter 14, Section 14.01.002.

**SECTION 4.** That after holding a properly noticed public hearing, the City Council may amend, change, or rescind the Specific Use Permit if any of the conditions set forth in Zoning Ordinance/Code of Ordinances Chapter 14, Section 14.06.009(1)(g), apply or exist.

**SECTION 5.** That the Specific Use Permit shall be effective from and after the effective date of this Ordinance. Upon termination of the Specific Use Permit, the property shall cease to be used as provided herein unless another Specific Use Permit or appropriate zoning has been obtained.

**SECTION 6.** That it shall be unlawful for any person to make use of the property in some manner other than as authorized by this Ordinance, and it shall be unlawful for any person to construct on the property any building that is not in conformity with the permissible uses under this Ordinance. Any person violating any provision of this Ordinance or the Zoning Ordinance, as they exist or may be amended, shall be deemed guilty of a misdemeanor, and on conviction thereof, shall be fined in an amount not exceeding TWO THOUSAND AND NO/100 DOLLARS (\$2,000.00). A violation of any provision of this Ordinance shall constitute a separate violation for each calendar day in which it occurs. The penal provisions imposed under this Ordinance shall not preclude the City from filing suit to enjoin the violation. The City retains all legal rights and remedies available to it pursuant to local, state, and federal law.

**SECTION 7.** That the Zoning Ordinance shall remain in full force and effect, save and except as amended by this or any other ordinance. All provisions of any ordinance in conflict with this Ordinance are hereby repealed to the extent they are in conflict, but such repeal shall not abate any pending prosecution for violation of the repealed ordinance, nor shall the repeal prevent a prosecution from being commenced for any violation if occurring prior to the repeal of the ordinance. Any remaining portions of said ordinances shall remain in full force and effect.

**SECTION 8.** That in the event any section, subsection, sentence, clause or phrase of this Ordinance be declared unconstitutional and/or invalid by a court of competent jurisdiction, it is expressly provided that any and all remaining portions of this Ordinance shall remain in full force and effect. The City Council hereby declares that it would have passed this Ordinance, and each section, subsection, clause or phrase thereof, regardless of whether any one or more sections, subsections, sentences, clauses or phrases is declared unconstitutional and/or invalid.

**SECTION 9.** That it is hereby officially found and determined that the meetings at which this Ordinance was introduced and passed were open to the public and that public notice of the time, place and purpose of said meetings were given all as required by law.

**SECTION 10.** That this Ordinance shall become effective from and after its adoption and publication as required by law and the City Charter.

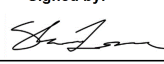
**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF SHERMAN, TEXAS.**

**INTRODUCED** on this the 16th day of June 2025.

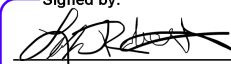
**ADOPTED** on this the 16th day of June 2025.

**EFFECTIVE DATE** on this the 16th day of June 2025.

**CITY OF SHERMAN, TEXAS**

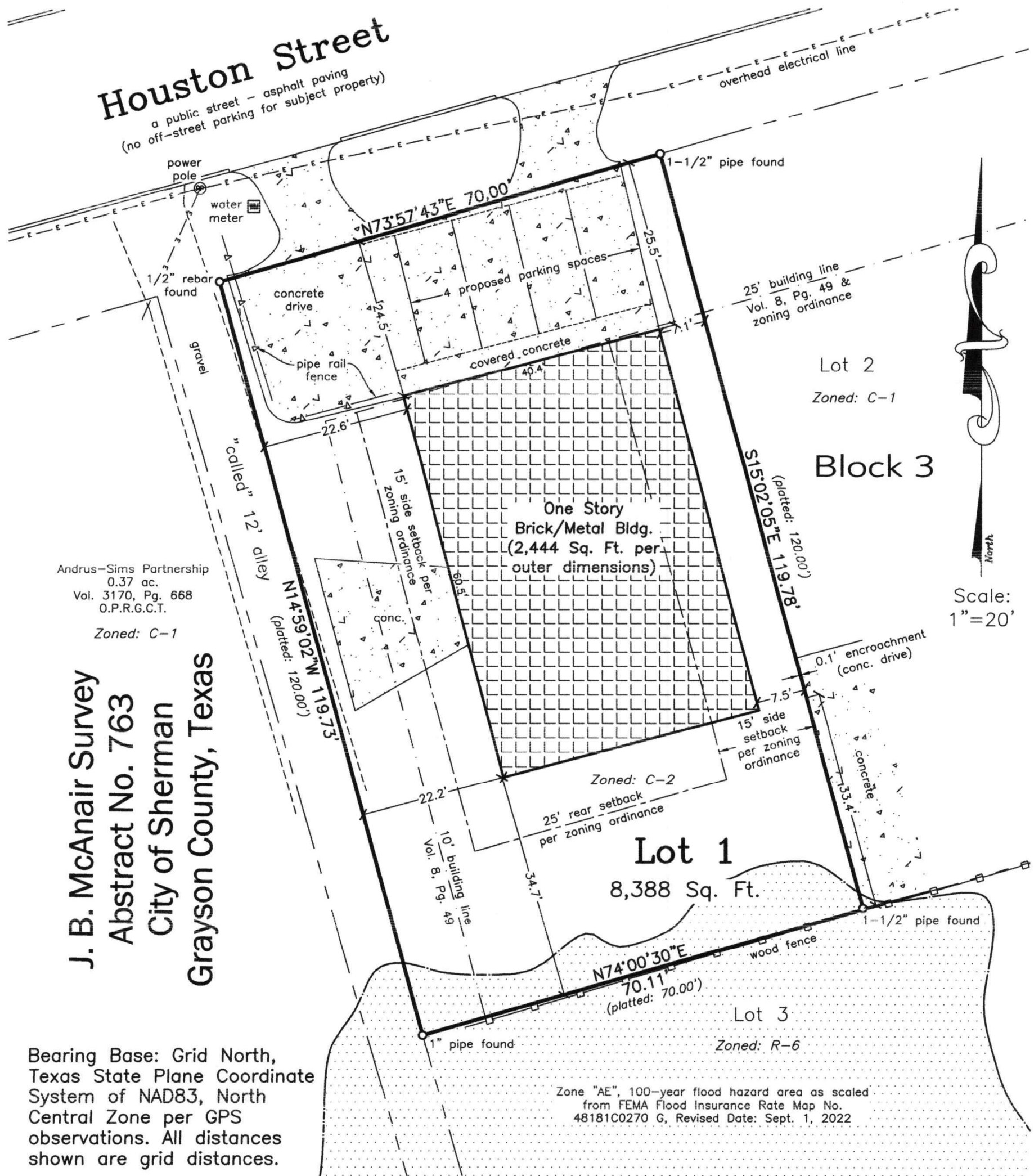
Signed by:   
BY: \_\_\_\_\_  
SHAWN TEAMANN, MAYOR

**ATTEST:**

Signed by:   
BY: \_\_\_\_\_  
**LEAH ROBERTS**  
**EXECUTIVE DIRECTOR OF ADMINISTRATION**  
**ACTING CITY CLERK**

**APPROVED AS TO FORM:**  
**THE LAW FIRM OF ABERNATHY,**  
**ROEDER, BOYD & HULLETT, P.C.**

Signed by:   
BY: \_\_\_\_\_  
**RYAN D. PITTMAN, CITY ATTORNEY**



Andrus-Sims Partnership  
0.37 ac.  
Vol. 3170, Pg. 668  
O.P.R.G.C.T.  
Zoned: C-1

**J. B. McAnair Survey**  
**Abstract No. 763**  
**City of Sherman**  
**Grayson County, Texas**

Bearing Base: Grid North, Texas State Plane Coordinate System of NAD83, North Central Zone per GPS observations. All distances shown are grid distances.

Owner: Laurel Acres LTD  
Address: 1410 W. Houston  
Sherman, Texas

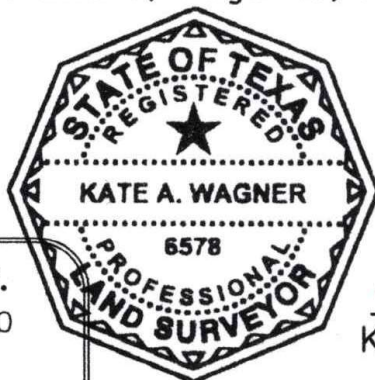
This survey is for the sole benefit of the Owners Stated hereon and is null and void for any other transaction. Any unauthorized use of this survey without the sole consent of the undersigned surveyor will infringe upon state and federal copyright statutes. Any violation of said statutes will be aggressively pursued.

I, Kate A. Wagner, Registered Professional Land Surveyor, do hereby certify that a survey was performed on the ground of the property shown hereinabove and that this survey complies with the current Texas Society of Professional Surveyors Manual of Practice for a Category 1A, Condition 2, TSPS Land Title Survey and is a true and correct representation of the property shown hereon to the best of my knowledge and belief.

Legal Description is as follows: Lot 1, Block 3, of the Replat of Lots 1, 2, 3, 4 and the North 15 Ft. of Lot 5, Block 3, Elliott's Gray's Hill Addition to the City of Sherman, Texas, as per plat of record in Volume 8, Page 49, Plat Records, Grayson County, Texas.

Job No. AGS100425

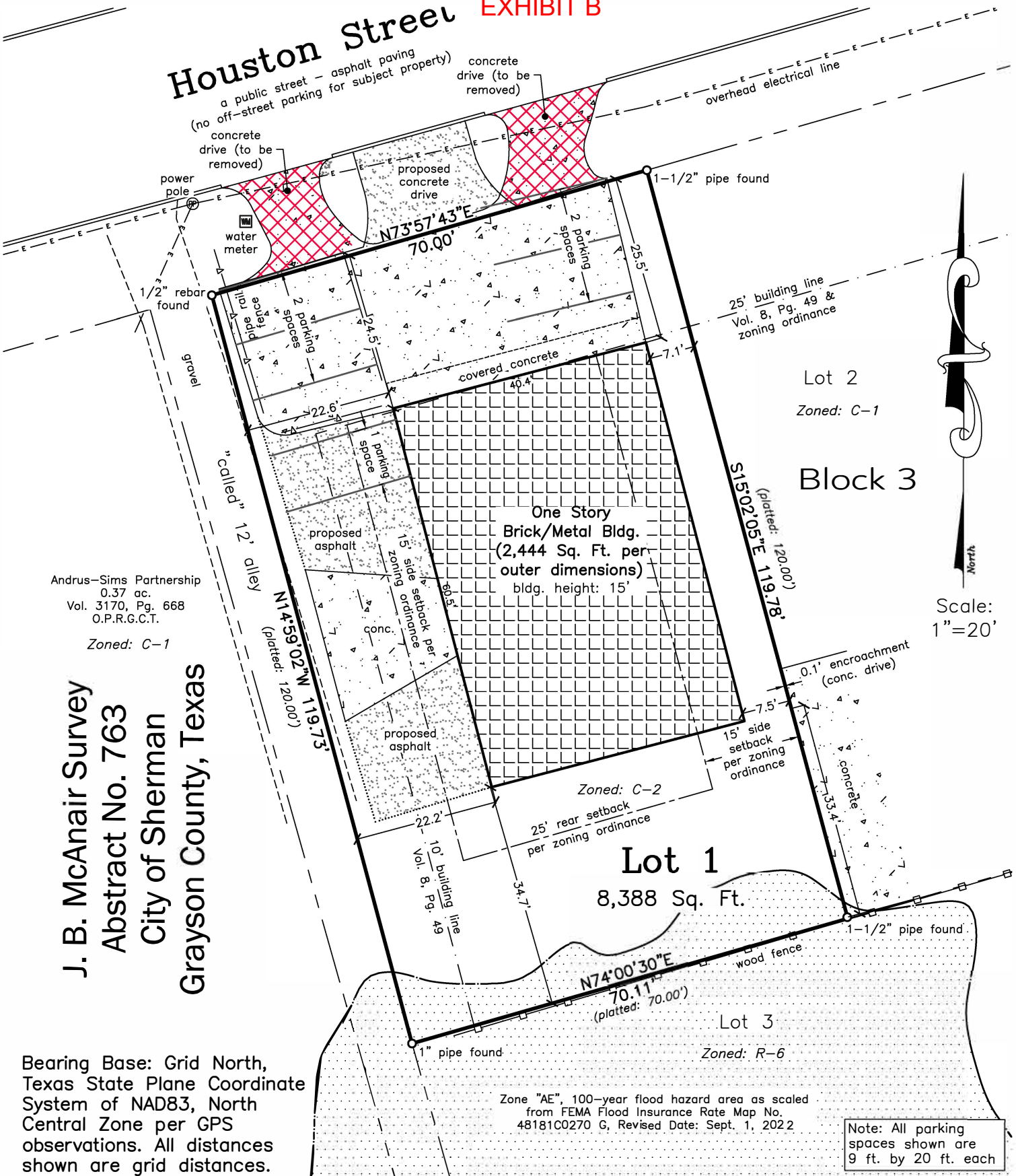
**Helvey-Wagner Surveying, Inc.**  
222 W. Main St., Denison, Texas 75020  
Phone (903) 463-6191  
Email: kate@helveywagnersurvey.net  
TBPELS Firm Registration No. 10088100



*Kate A. Wagner*  
Kate A. Wagner, R. P. L. S. No. 6578  
Copyright Date: April 8, 2025

# Houston Street

a public street - asphalt paving  
(no off-street parking for subject property)



Andrus-Sims Partnership  
0.37 ac.  
Vol. 3170, Pg. 668  
O.P.R.G.C.T.  
Zoned: C-1

**J. B. McAnair Survey**  
**Abstract No. 763**  
**City of Sherman**  
**Grayson County, Texas**

Bearing Base: Grid North,  
Texas State Plane Coordinate  
System of NAD83, North  
Central Zone per GPS  
observations. All distances  
shown are grid distances.

Owner: Laurel Acres LTD  
Address: 1410 W. Houston  
Sherman, Texas

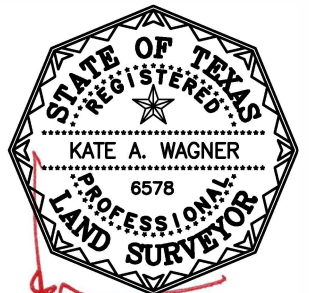
This survey is for the sole benefit of the Owners Stated hereon and is null and void for any other transaction. Any unauthorized use of this survey without the sole consent of the undersigned surveyor will infringe upon state and federal copyright statutes. Any violation of said statutes will be aggressively pursued.

I, Kate A. Wagner, Registered Professional Land Surveyor, do hereby certify that a survey was performed on the ground of the property shown hereinabove and that this survey complies with the current Texas Society of Professional Surveyors Manual of Practice for a Category 1A, Condition 2, TSPS Land Title Survey and is a true and correct representation of the property shown hereon to the best of my knowledge and belief.

Legal Description is as follows: Lot 1, Block 3, of the Replat of Lots 1, 2, 3, 4 and the North 15 Ft. of Lot 5, Block 3, Elliott's Gray's Hill Addition to the City of Sherman, Texas, as per plat of record in Volume 8, Page 49, Plat Records, Grayson County, Texas.

Job No. AGS100425-R

**Helvey-Wagner Surveying, Inc.**  
222 W. Main St., Denison, Texas 75020  
Phone (903) 463-6191  
Email: kate@helveywagnersurvey.net  
TBPELS Firm Registration No. 10088100



Kate A. Wagner, R. P. L. S. No. 6578  
Revised Date: May 14, 2025



Note: All parking spaces shown are 9 ft. by 20 ft. each

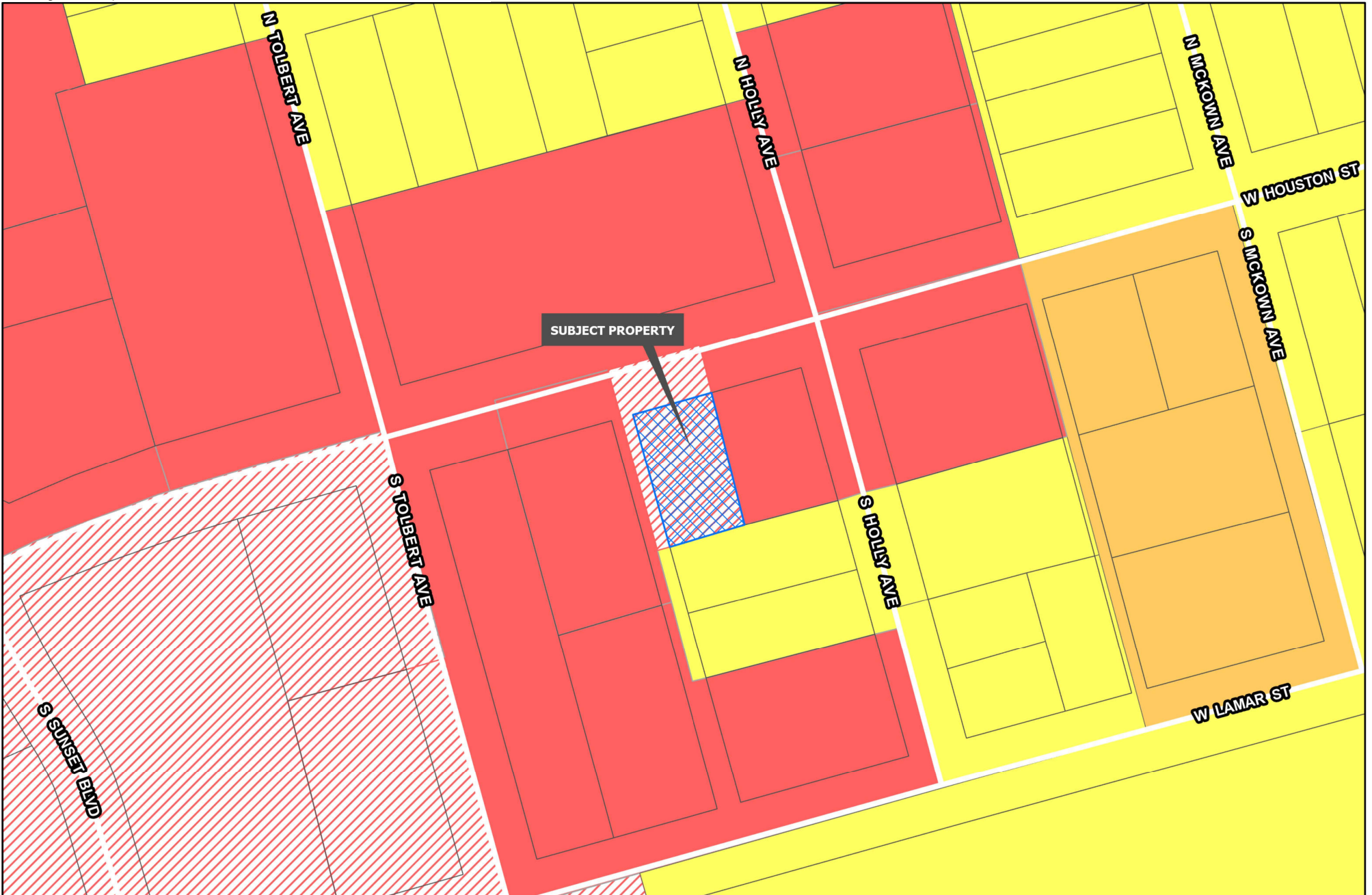


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City of Sherman, Texas  
Development Services Department

CITY OF SHERMAN  
LOCATION MAP  
1410 W HOUSTON ST

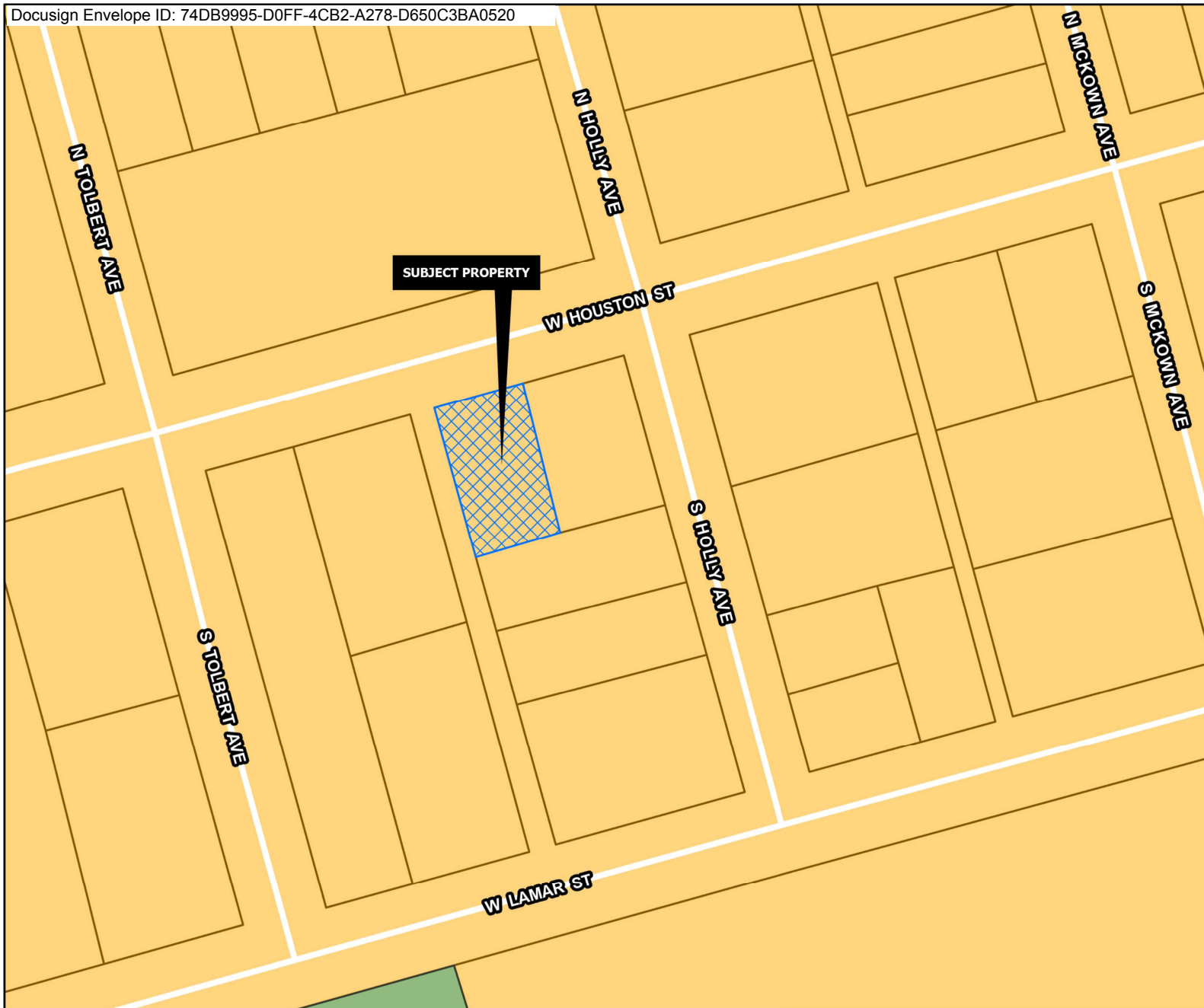


Development Services  
Department

- |                                |                                |                            |
|--------------------------------|--------------------------------|----------------------------|
| R-A Residential Agricultural   | MF-15 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-E Estate Residential         | MF-30 Multi-Family Residential | M-2 Heavy Manufacturing    |
| R-12 Single Family Residential | MH Manufactured Housing        | PD Planned Development     |
| R-6 Single Family Residential  | C-N Neighborhood Commercial    | Road Names All             |
| R-5 Single Family Residential  | C-O Office                     | Planning & Zoning          |
| R-4 Patio Home Residential     | C-1 Retail Business            |                            |
| R-2F Duplex Residential        | C-2 General Commercial         |                            |
| R-TH Townhome Residential      | M-1 Light Manufacturing        |                            |

CITY OF SHERMAN  
ZONING MAP  
1410 W HOUSTON ST





**CORE NEIGHBORHOOD**

**Intent & Character**

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

**Appropriate Land Use Types**

- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

**Compatible Zoning Districts**

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

**Considerations**

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



Development Services  
Department

- |                      |                       |                   |
|----------------------|-----------------------|-------------------|
| Agriculture/Rural    | Core Neighborhood     | Technology Hub    |
| Airport              | Downtown              | Road Names All    |
| City Parkland        | Regional Commercial   | Planning & Zoning |
| Community Commercial | Suburban Neighborhood |                   |

CITY OF SHERMAN  
FUTURE LAND USE MAP  
1410 W HOUSTON ST



## Marlow, Lauren

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**From:** Planning  
**Subject:** RE: 1410 W Houston St

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**From:** Lauren Marlow  
**Sent:** Monday, May 5, 2025 1:44 PM  
**To:** Marlow, Lauren  
**Subject:** 1410 W Houston St

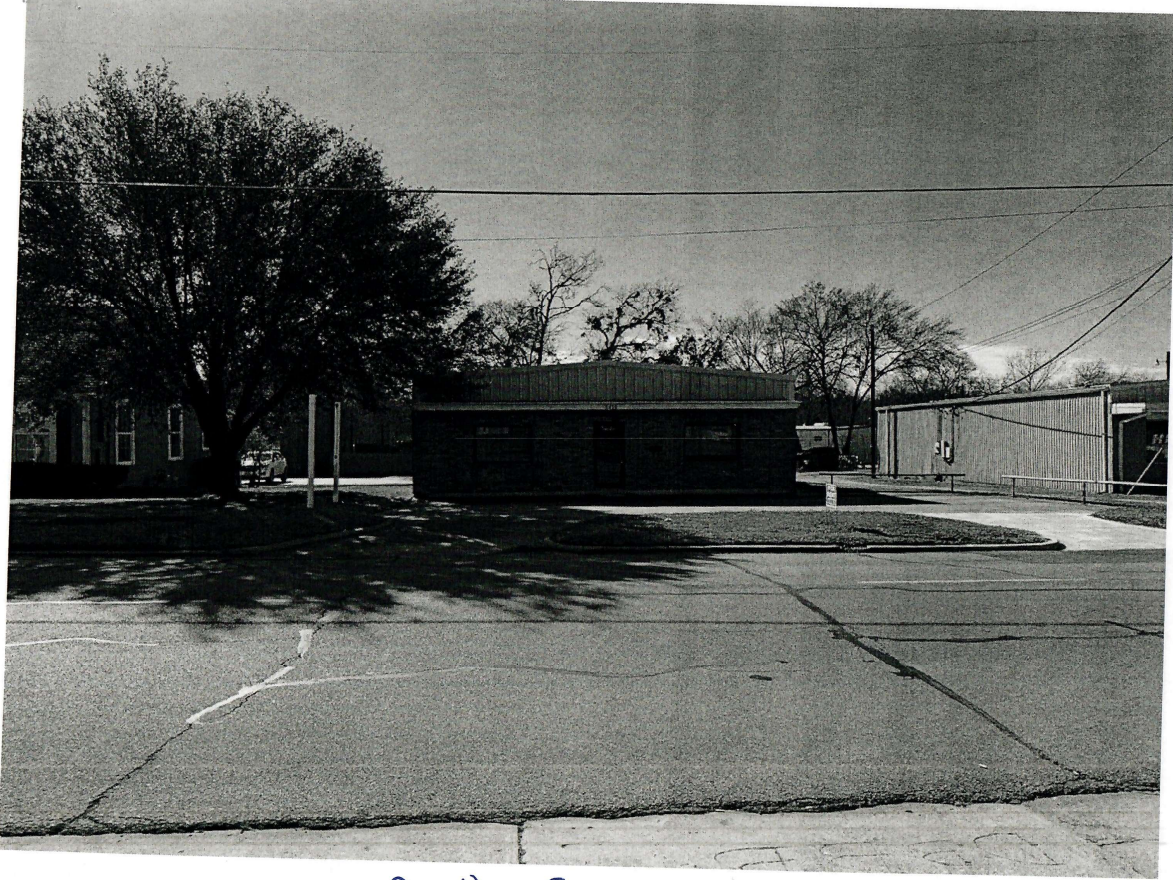


**Narrative of why we are requesting a Specific Use Permit for 1410 W. Houston St., Sherman, Texas.**

Desire to put in a tire sales and tire repair shop.



West & South Side



North Side



West Side



East Side

STAFF REVIEW LETTER

May 13, 2026

Sent via email

Gustavo Cardona  
200 S. Denny  
Howe, TX 75459

Dear Applicants,

The request of a Public Hearing, Site Plan and Specific Use Permit approval under Section 14.06.009 to allow Automobile repair, body work, or painting in a C-2 (General Commercial) District located at 1410 West Houston Street has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, May 19, 2026 at 5:00 P.M. in the Council Chambers at 220 West Mulberry Street.

City staff has reviewed your request and the following items need to be noted/addressed:

**Zoning:**

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Fire access, lanes and codes shall be coordinated with the Fire Marshal.
3. Fence Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Sec. 14.04.004*)
4. Sign Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
  - a. Prohibited signs must be removed immediately.
  - b. Signs in which have been installed without a Sign Permit must be removed, or a Sign Permit must be obtained immediately.
5. The use of the property must comply with all Federal and State Laws and regulations and with all the ordinances, rules and regulations of the City of Sherman.
6. No outside parking or storage of dismantled, junk or inoperable vehicles, wrecks, tires, displays or parts are permitted.
  - a. External tire displays must be removed immediately.
7. Non-residential parking standards must be addressed prior to the issuance of a Certificate of Occupancy. (*Sec. 14.04.003(d)*)
  - a. Required parking automobile or vehicle repair is 2 parking spaces for every service bay with a minimum of 5 parking spaces and shall be a minimum of 9' wide and 20' long.
  - b. Parking spaces shall be permanently and clearly identified by stripes. Non-permanent type marking, such as paint, shall be regularly maintained to ensure continuous clear identification of the space.
    - i. Head in parking is not permitted.
    - ii. Parking lot shall be striped as demonstrated on the Site Plan.
8. The property must be properly maintained in a state of good repair and neat appearance.
9. The granting of the Specific Use Permit has no effect on the uses permitted as of right and does not waive the regulations of the underlying zoning district.
10. A Specific Use Permit is an amendment to the district regulations of the Zoning Ordinance that permits the establishment of a specific use within a zoning district in which such specific use may

be established unless such use of land or structure is discontinued or abandoned for a period of thirty (30) consecutive days in which event such Specific Use Permit shall be void and such use may not thereafter be resumed unless a new Specific Use Permit is granted in accordance with this section. (*Chapter 14, Sec. 14.06.009(a)(1)(C)*)

11. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.

Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission

**Engineering**

12. All requirements of the Floodplain Ordinance shall be followed. *Code of Ordinances Chapter 3, Article 3.12*

**Additional Comments**

13. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded in the event that a person or entity other than Gustavo Cardona is the owner or lessee of the Property.
14. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded on the first anniversary of the effective date identified below, unless earlier terminated, rescinded, extended or renewed by separate action of the City Council. The owner of the property subject to the Specific Use Permit must receive City Council approval of an application to extend or renew the Specific Use Permit prior to the expiration thereof.

It is the policy of the Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, contact Development Services by emailing [planning@cityofsherman.com](mailto:planning@cityofsherman.com) prior to the meeting.

Respectfully,



Rob Rae  
Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager  
Clint Philpott, Asst. City Manager  
Wayne Lee, P.E., Director of Engineering  
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney  
Steven Davis, Asst Fire Marshal  
Amber Doan, Engineering Coordinator  
Tom Pruitt, Utility Engineer



**Planning & Zoning Commission Development Services**

Agenda Item No. 21.

**Meeting Date:** 5/19/2026

**Prepared By:** Tammy Mrozinski, Planning Technician

**Approved By:** Rob Rae, Developmental Services Director

**Requested Action/Proposed Use:**

**121 EAST WALL STREET (Project No. 000373-2026)**

The request of RLMG 401K Trust (Owner), and John Stone (Applicant) concerning the property located at 121 East Wall Street, consisting of 0.458 acres, being part of Block D, T.J. Shannon's Supplement, in the J.B. McAnair Survey, Abstract No. 763 and currently zoned C-2 (General Commercial) District/Central Business District Overlay/Downtown Subdistrict, as follows:

***Planning and Zoning Commission***

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow a Tattoo studio in a C-2 (General Commercial) District/Central Business District Overlay/Downtown Subdistrict.

**Background:**

The property is located at 121 East Wall Street. The owner is requesting Site Plan approval and a Specific Use Permit to allow a Tattoo Studio in a C-2 (General Commercial) District/Central Business District Overlay/Downtown Subdistrict. The applicant is currently in operation at 119 East Wall Street, but is wanting to move to increase the space needed for their business.

**Origination:**

The request of RLMG 401K Trust (Owner), and John Stone (Applicant).

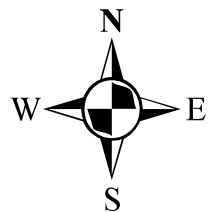
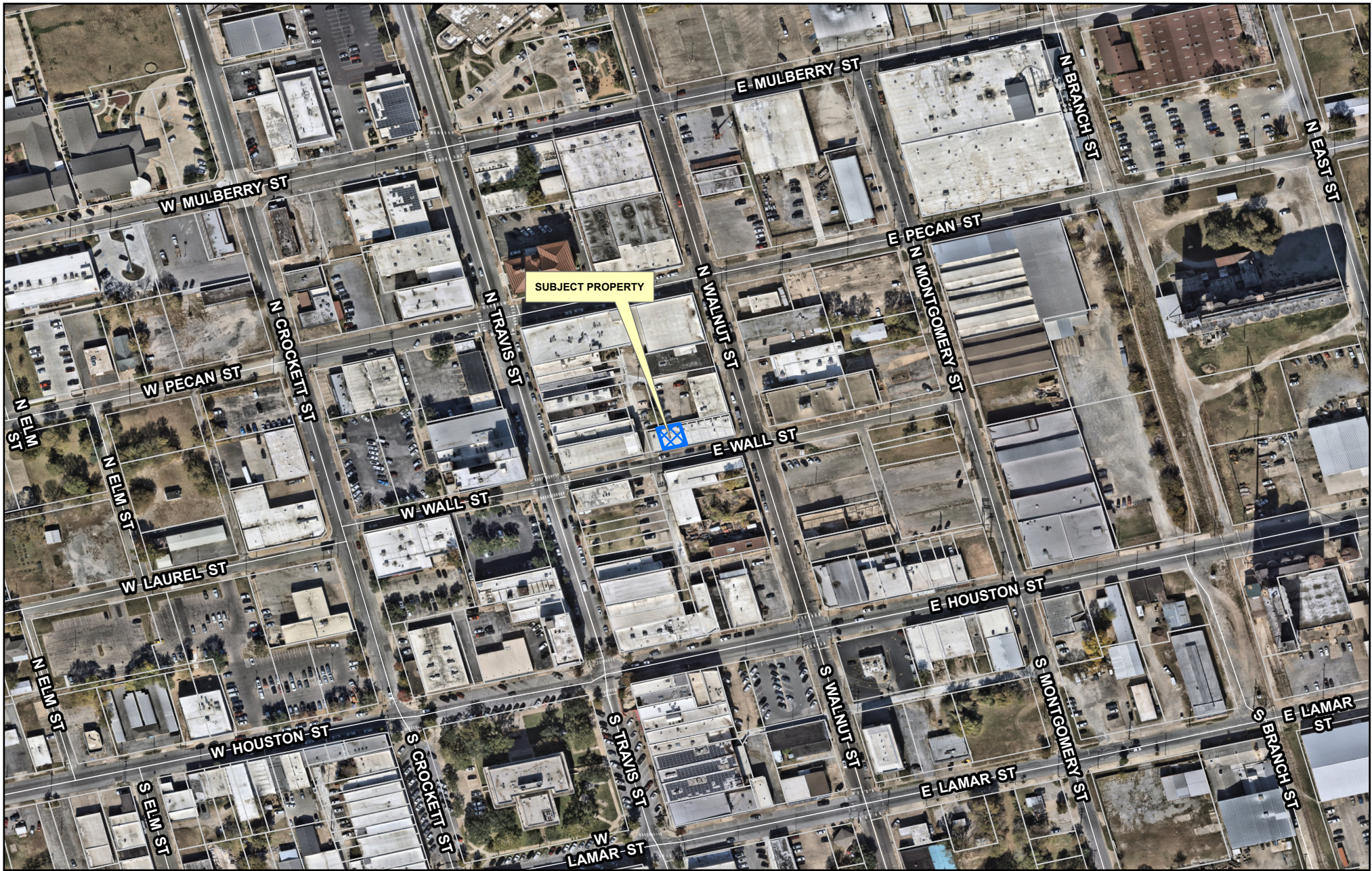
**Staff Recommendation:**

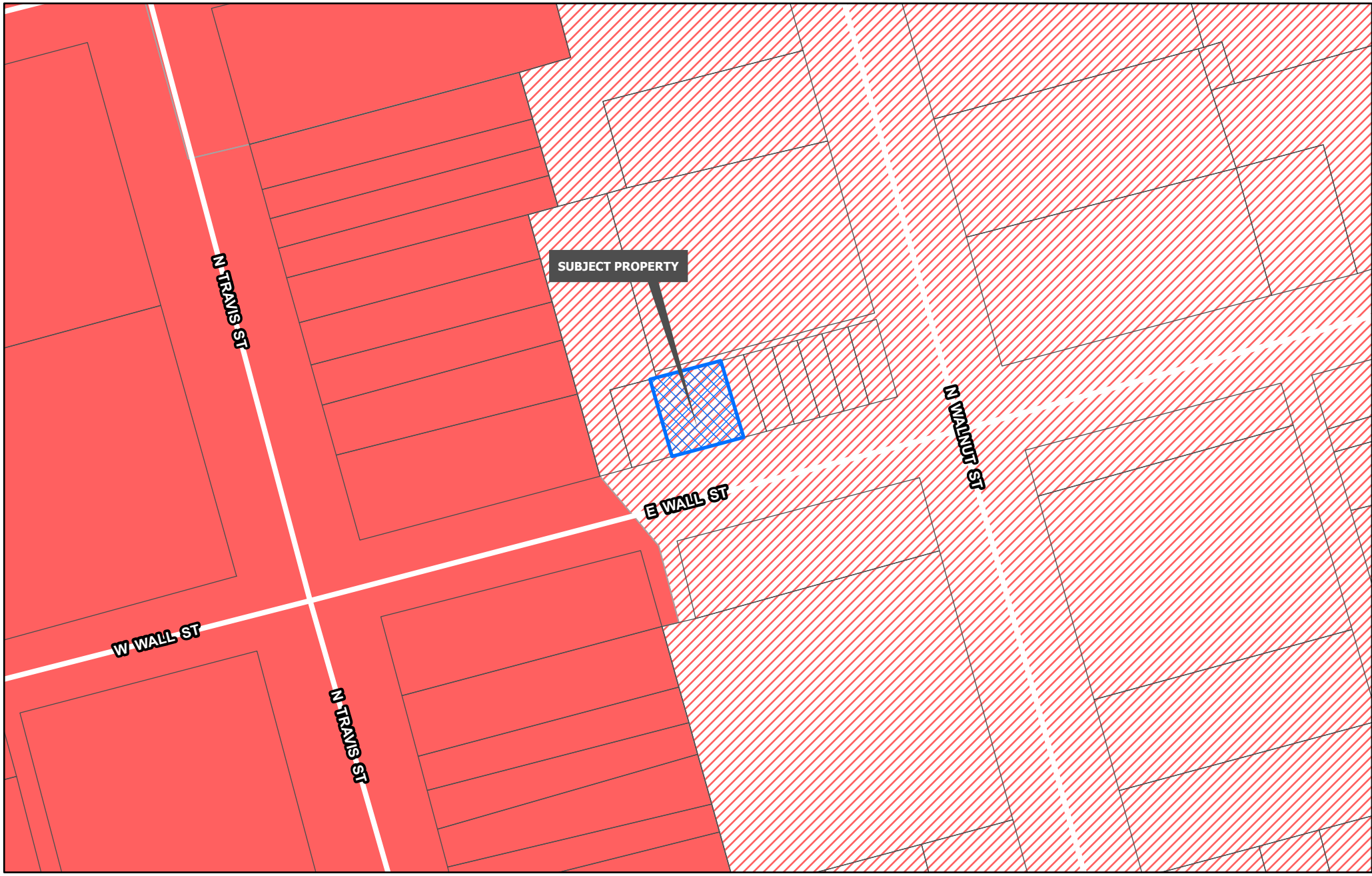
Staff has no objection to the approval of this item.

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**Attachments:**

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Property Notification Sign
5. Survey
6. Project Narrative
7. Site Plan
8. Elevation
9. Staff Review Letter





SUBJECT PROPERTY



- |                                |                                |                            |
|--------------------------------|--------------------------------|----------------------------|
| Planning & Zoning              | R-4 Patio Home Residential     | C-O Office                 |
| R-A Residential Agricultural   | R-2F Duplex Residential        | C-1 Retail Business        |
| R-E Estate Residential         | R-TH Townhome Residential      | C-2 General Commercial     |
| R-12 Single Family Residential | MF-15 Multi-Family Residential | M-1 Light Manufacturing    |
| R-6 Single Family Residential  | MF-30 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-5 Single Family Residential  | MH Manufactured Housing        | M-2 Heavy Manufacturing    |
|                                | C-N Neighborhood Commercial    | PD Planned Development     |

**CITY OF SHERMAN  
ZONING MAP  
121 E WALL ST**



**DOWNTOWN**

**Intent & Character**

The Downtown category is intended to promote the redevelopment of Downtown Sherman. This area has many aspects to consider like mix of uses, historic and cultural elements, aging buildings and infrastructure, and the pedestrian experience. This area should be guided by a Downtown Master Plan that provides uniquely tailored action steps for the area.

**Appropriate Land Use Types**

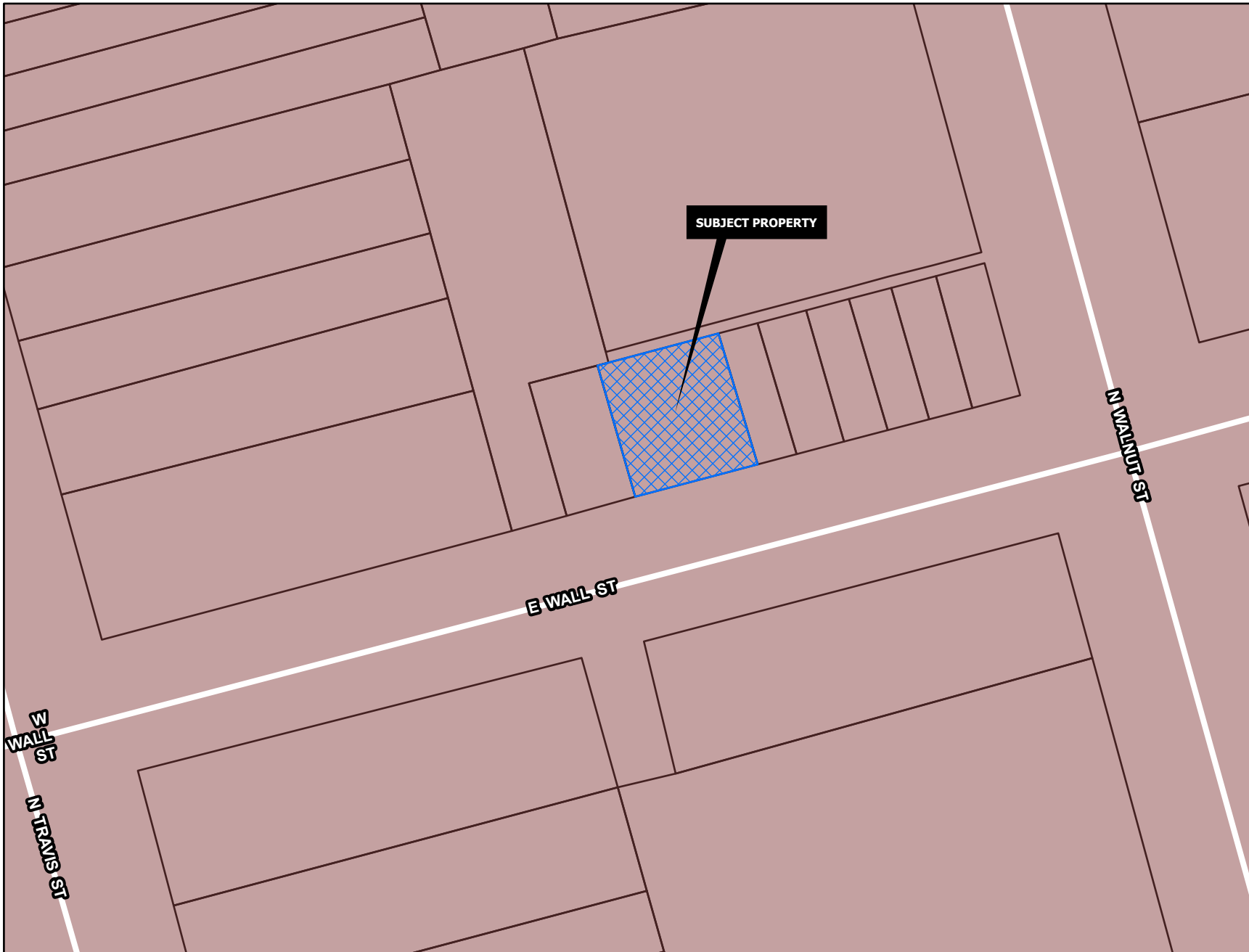
- Residential (upper-story, multi-family)
- Retail and Restaurants
- Entertainment
- Office (preferably on the second floor and above)

**Compatible Zoning Districts**

- Multi-Family Residential (MF-15 and MF-30)
- Office
- Retail Business
- Neighborhood Commercial

**Considerations**

- Land uses in downtown should be balanced to promote activity during business and evening hours.
- Residential should be encouraged to support non-residential uses.
- Public facility uses should not be expanded and should be relocated if located in a part of downtown that would be better served by a more dynamic use.



Agriculture/Rural	Core Neighborhood	Technology Hub
Airport	Downtown	Planning & Zoning
City Parkland	Regional Commercial	
Community Commercial	Suburban Neighborhood	

**CITY OF SHERMAN  
FUTURE LANDUSE MAP  
121 E WALL ST**





# EXHIBIT A

FIELD NOTES  
0.0458 ACRES

SITUATED in the City of Sherman, County of Grayson, State of Texas, being a part of the J. B. McAnair Survey, Abstract No. 763, being a part of Block "D", of T. J. Shannon's Supplement, to the City of Sherman, Texas, as per plat of record in Volume "B", Page 259, Deed Records, Grayson County, Texas, being a part of the 6,976 sq. ft. tract of land (Tract One) conveyed in the Special Warranty Deed with Vendor's Lien, from Grayson County College Foundation, Inc. to John Arriazola and Sharen Arriazola, on May 16, 2014, and recorded in Volume 5464, Page 370, Official Public Records, Grayson County, Texas, and in Grayson County Clerk's Document No. 2014-00009216, and being more particularly described by metes and bounds as follows, to-wit:

BEGINNING at a concrete nail set at the North edge of a concrete sidewalk, and at the South face of a one story brick building, in the South line of said Block "D", in the North line of Wall Street, and in the most Southern South line of said Arriazola Tract One, at the Southeast corner of the herein described tract of land, SAID beginning nail being in the center of a 1.4 ft. wide brick "column face" in said building, and at the Southeast corner of a sub-section of said building known by the address of 121 E. Wall Street, SAID beginning nail being South 74 deg. West, 14.15 ft. from the Southeast corner of said Arriazola Tract One, which is also in the center of a 1.4 ft. wide brick "column face" in said building, and is at the Southeast corner of a sub-section of said building known by the address of 123 E. Wall Street, and SAID beginning nail being South 74 deg. West, 86.15 ft. from the "overall" Southeast corner said brick building, which is at the Southeast corner of said Block "D", and is at the intersection of the North line of Wall Street and the West line of Walnut Street;

THENCE South 74 deg. West, with the South line of said Block "D" and with the North line of Wall Street, and with the "overall" South face of said brick building, a distance of 42.45 ft. to a concrete nail set in the center of yet another 1.4 ft. wide brick "column face" in said building, at the most "Eastern" Southwest corner of said Arriazola Tract One, and at the Southeast corner of the Vanderveer Group, LLC, 15.4 ft. wide by 47.0 ft. deep tract of land in Vol. 5756, Pg. 782, O.P.R.G.C.T., SAID nail being at the Southwest corner of a sub-section of said building known by the address of 117 E. Wall Street, and SAID Vanderveer 15.4 ft. wide tract being at the West 15.4 ft. of said "overall" brick building;

THENCE North 16 deg. West, through said brick building and somewhat along the center of a "party" wall, EXITING said building at 45.2 ft., and continuing for a TOTAL distance of 47.0 ft. to a ½ inch rebar (RPLS 6578) set in a concrete sidewalk or walkway that is behind said building, at the Northeast corner of said Vanderveer 15.4 ft. wide tract;

THENCE North 74 deg. East, over and across a portion of said Arriazola Tract One and along said concrete sidewalk or walkway, a distance of 42.45 ft. to a ½ inch rebar (RPLS 6578) set in said sidewalk, at the Northeast corner of the herein described tract of land;

THENCE South 16 deg. East, ENTERING said brick building at 1.8 ft., and continuing now somewhat along the center of a "party" wall, for a TOTAL distance of 47.0 ft. to the PLACE OF BEGINNING and containing 0.0458 ACRES of land;

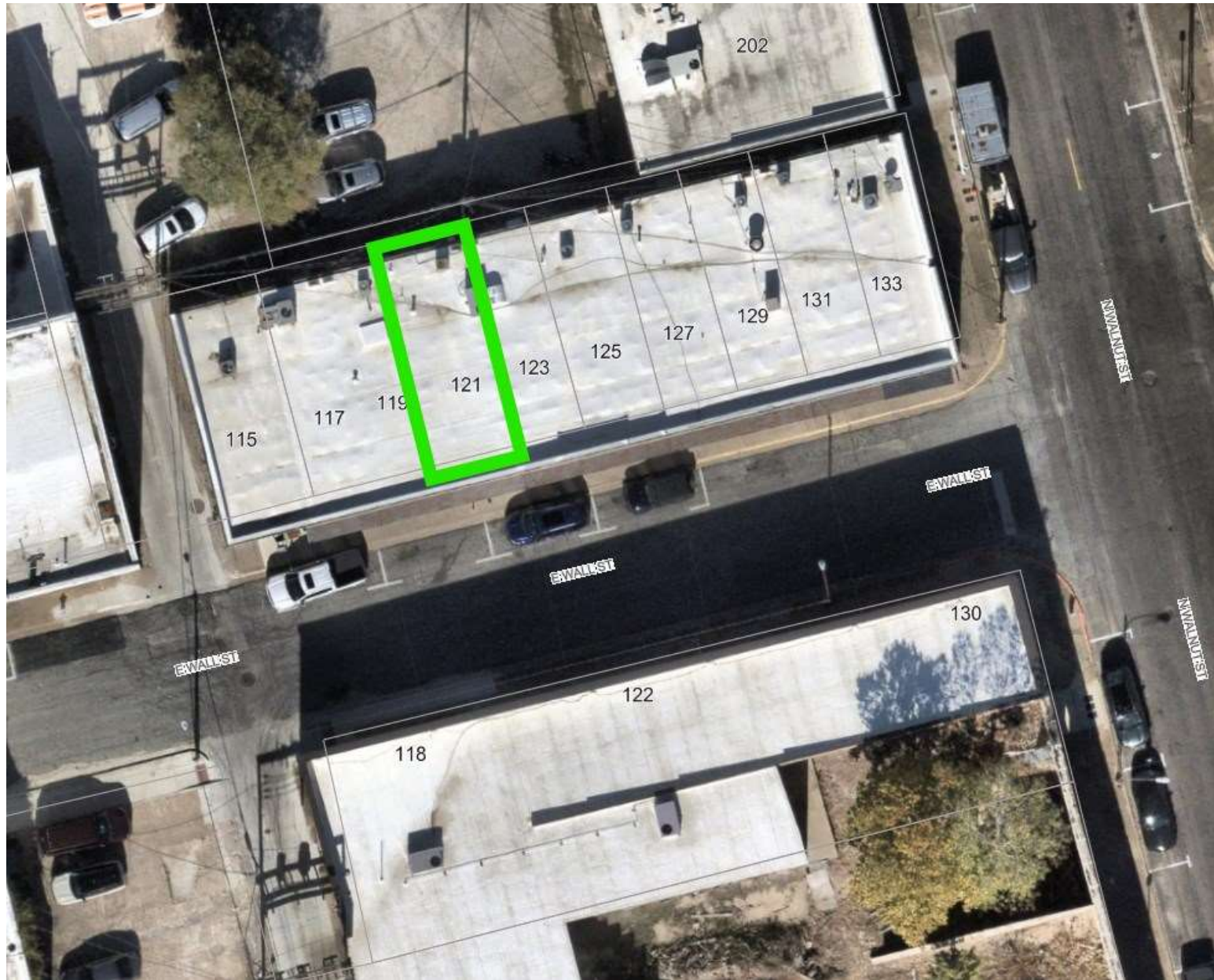
To the City of Sherman Planning and Zoning Committee and City Council. Myself, Caleb Stone, and my partner Jayce Cogburn are seeking approval to relocate our business, Electric Age Tattoo Co. from 119 E Wall St to next door at 121 E Wall St.

Over the past almost 7 years of business, we have grown more than we ever imagined. We now host 4 artists, as well as an apprentice and various guest artists from other parts of the country. This expansion creates limited space with the layout we have now.

121 E Wall St is the same size building, with an open floor plan that would allow us to use the entire building to accommodate our artists and guests.

Our vision is not any different than it was when we began in 2019. We would like our storefront to mimic what it is now to keep familiarity with our customers, and continue to operate just as we always have.

Thank you for your consideration





**STAFF REVIEW LETTER**

May 13, 2026

Sent via Email

John Stone  
119 E. Wall St.  
Sherman, TX 75090

Jayce Cogburn  
339 Gates Ave.  
Durant, OK 74701

Dear Applicants,

The request of a Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow a Tattoo studio in a C-2 (General Commercial) District/Central Business District Overlay/Downtown Subdistrict located at 121 East Wall Street has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, May 19, 2026, at 5:00 P.M., in the City Council Chambers, City Hall at 220 W. Mulberry.

City staff has reviewed your request, and the following items need to be noted/addressed:

**Zoning:**

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Sign Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
3. The property must be properly maintained in a state of good repair and neat appearance.
4. The use of the property must comply with all Federal and State Laws and Regulations and with all the Ordinances, Rules and Regulations of the City of Sherman.
5. The granting of the Specific Use Permit has no effect on the uses permitted as of right and does not waive the regulations of the underlying zoning district.
6. A Specific Use Permit is an amendment to the district regulations of the Zoning Ordinance that permits the establishment of a specific use within a zoning district in which such specific use may be established unless such use of land or structure is discontinued or abandoned for a period of thirty (30) consecutive days in which event such Specific Use Permit shall be void and such use may not thereafter be resumed unless a new Specific Use Permit is granted in accordance with this section. (*Chapter 14, Sec. 14.06.009(a)(1)(C)*)
7. Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission.

**Additional Comments**

8. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded in the event that a person or entity other than Electric Age Tattoo Co. is the owner or lessee of the property.

It is the policy of the Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, do not hesitate to contact Development Services by emailing [planning@cityofsherman.com](mailto:planning@cityofsherman.com) prior to the meeting.

Respectfully,



Rob Rae  
Acting Secretary, Planning and Zoning Board and Board of Adjustment

cc: Zachary Flores, City Manager  
Clint Philpott, Asst. City Manager  
Wayne Lee, P.E., Director of Engineering  
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney  
Steven Davis, Fire Marshal  
Amber Doan, Engineering Coordinator  
Tom Pruitt, Utility Engineer



**Planning & Zoning Commission Development Services**

Agenda Item No. 23.

**Meeting Date:** 5/19/2026

**Prepared By:**

**Approved By:**

**Requested Action/Proposed Use:**

**ADJOURNMENT**

**Background:**

**Origination:**

**Staff Recommendation:**

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**Attachments:**

None

