
AGENDA

The Planning and Zoning Commission and Board of Adjustment of the City of Sherman will hold a regular meeting June 16, 2026, at 5:00 p.m. in the City Council Chambers at 220 W. Mulberry to consider the following:

1. **CALL TO ORDER**
2. **APPROVE MINUTES OF THE REGULAR MAY 19, 2026, PLANNING AND ZONING COMMISSION AND BOARD OF ADJUSTMENT MEETING**

3. **ANNOUNCEMENTS**

4. **CITIZEN COMMENTS**

During this meeting, the Planning and Zoning Commission and Board of Adjustment welcomes public comment **only** on agenda items listed under the Open Meeting portion of the agenda, in accordance with Texas Government Code Section 551.007. For items not listed on the agenda, those matters may be discussed with City staff during regular business hours by contacting them at times other than at Planning and Zoning Commission meetings. There will also be an opportunity to speak regarding any of the public hearing items on the agenda when that item is presented.

Open Public Hearing

5. **CONSENT AGENDA (ITEMS 6, 7, 8, 9, 10 AND 11)**

Asterisked (*) items are considered to be routine and non-controversial items. These items will be enacted in one motion without discussion unless a Commission Member or a member of the audience requests a specific item be discussed and voted on separately prior to a motion and vote.

6. ***400 EAST LAMAR STREET (Project No. 000406-2026)**-The request of MKBCCS Sherman Real Estate LLC (Owner), Cory Tate (Applicant) and Helvey-Wagner Surveying, Inc.(Surveyor), concerning the property located at 400 East Lamar Street consisting of 1.101 acres in the Samuel Blagg Survey, Abstract No. 56 and currently zoned M-2 (Heavy Manufacturing) District, as follows:
Planning and Zoning Commission
Final Plat of W/B 1 Addition.

7. ***2000 BLOCK WEST WASHINGTON STREET (Project No. 000407-2026)**-The request of Grayson Investment II, LLC (Owner), Jackie Fuller (Applicant) and Spiars Engineering, Inc. (Surveyor), concerning the property located in the 2000 Block West Washington Street consisting of 10.302 acres, being part of Lot 1, Block 1, Brookshire Addition, in the J.B. McAnair Survey Abstract No. 763 and currently zoned C-1 (Retail Business) District/F.M. Highway 1417 Overlay District, as follows:
Planning and Zoning Commission
Final Plat of W. Washington Medical Addition.

8. *** 2802 SPRING LAKE DRIVE (Project No. 000408-2026)**-The request of RTG Holdings, LLC (Owner), Chris Noah (Applicant) and Preston Trail Land Surveying (Surveyor), concerning the property located at 2802 Spring Lake Drive consisting of 2.488 acres, being Lots 1 & 2, Block G, Heritage Crossing, Phase 1, in the Fielding Bacon Survey, Abstract No. 120 and currently zoned R-6 (Single-Family Residential) District, as

follows:

Planning and Zoning Commission

Final Plat of Garner's Replat of Heritage Crossing, Phase 1.

9.

*** 2011 AND 2027 TEXOMA PARKWAY (Project No. 000409-20216)**-The request of Grayson County and Ikon Group Opportunity Zone Fund LLC (Owner) and Underwood Drafting & Surveying (Applicant & Surveyor), concerning the property located at 2011 and 2027 Texoma Parkway consisting of 4.62 acres, being Lot 2, Block A, First United Bank Addition, part of Lot 5, Block 2, Teague Industrial Park Unit No. 2, in the J.B. McAnair Survey, Abstract No. 763 and currently zoned C-2 (General Commercial) District, as follows:

Planning and Zoning Commission

Final Plat of Grayson Plaza.

10.

*** 801 BLOCK NORTH FM 1417 (HERITAGE PARKWAY) (Project No. 000396-2026)**-The request of Sherman Apartments LLC & Nagpal Rohit (Owner), CCM Engineering (Applicant), and Preston Trail Land Surveying (Surveyor), concerning the property located in the 801 Block North FM 1417 (Heritage Parkway), consisting of 8.609 acres, being Lot 2-R, Block 5 of Nazarene 1st Addition, being a Replat of Lots 1 and 2, Block 5 of Laurel Creek Addition, in the J.B. McAnair Survey, Abstract No. 763 and G.W. McClothlin Survey, Abstract No. 828 and currently zoned MF-30 (Multifamily Residential) District, as follows:

Planning and Zoning Commission

Site Plan of Sherman Apartments.

11.

***911 EAST BROCKETT STREET (Project No. 000398-2026)** -The request of Austin College (Owner), Mammoth Sports Construction (Applicant), and Traverse Land Surveying LLC (Surveyor), concerning the property located at 911 East Brockett Street, consisting of 2.924 acres in the J.B. McAnair Survey, Abstract No. 763 and currently zoned R-6 (Single-Family Residential) District/College Park Overlay District, as follows:

Planning and Zoning Commission

Site Plan of Austin College Training and Development Center.

12.

300 NORTH BRYANT AVENUE (Project No. 000375-2026)-The request of Cornerstone 633 LLC (Owner), Kenneth Sullivan (Applicant), and Preston Trail Land Surveying (Surveyor), concerning the property located at 300 North Bryant Avenue, being Lots 10 and 12, Block 11, of Greenmount Addition, as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from R-6 (Single-Family Residential) District to C-N (Neighborhood Commercial) District.

13.

1400 BLOCK SOUTH BRANCH STREET (Project No. 000392-2026)-The request of Douglass Distribution (Owner), Jack Sears (Applicant) and Helvey-Wagner Surveying, Inc. (Surveyor), concerning the property located in the 1400 Block South Branch Street, being Lot 9 and part of Lot 10, Block 5, Jones and Wainrights Addition as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from M-2 (Heavy Manufacturing) District to R-5 (Single-Family Residential) District.

14.

112 WEST LAMAR STREET (Project No. 000395-2026)-The request of Joey Gunn (Owner) and Roger Holloman (Applicant), concerning the property located at 112 West Lamar Street, being Lot 3, Block 7 Original Town Plat, as follows:

Planning and Zoning Commission

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Commercial amusement

centers, indoor only in a C-1 (Retail Business) District/Central Business District Overlay/Downtown Subdistrict.

15.

5301 BLOCK WEST HOUSTON STREET (Project No. 000399-2026)-The request of Poufar Ventures (Owner), FLEXD Development, LLC (Applicant), and Kimley-Horn (Surveyor), concerning the property located in the 5301 Block West Houston Street consisting of 18.3788 acres in the E.N. Deaver Survey, Abstract No. 358, as follows:

Planning and Zoning Commission

- A. Public Hearing and Zone Change from R-A (Residential Agricultural) District to PD (Planned Development) District for FLEXD Sherman with a base zoning of C-2 (General Commercial) District.
- B. Site Plan Approval of FLEXD Sherman.

Close Public Hearing

16. **ADJOURNMENT**

Overall Location Map

By direction of the Planning and Zoning Commission and Board of Adjustment of the City of Sherman.

Leigh Ann Sims, Chairman

ATTEST: Rob Rae, Secretary

Meetings of this advisory board are open to the public

Note: The above agenda schedule represents an estimate of the order for the indicated items and is subject to change at any time.

In accordance with the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the Planning and Zoning Commission and Board of Adjustment may hold an executive session if the discussion of any of the items identified in this agenda, or any of the items identified below, concern one or more of the following:

Tex. Gov't Code § 551.071

Seeking the advice of its attorney about pending or contemplated litigation, settlement offers or any matter in which the duty of the attorney to the Planning and Zoning Commission and Board of Adjustment under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act.

Certification

I, the undersigned authority, do hereby certify that the above Agenda of the Regular Meeting of the Board of Adjustment and Planning and Zoning Commission of the City of Sherman is a true and correct copy of said Notice and that I posted a true and correct copy of said Notice on the bulletin board, at City Hall, of said City of Sherman, Texas, a place convenient to the public and said notice was posted on June 10, 2026 at 4:00 p.m. and said time of posting was three (3) business days before said meeting was convened or called to order.

Dated this 10th of June, 2026

City of Sherman, Texas

Tammy Mrozinski,
Development Services Coordinator

ACTION MINUTES

The Planning and Zoning Commission and Board of Adjustment of the City of Sherman held a regular meeting Tuesday, May 19, 2026, at 5:00 P.M. located in the Council Chambers at 220 West Mulberry Street to consider the following:

All requests are subject to the Zoning Ordinance/Code of Ordinance Chapter 14, unless otherwise stated.

Commission Member Whitaker was not in attendance.

1. CALL TO ORDER

Bookmarked at 00:12:54

Chairman Sims called the meeting to order at 5:11p.m.

2. APPROVE ACTION MINUTES OF THE REGULAR APRIL 21, 2026, PLANNING AND ZONING COMMISSION AND BOARD OF ADJUSTMENT MEETING.

Bookmarked at 00:14:01

The Planning and Zoning Commission reviewed the minutes of the April 21, 2026, Regular Meeting. Motion by Commission Member Dupuis to approve the Minutes as written. Second by Vice Chairman Downtain. All present voted AYE.

3. ANNOUNCEMENTS

Bookmarked at 00:16:19

4. CITIZEN COMMENTS

During this meeting, the Planning and Zoning Commission and Board of Adjustment welcomes public comment **only** on agenda items listed under the Open Meeting portion of the agenda, in accordance with Texas Government Code Section 551.007. For items not listed on the agenda, those matters may be discussed with City staff during regular business hours by contacting them at times other than at Planning and Zoning Commission meetings. There will also be an opportunity to speak regarding any of the public hearing items on the agenda when that item is presented.

Bookmarked at 00:16:24

Open Public Hearing

5. CONSENT AGENDA (ITEMS 6, 7, 8, 9, 10, 11, 12, AND 13)

Asterisked (*) items are considered to be routine and non-controversial items. These items will be enacted in one motion without discussion unless a Commission Member or a member of the audience requests a specific item be discussed and voted on separately prior to a motion and vote.

Bookmarked at 00:15:20

The Commission reviewed the Consent Agenda. Vice Chairman Downtain moved to approve items 6, 7, 8, 9, 10, 11, 12 and 13 on the Consent Agenda as presented. Second by Commission Member Ramirez.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ, DUPUIS AND JOHNSON

VOTING NAY: NONE

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

6. * 606 EAST LAMBERTH ROAD (Project No. 000358-2026)

The request of Stanley V. Graff (Owner), Joel Vitela (Applicant), and Texas Heritage Surveying, LLC (Surveyor) concerning the property located at 606 East Lamberth Road, consisting of 1.990 acres, being Lots 2 & 3, Block 4, Dr. J.H. Carraway's Sub-Division, in the J.B. McAnair Survey, Abstract No. 763 and currently zoned C-2 (General Commercial) District/75 & 82 Overlay District, as follows:

Planning and Zoning Commission

Final Plat of Sherman Chevrolet Quick Lube.

7. * **2206 EAST LAMAR STREET (Project No. 000372-2026)**
The request of Goodwill Industries of Northeast Texas, Inc. (Owner), Katherine Alford (Applicant) and Kimley-Horn and Assoc. Inc (Surveyor) concerning the property located at 2206 East Lamberth Street, consisting of 12.670 acres in the George B. Pilant Survey, Abstract No. 963 and currently zoned C-2 (General Commercial) District, as follows:
Planning and Zoning Commission
Final Plat of Goodwill Sherman.

- 8.* **615 SOUTH MAXEY STREET (Project No. 000384-2026)**
The request of Gustavo Vega Cortes & Mayra Yanet Gutierrez Campos (Owners), and Keeton Surveying Company (Surveyor) concerning the property located at 615 South Maxey Street, consisting of 0.211 acres, being Lots 7 and 8, and part of Lot 9 Block 7, W. Elliot's Addition, in the George B. Pilant Survey, Abstract No. 963 and currently zoned R-6 (Single-Family Residential) District, as follows:
Planning and Zoning Commission
Final Plat of CC Addition.

9. * **10 TIMBERCREEK ROAD (Project No. 000386-2026)**
The request of Tonya and Harry Hudgins (Owners), and Copley Land Surveying (Surveyor) concerning the property located at 10 Timbercreek Road, consisting of 6.421 acres, being all of Lot 1 and Lot 2, of a Replat of Lot Three (3) of the Corrected Plat, Lisa Addition, in the George W. McGlothlin Survey, Abstract No. 828 and William Thompson Survey, Abstract No. 1210 and currently zoned R-6 (Single-Family Residential) District, as follows:
Planning and Zoning Commission
Final Plat of Hudgins Addition.

10. * **506 NORTH GRAND AVENUE (Project No. 000388-2026)**
The request of Michael and Heather Putnam (Owners) and Helvey-Wagner Surveying, Inc. (Surveyors) concerning the property located at 506 North Grand Avenue, consisting of 0.938 acres, being Lots 3, 4, 7 and 8, Block 18, College Park Addition, in the C. Carter Survey, Abstract No. 229 and currently zoned R-6 (Single-Family Residential) District/College Park Overlay District as follows:
Planning and Zoning Commission
Final Plat of Putnam Estate.

11. * **1414 SOUTH AUSTIN STREET (Project No. 00089-2026)**
The request of Victor Hugo Cabrera Cano (Owners), and Helvey-Wagner Surveying, Inc. (Surveyor) concerning the property located at 1414 South Austin Street, consisting of 0.230 acres, being part of Lot 4, Block 24, B.H. Moore Heirs Addition, in the Samuel Blagg Survey, Abstract No. 56 and currently zoned R-6 (Single-Family Residential) District/Sam Rayburn Overlay District , as follows:
Planning and Zoning Commission
Final Plat of Victor Addition.

12. * **3401 STEEPLE CHASE DRIVE (Project No. 000368-2026)**
The request of Steeple Chase 3401 LLC (Owner), Preetam Palchuru (Applicant), and KAZ Surveying (Surveyor) concerning the property located at 3401 Steeple Chase Drive, consisting of 10.30 acres in the Elizabeth Jones Survey, Abstract No. 625 and currently zoned MF-30 (Multifamily Residential) District, as follows:
Planning and Zoning Commission
Site Plan of Pebblebrook Multifamily Development.

13. * **6800 SOUTH HIGHWAY 75 (Project No. 000374-2026)**
The request of Finisar Sherman RE Holdco LLC (Owner), Ashley Villareal (Applicant) and Ringley & Associates, Inc. (Surveyor), concerning the property located at 6800 South Highway 75, consisting of 76.763 acres in the James A Foster Survey, Abstract No. 418, the Robert Foster Survey, Abstract No. 420 and the Marion G. Fellers Survey, Abstract No. 427 and currently zoned M-1.5 (Medium Manufacturing) District/75 & 82 Overlay District, as follows:
Planning and Zoning Commission
Site Plan of Coherent Logistics Building Addition.

14. **2005 SOUTH SAM RAYBURN FREEWAY (Project No. 000318-2026)** **TABLED ON 3-24-2026**

The request of NNN REIT, INC. (Owner), Dayna Ausing (Applicant), and Gonzalez & Schneeberg Engineers & Surveyors (Surveyor) concerning the property located at 2005 South Sam Rayburn Freeway, consisting of 13.91 acres, being Lot 1, Block 43R, South Side Addition, being a Replat of Blocks 37, 38, 39, and Tracts 1, 3 and 4 of the Replat of South Side Addition, in the Preston Kitchen Survey, Abstract No. 667 and currently zoned M-1 (Light Manufacturing) District/ Sam Rayburn Overlay District, as follows:

Board of Adjustment

Public Hearing and Variance under Section 14.07.009 to allow a 65' tall pylon sign in lieu of the allowed 50'.

Bookmarked at 00:16:31

Motion by Commission Member Blagg to remove the Variance from the table. Second by Vice Chairman Downtain.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ, DUPUIS AND JOHNSON

VOTING NAY: NONE

MOTION CARRIED.

The item was untabled by the commission.

Motion by Commission Member Ramirez to deny the Variance located 2005 South Sam Rayburn Freeway. Second by Vice Chairman Downtain.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ AND DUPUIS

VOTING NAY: NONE

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST DOES NOT CONFORM TO THE INTENT OF THE ORDINANCE.

15. **1501 BLOCK TATE CIRCLE (Project No. 000328-2026)** **TABLED ON 4-21-2026**

The request of Sherman Lakes JV, LLC (Owner), Stacey Capogrossi (Applicant) and Windrose Land Surveying (Surveyor) concerning the property located in the 1501 Block Tate Circle, consisting of 183.681 acres in the Benjamin Lindsey Survey, Abstract No. 733 and the Henry Tucker Survey, Abstract No. 1217 and located in the E.T.J. (Extra-Territorial Jurisdiction), as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from R-A (Residential Agricultural) District to a PD (Planned Development) District for Sherman Lakes Development.

Bookmarked at 00:20:40

Motion by Vice Chairman Downtain to remove the Zone Change from the table. Second by Commission Member Dupuis.

The item was removed from the table.

Motion by Vice Chairman Downtain to deny the Zone Change located at 1501 Block Tate Circle. Second by Commission Member Dupuis.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ, DUPUIS AND JOHNSON

VOTING NAY: NONE

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST DOES NOT CONFORM TO THE INTENT OF THE ORDINANCE.

16. **1001 SOUTH SAM RAYBURN FREEWAY (Project No.000364-2026)**

The request of Ferrell Carroll (Owner), Shane Carroll (Applicant), concerning the property located at 1001 South Sam Rayburn Freeway, consisting of 0.3511 acres, being Lots 7, 8 and 9 of the Exsteins Brennan Addition, and currently zoned C-2 (General Commercial) District/Sam Rayburn Overlay District as follows:

Planning and Zoning Commission

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Automobile, motorcycle, boat, or trailer sales, new or used in a C-2 (General Commercial) District/Sam Rayburn Overlay District.

Bookmarked at 01:10:42

Motion by Commission Member Ramirez to approve the Specific Use Permit located at 1001 South Sam Rayburn Freeway. Second by Commission Member Blagg.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ, DUPUIS AND JOHNSON

VOTING NAY: NONE.

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

17. 1916 GALLAGHER DRIVE (Project No. 000365-2026)

The request of Brody Starks (Owner), Shierly Ucol (Applicant), and Winkelman & Associates, Inc. (Surveyor) concerning the property located at 1916 Gallagher Drive, consisting of 3.996 acres, being Block 18 and a part of Block 17, Lots 20-27 of Block 11 and Blocks 12, 13, 14, 15, 16, Town North Addition, in the Rueben Hendrix Survey, Abstract No. 504 and currently zoned C-2 (General Commercial) District, as follows:

Planning and Zoning Commission

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Contractors or construction offices, equipment sales, service, rental and repair, with outdoor storage in a C-2 (General Commercial) District.

Bookmarked at 01:16:02

Motion by Vice Chairman Downtain to approve the Specific Use Permit located at 1916 Gallagher Drive.

Second by Commission Member Blagg.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ, DUPUIS AND JOHNSON

VOTING NAY: NONE.

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

223 WEST PELTON STREET (Project No. 000367-2026)

The request of Alka Ventures LLC (Owner), Danielle Moore (Applicant), and CBG Surveying Texas LLC (Surveyor) concerning the property located at 223 West Pelton, consisting of 0.22 acres in the J.B. McAnair Survey, Abstract No. 763, as follows:

Board of Adjustment

- A. Public Hearing and Variance under Section 14.02.009 to allow a lot width of 67.30' in lieu of the required 80'.

Planning and Zoning Commission

- B. Public Hearing and Zone Change from R-6 (Single-Family Residential) District to R-2F (Duplex Residential) District.

Bookmarked at 01:00:13

Board of Adjustment

Motion by Vice Chairman Downtain to deny Item A located at 223 West Pelton Street. Second by Commission Member Ramirez.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ AND DUPUIS

VOTING NAY: NONE.

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST DOES NOT CONFORM TO THE INTENT OF THE ORDINANCE.

Planning and Zoning Commission

Motion by Vice Chairman Downtain to deny Item B located at 223 West Pelton Street. Second by Commission Member Ramirez.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ, DUPUIS AND JOHNSON

VOTING NAY: NONE.

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST DOES NOT CONFORM TO THE INTENT OF THE ORDINANCE.

300-1200 BLOCKS WEST HIGHWAY 82 (Project No. 000369-2026)

The request of AJH Enterprises LTD (Owner), Bryan Weisgerber (Applicant), and Underwood Drafting & Surveying (Surveyor), concerning the property located in the 300-1200 Blocks West Highway 82, consisting of 14.384 acres, being Lot 1, Block N, in the J.B. McAnair Survey, Abstract No. 763, as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from R-6 (Single Family Residential) District/75 & 82 Overlay District to C-1 (Retail Business) District/75 & 82 Overlay District.

Bookmarked at 01:25:00

Motion by Commission Member Ramirez to approve the Zone Change located in the 300-1200 Blocks West Highway 82. Second by Commission Member Johnson.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ, DUPUIS AND JOHNSON

VOTING NAY: NONE.

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

20. 1410 WEST HOUSTON STREET (Project No. 000371-2026)

The request of Laurel Acres (Owner), Gustavo Cardona de Liva (Applicant), and Jerry P. Montgomery (Surveyor), concerning the property located at 1410 West Houston Street, being Lot 1, Block 3 Elliott's Gray's Hill Addition and currently zoned C-2 (General Commercial) District, as follows:

Planning and Zoning Commission

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Automobile, repair, body work, or painting in a C-2 (General Commercial) District.

Bookmarked at 01:31:51

Motion by Vice Chairman Downtain to approve the Specific Use Permit located at 1410 West Houston Street. Second by Commission Member Ramirez.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ, DUPUIS AND JOHNSON

VOTING NAY: NONE.

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

21. 121 EAST WALL STREET (Project No. 000373-2026)

The request of RLMG 401K Trust (Owner), and John Stone (Applicant) concerning the property located at 121 East Wall Street, consisting of 0.458 acres, being part of Block D, T.J. Shannon's Supplement, in the J.B. McAnair Survey, Abstract No. 763 and currently zoned C-2 (General Commercial) District/Central Business District Overlay/Downtown Subdistrict, as follows:

Planning and Zoning Commission

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow a Tattoo studio in a C-2 (General Commercial) District/Central Business District Overlay/Downtown Subdistrict.

Bookmarked at 01:42:33

Motion by Vice Chairman Downtain to approve the Specific Use Permit located at 121 East Wall Street. Second by Commission Member Blagg.

VOTING AYE: SIMS, DOWNTAIN, BLAGG, RAMIREZ, DUPUIS AND JOHNSON

VOTING NAY: NONE.

MOTION CARRIED.

THE COMMISSION FOUND THE REQUEST CONFORMS TO THE INTENT OF THE ORDINANCE.

22. EXECUTIVE SESSION

In accordance with the Texas Open Meetings Act, Chapter 551 of the Texas Government Code, the Planning and Zoning Commission and Board of Adjustment may hold an Executive Session if the discussion of any of the items identified in this agenda, or any of the items identified below, concerning the following:

TEX. GOV'T CODE § 551.071

Seeking the advice of its attorney about pending or contemplated litigation, settlement offers or any matter in which the duty of the attorney to the Planning and Zoning Commission and Board of Adjustment under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with the Texas Open Meetings Act.

- A. *PHT Hospitality LLC vs The Zoning Board of Adjustment of the City of Sherman, Texas*, Cause No. CV-26-1056, in the 397th District Court of Grayson County, Texas

ADJOURNMENT

6:44 p.m. The Commission went into Executive Session under Texas Government Code 551.071 (Consultation with City Attorney).

RECONVENE

The Executive Session closed, and the meeting was reconvened at 7:11 p.m.

23.

ADJOURNMENT

Bookmarked at 02:13:24

Chairman Sims adjourned the meeting at 7:12p.m.



ACTING SECRETARY

CHAIRMAN

From: Sandra Melton <smelton117@gmail.com>
Sent: Tuesday, May 19, 2026 4:17 PM
To: Rae, Rob <robr@cityofsherman.com>
Subject: Zone Request Change

EXTERNAL EMAIL: -- Avoid clicking on links or files -- Be safe!

Hi Rob,

I am writing to express my opposition to the requested zoning change for the property at the corner of Rex Cruse and the Hwy 82 service road.

If this change is approved, I believe it is essential that Rex Cruse be widened before any further building occurs. The current infrastructure, specifically the service road and highway access points, is already insufficient for existing traffic. Adding a retail development or additional housing would further strain the surrounding neighborhoods and roads.

While I understand the city of Sherman's desire for growth, it should not come at the expense of established areas. I am concerned that the current plan does not adequately account for the impact on our streets and the residents who have invested their lives here.

Thank you for sharing these concerns with the board prior to the vote.

Best regards,

Sandra Melton



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 5.

Meeting Date: 6/16/2026

Prepared By:

Approved By:

Requested Action/Proposed Use:

CONSENT AGENDA (ITEMS 6, 7, 8, 9, 10 AND 11)

Background:

Origination:

Staff Recommendation:

Attachments:

None



Planning & Zoning Commission Development Services

Agenda Item No. 6.

Meeting Date: 6/16/2026

Prepared By: Tammy Mrozinski, Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

***400 EAST LAMAR STREET (Project No. 000406-2026)**-The request of MKBCCS Sherman Real Estate LLC (Owner), Cory Tate (Applicant) and Helvey-Wagner Surveying, Inc.(Surveyor), concerning the property located at 400 East Lamar Street consisting of 1.101 acres in the Samuel Blagg Survey, Abstract No. 56 and currently zoned M-2 (Heavy Manufacturing) District, as follows:

Planning and Zoning Commission

Final Plat of W/B 1 Addition.

Background:

The property is located at 400 East Lamar Street. The owner is requesting final plat approval.

The following has been approved at this location:

- 4/21/2026 - Public Hearing and Variance under Section 14.02.020 to allow 0' side setback in lieu of the required 25' for an existing structure.
- 4/21/2026 - Public Hearing and Variance under Section 14.02.020 to allow 12' setback in lieu of the required 25' for the proposed structure.
- 4/21/2026 - Site Plan for Accessory Structure Addition.
- 12/11/1984 - Exception to allow a 0' front setback in lieu of 15'.

Origination:

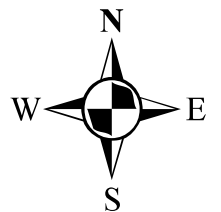
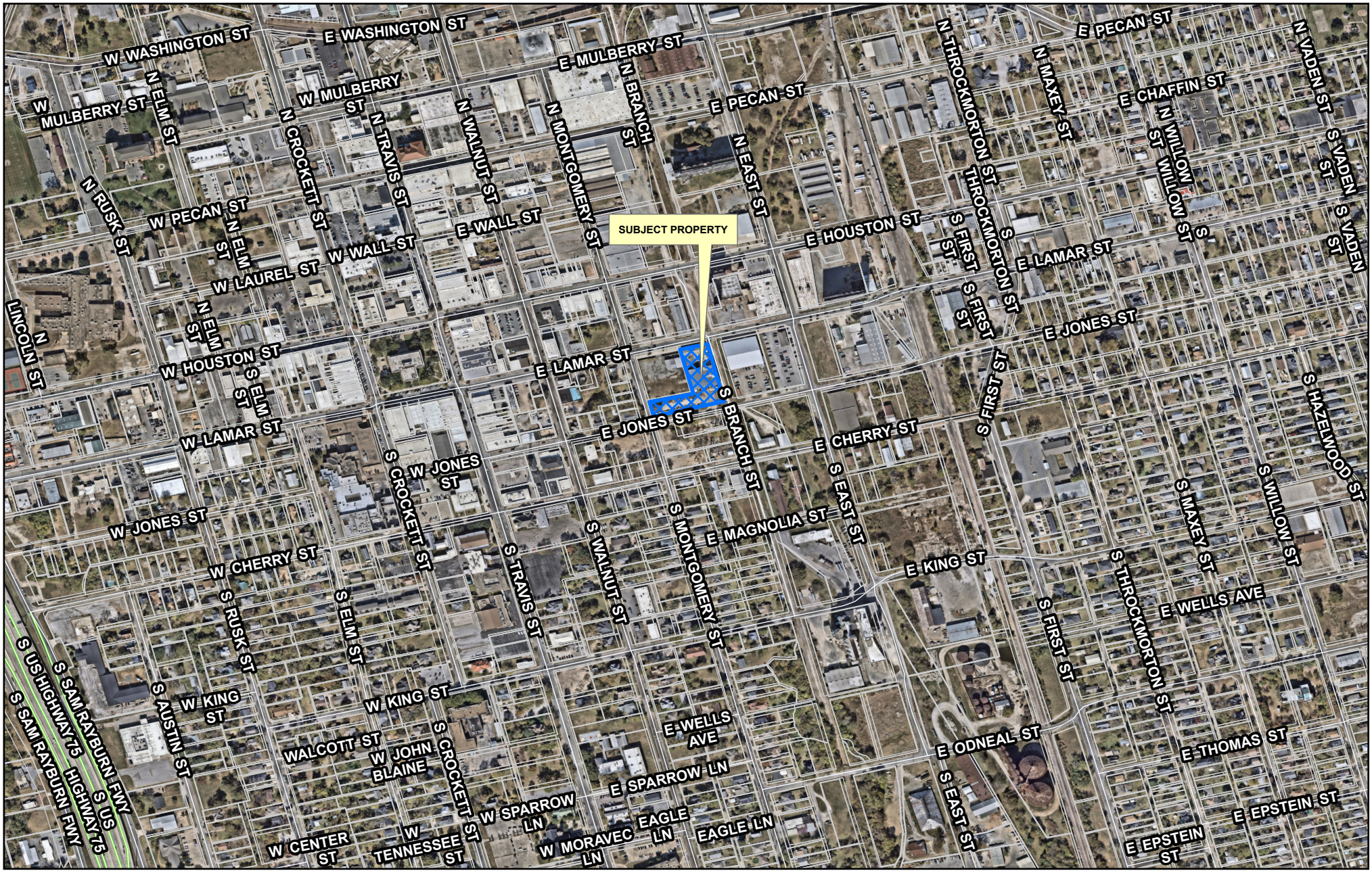
The request of MKBCCS Sherman Real Estate LLC (Owner), Cory Tate (Applicant) and Helvey-Wagner Surveying, Inc.(Surveyor).

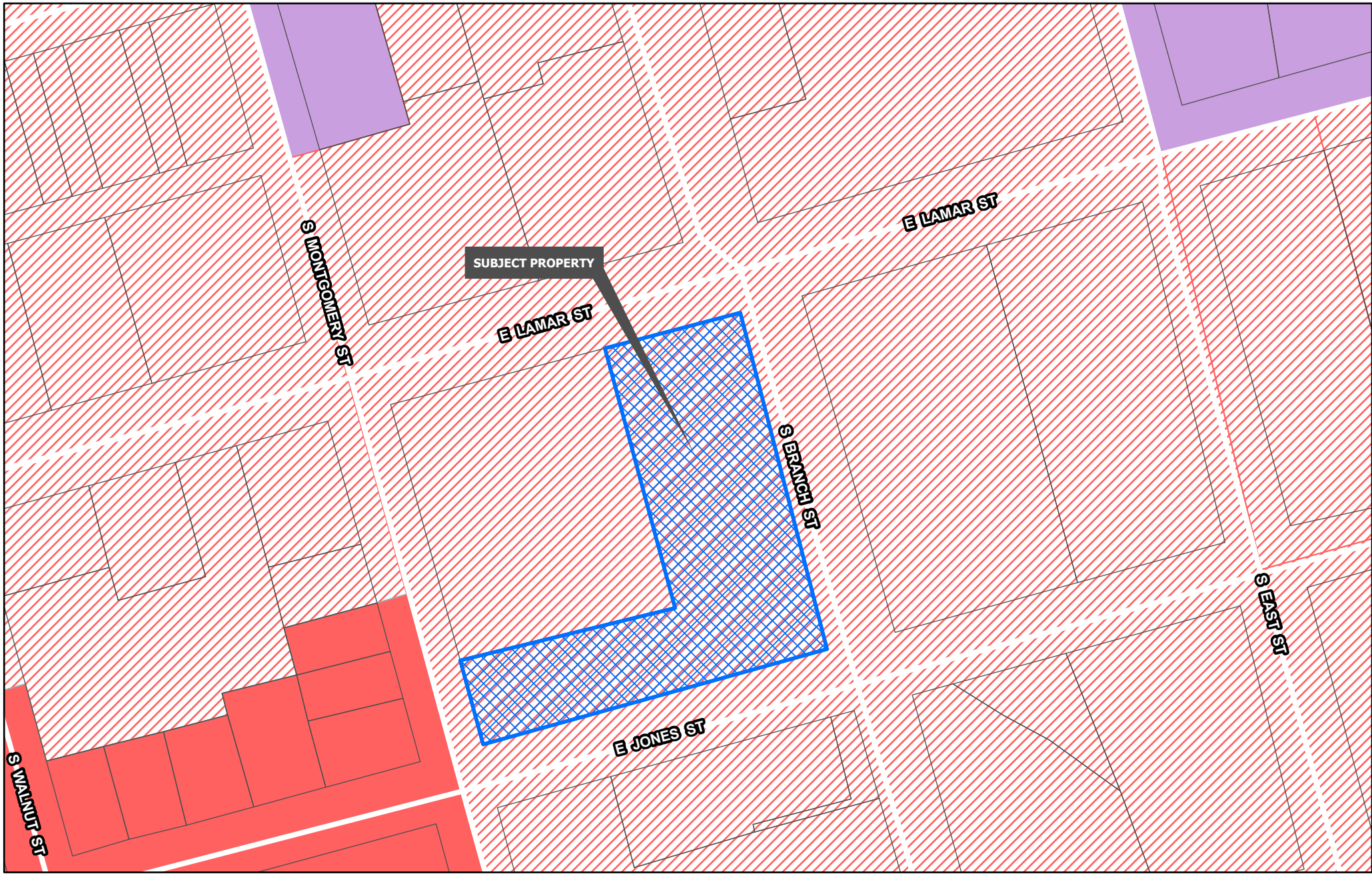
Staff Recommendation:

Staff recommends P&Z approve this item.

Attachments:

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Final Plat
5. Conditional Approval Letter





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

CITY OF SHERMAN
ZONING MAP
400 E LAMAR ST



DOWNTOWN

Intent & Character
 The Downtown category is intended to promote the redevelopment of Downtown Sherman. This area has many aspects to consider like mix of uses, historic and cultural elements, aging buildings and infrastructure, and the pedestrian experience. This area should be guided by a Downtown Master Plan that provides uniquely tailored action steps for the area.

Appropriate Land Use Types

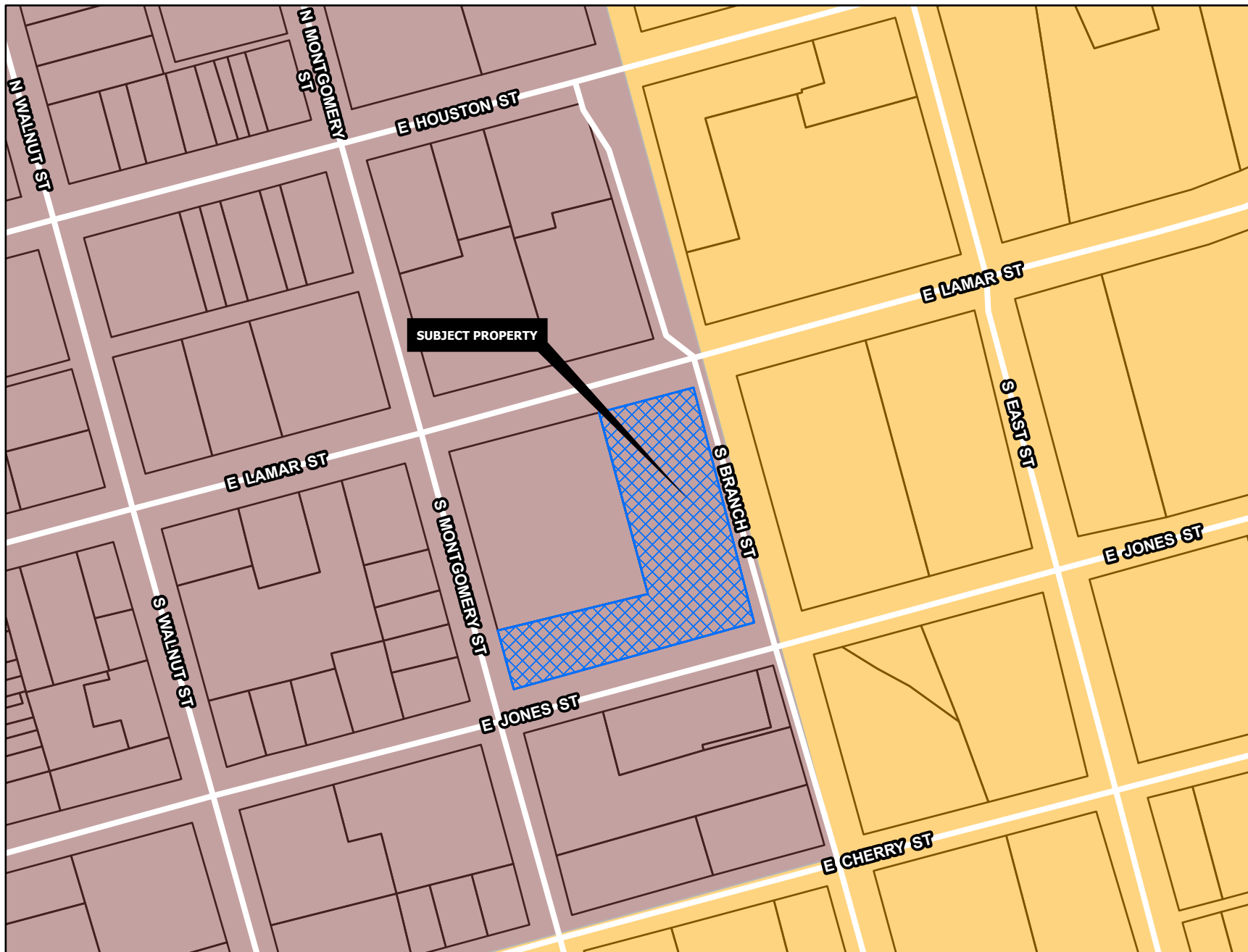
- Residential (upper-story, multi-family)
- Retail and Restaurants
- Entertainment
- Office (preferably on the second floor and above)

Compatible Zoning Districts

- Multi-Family Residential (MF-15 and MF-30)
- Office
- Retail Business
- Neighborhood Commercial

Considerations

- Land uses in downtown should be balanced to promote activity during business and evening hours.
- Residential should be encouraged to support non-residential uses.
- Public facility uses should not be expanded and should be relocated if located in a part of downtown that would be better served by a more dynamic use.



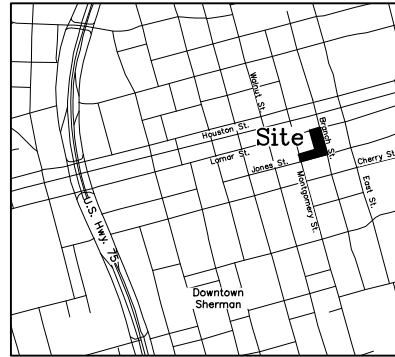
Sherman
 CLASSIC TOWN. BROAD HORIZON.
 Development Services Department

- Agriculture/Rural
- Core Neighborhood
- Technology Hub
- Airport
- Downtown
- Planning & Zoning
- City Parkland
- Regional Commercial
- Suburban Neighborhood
- Community Commercial

**CITY OF SHERMAN
 FUTURE LANDUSE MAP
 400 E LAMAR ST**

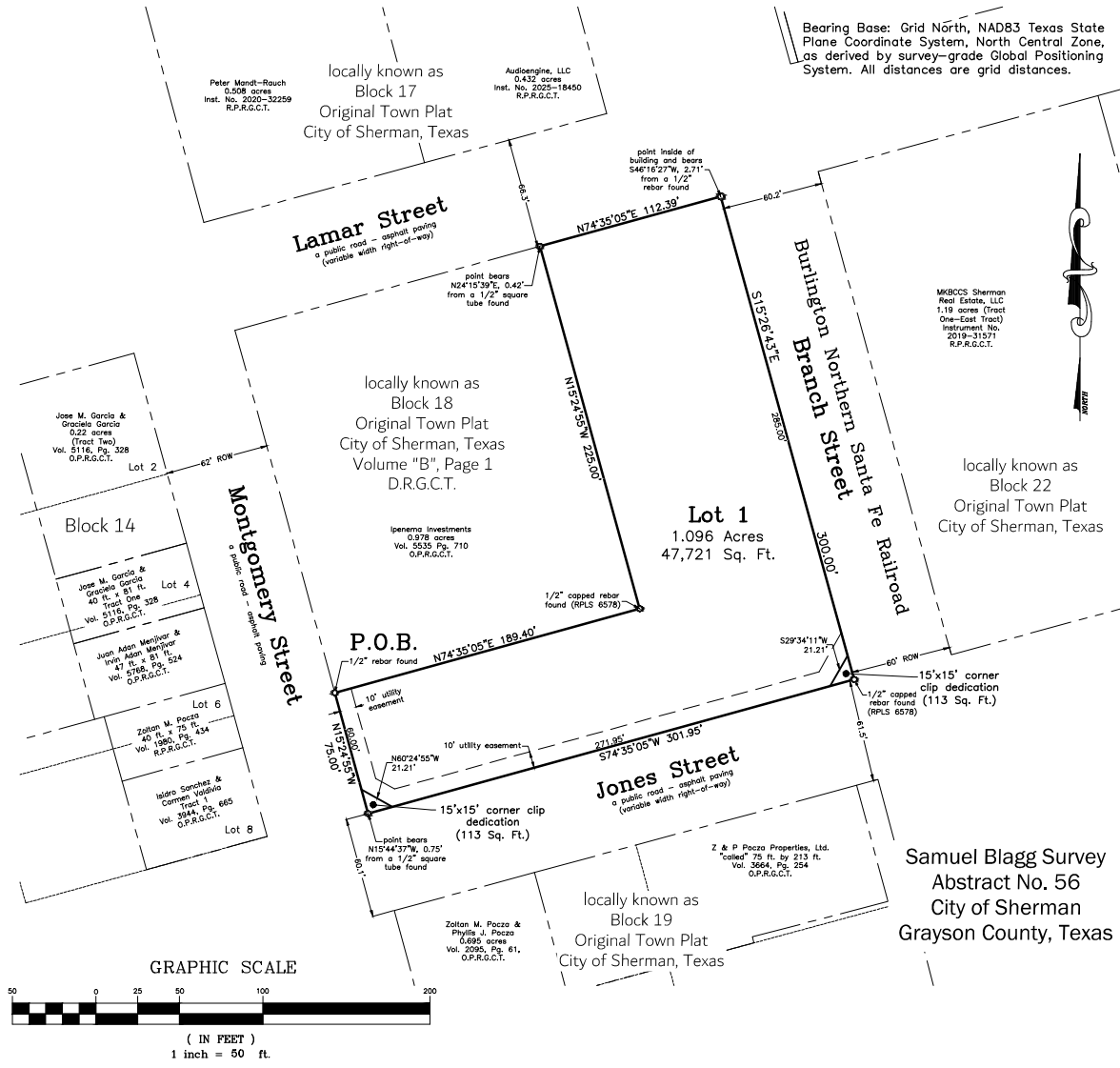


Vicinity Map
(not to scale)



General Notes:

1. Water Supply to be provided by City of Sherman.
2. Sewer service to be provided by City of Sherman.
3. Electrical service is provided by Oncor Electric Delivery Co.
4. Blocking the flow of water or construction of improvements in drainage easements, and filling or obstruction of the floodway is prohibited.
5. Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
6. The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or for the control of erosion.
7. The subject property does not lie within a 100-year Flood Hazard Area Designation, as scaled from the Flood Insurance Rate Map for Grayson County, Texas and Incorporated Areas, Map No. 48181C0290 G, Revised Date: September 1, 2022.
8. Neither the City of Sherman nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
9. The owners and builders must comply with all other state and federal regulations regarding developments of this type.



**STATE OF TEXAS
COUNTY OF GRAYSON**

I, MKBCCS Sherman Real Estate, LLC, owner of W/B 1 Addition to the City of Sherman, Texas, do hereby dedicate the streets, easements, alleys, rights-of-way, parks, school sites and other public places shown hereon to the public use forever.

Cory Tate
Authorized Representative for MKBCCS Sherman Real Estate, LLC

AVIGATION RELEASE

KNOW ALL MEN BY THESE PRESENTS:

WHEREAS, MKBCCS Sherman Real Estate, LLC, hereinafter called OWNERS, are the owners of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described in this plat.

OWNERS do hereby waive, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, a home-rule municipality, hereinafter called CITY, and the Sherman Municipal Airport, hereinafter called AIRPORT, and their respective successors and assigns, of and from any and all claims for damages of any kind that OWNER may now have or may hereinafter have in the future by reason of the passage of any and all aircraft ("aircraft" being defined for the purpose of this instrument as any contrivance now known or hereinafter invented, including but not limited to jet, propeller-driven, civil, military, experimental or commercial aircraft and helicopters, regardless of existing or future noise levels, designed or used for the purpose of transporting persons or property through the air, by whoever owned or operated), in the airspace over OWNER'S property. Such release shall include, but not be limited to, any damages to OWNER'S property, such as noise, vibration, fumes, dust, fuel and lubricant particles, and all other effects that may be caused by the operation of aircraft landing at, taking off from, operating at or on, or being maintained at the Sherman Municipal Airport, whether such claim be for injury or death to person or persons or damages to or taking of property.

This Release shall be binding upon OWNER and OWNER'S successors, heirs, executors, administrators and assigns, and shall be a covenant running with the land.

Executed this _____ day of _____ AD, 2026.

Cory Tate
Authorized Representative for MKBCCS Sherman Real Estate, LLC

Before me the undersigned, a notary public in and for said County and State, on this day personally appeared Cory Tate, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed and in the capacity therein stated.

Given under my hand and seal of office this _____ day of _____, 2026.

Notary Public, Grayson County, Texas

CITY ACCEPTANCE

City Engineer
City of Sherman

Date

ATTEST:

City Clerk

LEGAL DESCRIPTION

SITUATED in the City of Sherman, Grayson County, Texas, being a part of the Samuel Blagg Survey, Abstract No. 56, being a known as a part of Block 18, of the Original Town Plat of the City of Sherman, Texas as recorded in Volume "B", Page 1, Deed Records, Grayson County, Texas, (the ORIGINAL TOWN PLAT of SHERMAN of record in Volume "B", Page 1, Deed Records, Grayson County, Texas, has fifteen blocks numbered 1 through 15 and does not include said Block 18) and being all of the 1.10 acre tract of land (Tract Two--West Tract) as conveyed by Special Warranty Deed with Vendor's Lien, from Metallium Iron Works Real Estate, LLC, to MKBCCS Sherman Real Estate, LLC on December 27, 2019 and recorded in Instrument Number 2019-31571, Real Property Records, Grayson County, Texas and being more particularly described by metes and bounds as follows to wit:

BEGINNING at a 1/2 inch rebar found in the East line of Montgomery Street, a public street, and in the West line of said Block 18, at the Southwest corner of the 0.978 acres conveyed to Ipenema Investments in Volume 5535, Page 710, said Official Public Records, and the most Westerly Northwest corner of said MKBCCS Sherman Real Estate 1.10 ac.;

THENCE North 74 deg. 35 min. 05 sec. East, with the South line of said Ipenema Investments 0.978 ac. and the North line of said MKBCCS Sherman Real Estate 1.10 ac., a distance of 189.40 ft. to a 1/2 inch capped rebar found, stamped "RPLS 6578" at the Southeast corner of said Ipenema 0.978 ac., and an Ell corner of said MKBCCS Sherman Real Estate 1.10 ac.;

THENCE North 15 deg. 24 min. 55 sec. West, with the East line of said Ipenema Investments 0.978 ac. and a West line of said MKBCCS Sherman Real Estate 1.10 ac., a distance of 225.00 ft. to a point in the South line of Lamar Street, a public street, and the North line of said Block 18, at the Northeast corner of said Ipenema 0.978 ac., and the Northwest corner of said MKBCCS Sherman Real Estate 1.10 ac., SAID point bears North 24 deg. 15 min. 39 sec. East, 0.42 ft. from a 1/2 inch square tube found,

THENCE North 74 deg. 35 min. 05 sec. East, with the South line of said Lamar Street and the North line of both said Block 18 and said MKBCCS Sherman Real Estate 1.10 ac., through a brick building, a distance of 112.39 ft to a point within said brick building, lying at the intersection of the West line of Branch Street, a public street, with the South line of said Lamar Street, at the Northeast corner of both said MKBCCS Sherman Real Estate 1.10 ac. and Block 18, SAID point bears South 46 deg. 16 min. 27 sec. West, 2.71 ft. from a 1/2 inch rebar found;

THENCE South 15 deg. 26 min. 43 sec. East, with the West line of said Branch Street, and the East line of both said MKBCCS Sherman Real Estate 1.10 ac. and Block 18, through said brick building and leaving said building, for a total distance of 300.00 ft. to a 1/2 inch capped rebar found, stamped "RPLS 6578" at the intersection of the North line of Jones Street, a public street, with the West line of said Branch Street, at the Southeast corner of both said MKBCCS Sherman Real Estate 1.10 ac. and Block 18;

THENCE South 74 deg. 35 min. 05 sec. West, with the North line of said Jones Street and the South line of both said MKBCCS Sherman Real Estate 1.10 ac. and Block 18, a distance of 301.95 ft. to a point lying at the intersection of the East line of said Montgomery Street with the North line of said Jones Street, at the Southwest corner of both said MKBCCS Sherman Real Estate 1.10 ac. and Block 18, SAID point bears North 15 deg. 44 min. 37 sec. West, 0.75 ft. from a 1/2 inch square tube found;

THENCE North 15 deg. 24 min. 55 sec. West, with the East line of said Montgomery Street, and the West line of both said MKBCCS Sherman Real Estate 1.10 ac. and Block 18, a distance of 75.00 ft. to the POINT OF BEGINNING and containing 1.101 ACRES of land.

**STATE OF TEXAS
COUNTY OF GRAYSON**

I, Kate A. Wagner, Registered Professional Land Surveyor, do hereby certify that a survey was made on the ground of the property shown hereon under my personal and direct supervision, and that the corner monumentation meets the standards set according to the Subdivision Regulations of the City of Sherman, Texas.

Kate A. Wagner, R. P. L. S. No. 6578 Date:



Owner/Developer:
MKBCCS Sherman Real Estate, LLC
601 Texas Avenue
Lubbock, TX 79401

SURVEYOR

Helvey-Wagner Surveying, Inc.
222 W. Main St., Denison, Texas 75020
Phone (903) 463-6191
Email: kate@helvewagnersurveying.net
TBPELS Firm Registration No. 10088100

Final Plat
Lot 1R
W/B 1 Addition
Being a Replat of part of
Block 18, Original Town Plat of
Sherman, Texas
to the
City of Sherman
Grayson County, Texas
1.101 Acres
in the
Samuel Blagg Survey
Abstract No. 56

DATE OF PREPARATION: MAY 18, 2026
JOB No. CGS570526

PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER

March 3, 2026

Helvey-Wagner Surveying, Inc.
222 W. Main Street
Denison, TX 75020

Dear Applicants,

The request for approval of the Preliminary Plat W/B 1 Addition has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

Additional Informational Engineering Comments:

1. Provide name of owner and developer on plat. *Code of Ordinances Chapter 10.02.002(e)(1)*
2. Dedicate a 10' Utility Easement along Jones Street. *Code of Ordinances Chapter 10.03.007(a)*
3. Dedicate a 10' Utility Easement along Montgomery Street. *Code of Ordinances Chapter 10.03.007(a)*
4. Modify Easements on all rights of way corners to parallel new rights of way created by corner clips. *Code of Ordinances 10.03.007(a)*
5. City Council approval of Encroachment Agreement for existing building that encroaches into Lamar Street and Branch Street ROW prior to submitting Final Plat. Encroachment Agreement requirements can be obtained by emailing engineering@cityofsherman.com. *Code of Ordinances 10.03.007(d)*
6. Privately owned and maintained detention in accordance with City criteria may be required. Engineering documentation shall be provided to the City of Sherman Engineering Department for review and approval. If detention is required, Ownership and Maintenance information to be shown on plat. *Code of Ordinances Chapter 10.03.006; Engineering Design Standards Manual Sec. 4.18*
7. Civil Engineering plans shall be provided to the Engineering Department for review and approval. Plat to reflect changes upon Engineering review. Civil Plan submittal requirements can be found in the Development Guide on the City of Sherman website. *Code of Ordinances Chapter 10.04; Engineering Design Standards Manual Sec. 1.9*

8. Final Plat shall not be submitted to the Planning & Zoning Commission until the civil engineering plans, if required, are sufficiently complete. *Code of Ordinances Chapter 10.02.003(a)(4)*
9. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
10. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

Additional Informational Zoning Comments:

11. The minimum setback requirements in a M-2 (Heavy Manufacturing) District are: (*Sec. 14.02.020(1)*)
 - a. Front: 40'
 - b. Rear: 25'
 - c. Side: 25'
 - i. Variances for the existing structure will be required.
 1. Variance to allow a 0' front setback in lieu of the required 40' for the existing structure.
 2. Variance to allow a 0' side setback to the East property line in lieu of the required 25' for the existing structure.
 3. Variance to allow a 0' side setback to the West property line in lieu of the required 25' for the existing structure.

If additional information or clarification is needed, do not hesitate to email engineering@cityofsherman.com prior to the meeting.

Respectfully,



Wayne E. Lee, P.E., CFM
Director of Engineering

cc: Dr. Zachary Flores, City Manager
Tom Pruitt, Utility Engineer
Clint Philpott, Assistant City Manager
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney
Rob Rae, Director of Development Services
Dillon Stewart, Fire Marshal



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 7.

Meeting Date: 6/16/2026

Prepared By: Tammy Mrozinski, Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

***2000 BLOCK WEST WASHINGTON STREET (Project No. 000407-2026)**-The request of Grayson Investment II, LLC (Owner), Jackie Fuller (Applicant) and Spiars Engineering, Inc. (Surveyor), concerning the property located in the 2000 Block West Washington Street consisting of 10.302 acres, being part of Lot 1, Block 1, Brookshire Addition, in the J.B. McAnair Survey Abstract No. 763 and currently zoned C-1 (Retail Business) District/F.M. Highway 1417 Overlay District, as follows:

Planning and Zoning Commission

Final Plat of W. Washington Medical Addition.

Background:

The property is located in the 2000 Block West Washington. The owner is requesting final plat approval.

The following has been approved at this location:

- 05/16/2026 - Final Plat W. Washington Medical Addition.
- 04/21/2026 - Site Plan for West Washington Medical Addition.
- 11/19/2024 - Site Plan for W. Washington Medical Addition
- 10/18/2024 - Preliminary Plat of W. Washington Medical Addition

Origination:

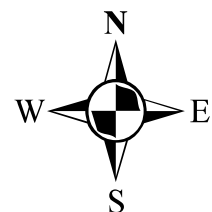
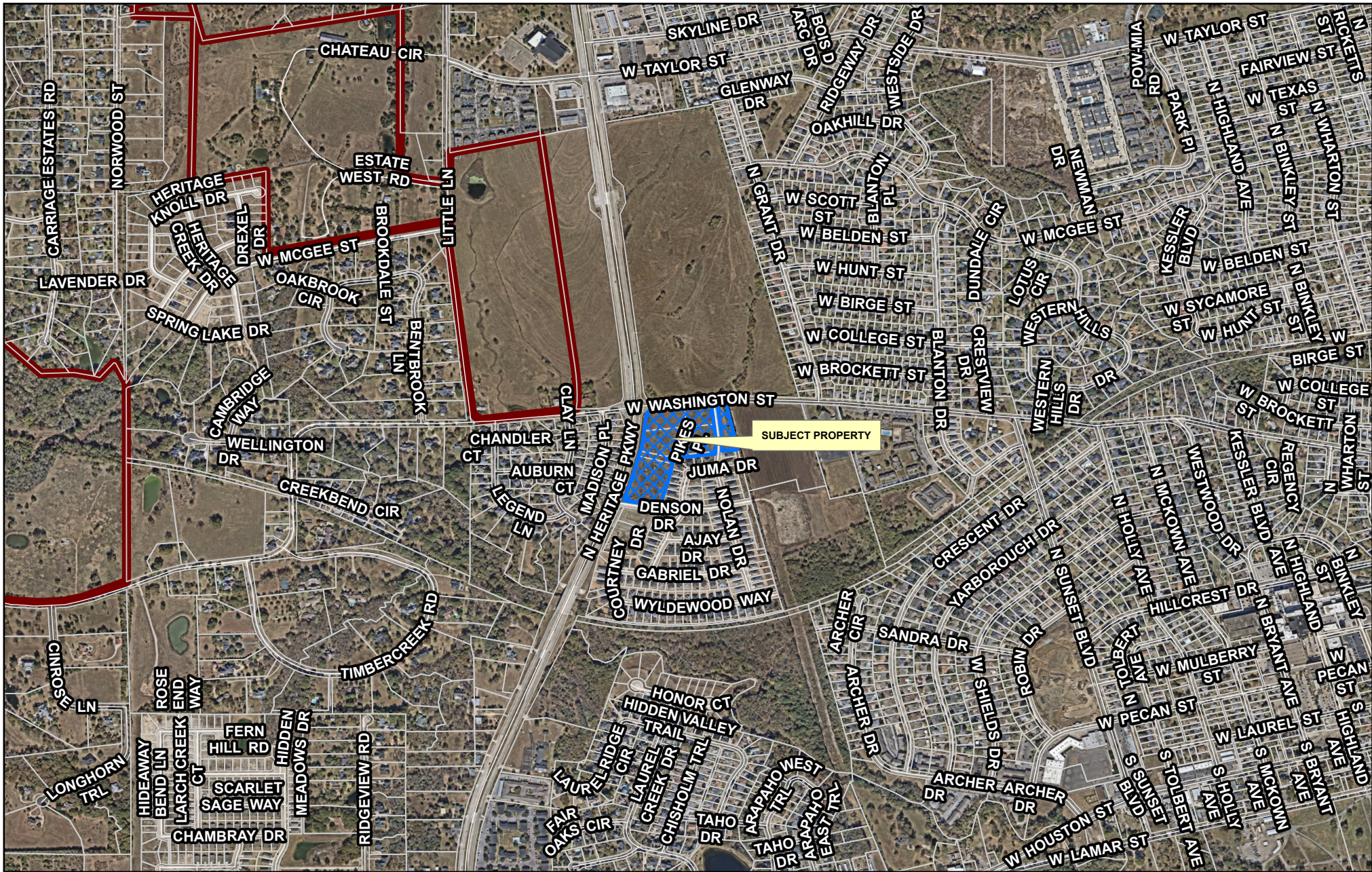
The request of Grayson Investment II, LLC (Owner), Jackie Fuller (Applicant) and Spiars Engineering, Inc. (Surveyor).

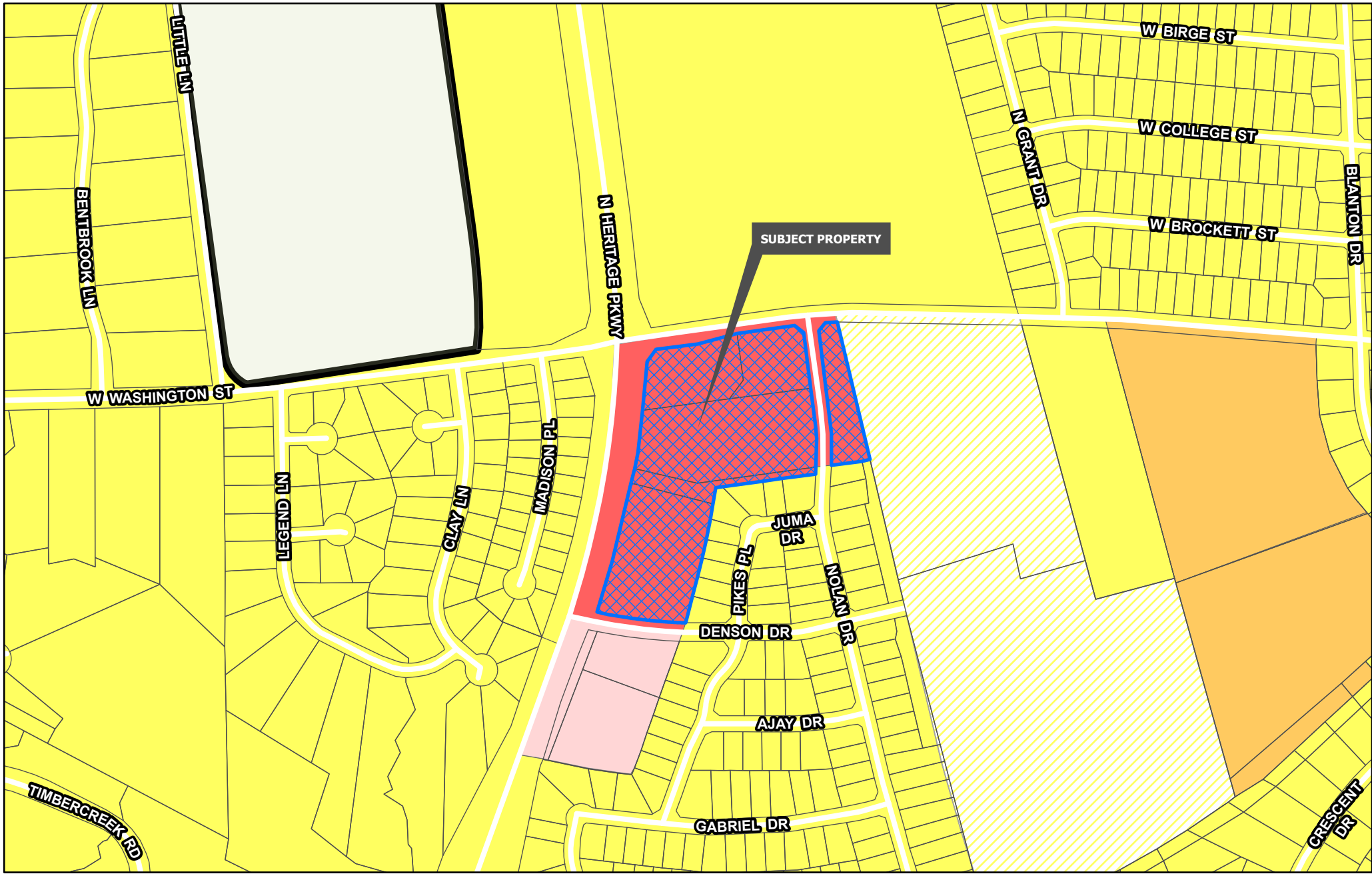
Staff Recommendation:

Staff recommends that P&Z approve this item.

Attachments:

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Final Plat
5. Conditional Approval Letter





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
ZONING MAP
2000 BLK W WASHINGTON ST**



COMMUNITY COMMERCIAL

Intent & Character

The Community Commercial category is intended to promote smaller-scale commercial uses that are integrated into the community. These uses should be compatible with residential development and should provide necessary goods and services to residents. Many of the uses encouraged by this category can be similar to Regional Commercial, but should be developed in a much smaller and community-compatible scale.

Appropriate Land Use Types

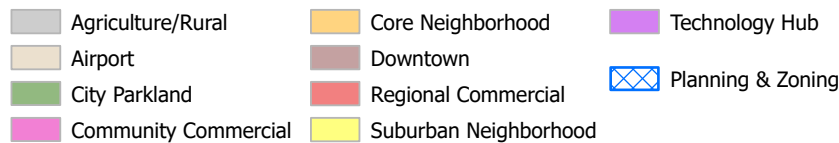
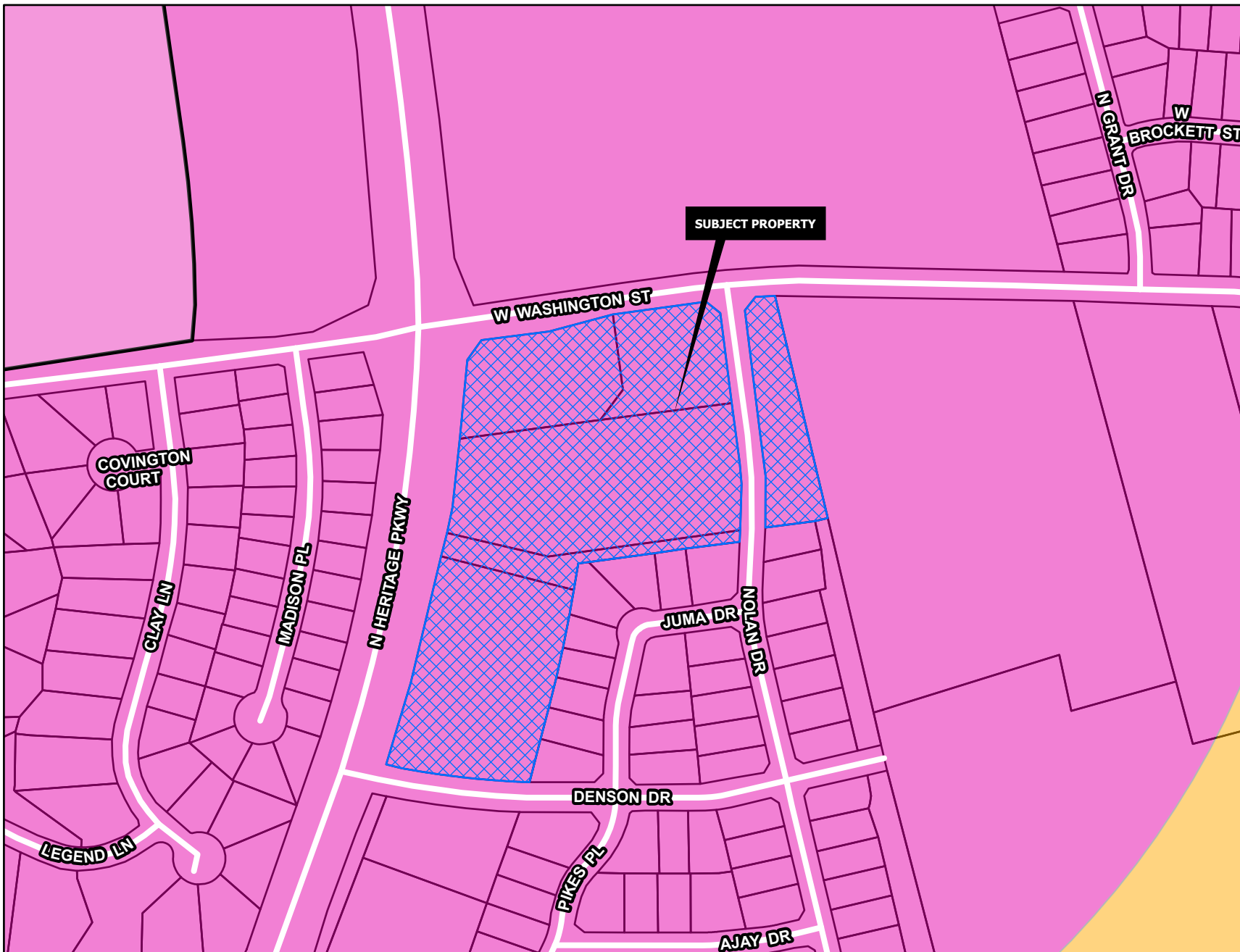
- Retail and Restaurants
- Grocery Stores
- Professional Offices/Services
- Personal Services
- Childcare

Compatible Zoning Districts

- Neighborhood Commercial
- Retail Business
- Office

Considerations

- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



Line #	Bearing	Distance
B1	S 52°14' E	35.46'
B2	S 38°05' W	34.28'
B3	S 07°41' E	297.74'
B4	N 07°41' W	296.26'
B5	S 02°54' W	43.87'
B6	N 02°54' E	34.05'
L7	S 82°07' W	233.65'
L8	S 12°36' W	72.87'
L9	S 12°36' W	331.16'
L10	S 01°04' W	66.05'
L11	S 01°04' W	22.87'
L12	N 47°41' W	17.63'
L13	S 72°36' W	86.11'
L14	N 82°54' W	7.64'
L15	N 01°17' E	69.07'
L16	N 02°32' E	33.77'
L17	N 02°32' E	33.77'
L18	N 08°54' W	123.18'
L19	S 82°07' W	8.17'
L20	N 82°07' E	8.59'
L21	N 08°54' W	110.94'
L22	N 71°36' E	31.86'
L23	S 17°04' E	43.87'

Line #	Bearing	Distance
L24	S 08°54' E	37.39'
L25	S 14°45' E	139.33'
L26	S 14°45' E	66.34'
L27	S 18°04' E	51.04'
L28	S 47°41' E	8.70'
L29	S 02°54' W	32.12'
L30	S 02°54' W	66.10'
L31	S 07°41' W	116.60'
L32	S 07°41' W	291.94'
L33	S 37°41' W	7.66'
L34	S 07°41' W	7.22'
L35	S 22°45' W	7.64'
L36	S 20°54' W	17.97'
L37	N 16°36' E	184.05'
L38	N 13°06' E	234.10'
L39	N 13°06' E	102.10'
L40	N 04°54' E	288.69'
L41	N 38°04' E	60.50'
L42	N 82°07' W	126.78'
L43	N 74°36' E	140.21'
L44	N 82°07' W	178.66'
L45	N 52°14' W	27.96'
L46	N 07°41' W	176.89'

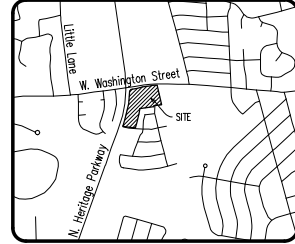
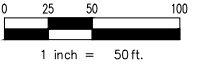
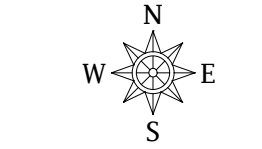
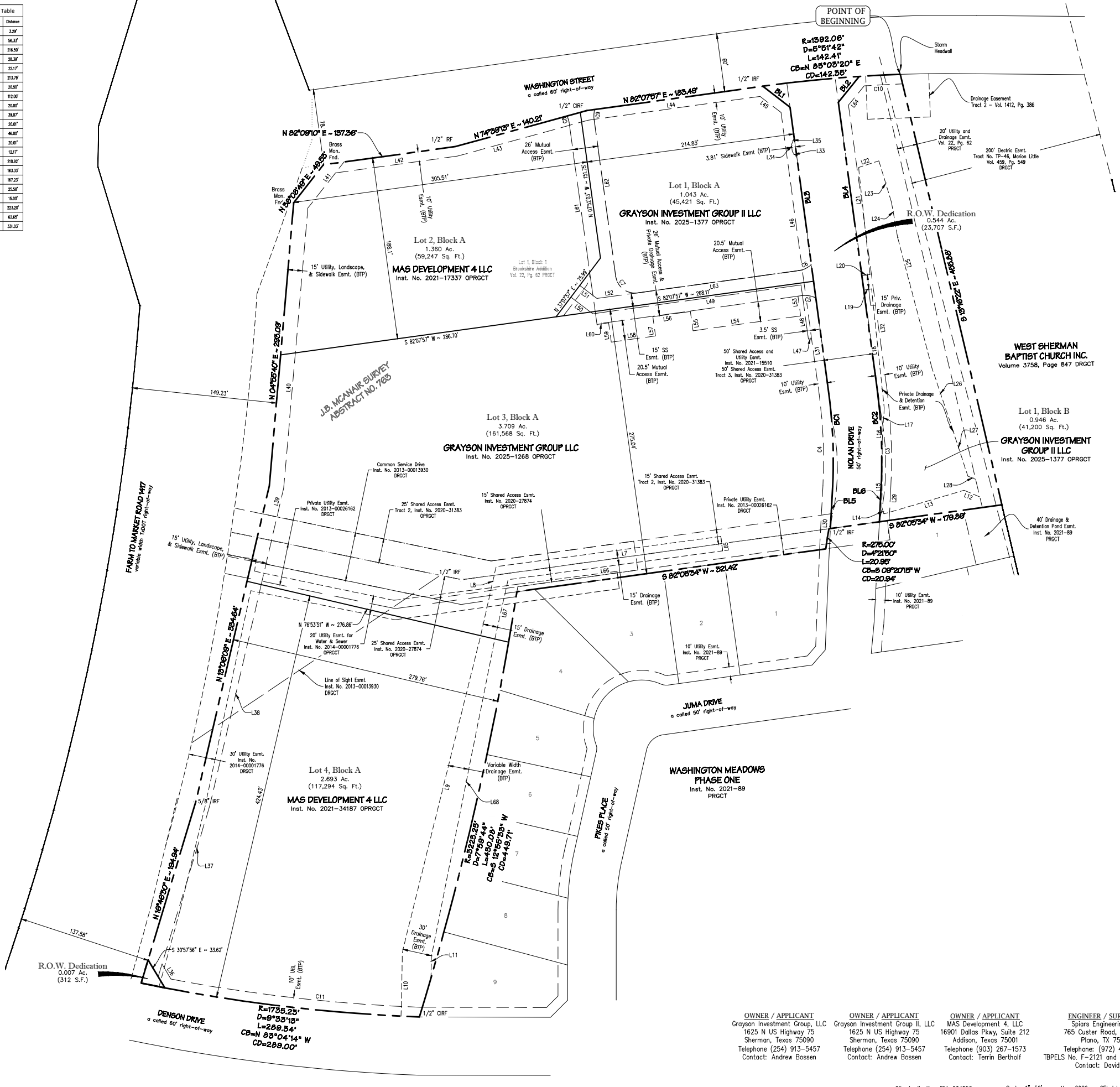
Line #	Bearing	Distance
L47	S 82°07' W	3.29'
L48	N 07°41' W	56.33'
L49	N 82°07' E	216.50'
L50	N 52°14' W	28.39'
L51	N 52°14' W	22.17'
L52	N 82°07' E	213.79'
L53	N 07°41' W	20.90'
L54	N 82°07' E	112.00'
L55	S 07°41' E	20.00'
L56	S 82°07' W	38.07'
L57	N 07°41' W	20.00'
L58	N 82°07' E	46.00'
L59	S 07°41' E	20.00'
L60	N 82°07' E	12.17'
L61	N 07°41' W	219.92'
L62	N 07°41' W	163.33'
L63	S 82°07' W	219.92'
L64	S 38°05' W	167.25'
L65	S 07°41' W	15.00'
L66	S 82°07' W	223.20'
L67	S 12°36' W	62.65'
L68	S 11°05' W	33.07'

Curve #	Length	Radius	Delta	Chord Bearing	Chord Dist.
BC1	85.82'	515.00'	10°37'38"	N 02°22'02" W	95.89'
BC2	105.17'	565.00'	10°37'38"	N 02°22'02" W	104.96'
CC1	106.89'	575.00'	10°37'38"	N 02°22'02" W	106.83'
CC2	83.96'	505.00'	10°37'38"	N 02°22'02" W	83.83'
CC3	15.07'	25.00'	34°35'21"	N 80°34'18" W	14.87'
CC4	15.07'	25.00'	34°35'21"	N 44°50'01" E	14.87'
CC5	21.42'	20.00'	96°07'00"	S 52°52'03" E	28.28'
CC6	7.27'	25.00'	16°39'16"	N 16°11'38" W	7.24'
CC7	10.29'	25.00'	22°35'17"	S 03°55'38" W	10.22'
CC8	38.71'	1381.26'	1°38'46"	S 87°14'45" W	38.70'
CC9	260.87'	1725.22'	8°40'01"	S 83°38'13" E	260.72'

LEGEND	
---	1/2" IRON ROD W/ PLASTIC CAP STAMPED "SPIARSENQ" SET, UNLESS OTHERWISE NOTED.
---	IRF IRON ROD FOUND
---	CRF CAPPED IRON ROD FOUND
---	CM CONTROL MONUMENT
---	R.O.W. RIGHT OF WAY
---	OPRGCT OFFICIAL PUBLIC RECORDS GRAYSON COUNTY TEXAS
---	DRGCT DEED RECORDS GRAYSON COUNTY TEXAS
---	PRGCT PLAT RECORDS GRAYSON COUNTY TEXAS

Basis of bearing: State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011.

- NOTES:
- This replat was prepared without the benefit of a commitment for title insurance. No research was performed for any encumbrances other than that shown on the record plat of this property. Therefore, encumbrances, agreements, and other documents may exist that affect the subject property that are not shown on this replat.
 - Basis of bearing: State Plane Coordinate System, North Texas Central Zone 4202, North American Datum of 1983. Adjustment Realization 2011.
 - Selling a portion of this addition by metes and bounds is a violation of City ordinance and state law and is subject to fines and withholding of utilities and building permits.
 - The City of Sherman will not be responsible for the maintenance and operation of said drainage ways or drainage easements for the control of erosion.
 - Neither the City of Sherman nor the undersigned surveyor will be responsible for any damage, personal injury, or loss of life or property occasioned by flooding or flooding conditions.
 - Any existing creeks or drainage channels traversing along or across the addition will remain as open channels and will be maintained by the individual owners of the lot or lots that are traversed by or adjacent to the drainage courses along or across said lots.
 - The owner and builders must comply with all other local, state, and federal regulations regarding developments of this type.



WEST SHERMAN BAPTIST CHURCH INC. Volume 3758, Page 847 DRGCT

GRAYSON INVESTMENT GROUP II LLC Inst. No. 2025-1377 OPRGCT

WASHINGTON MEADOWS PHASE ONE Inst. No. 2021-89 PRGCT

FINAL PLAT
W. WASHINGTON MEDICAL ADDITION
 BLOCK A, LOTS 1 - 4 & BLOCK B, LOT 1
 10.302 ACRES (GROSS)
 9.751 ACRES (NET)
 BEING A REPLAT OF LOT 1, BLOCK 1,
 BROOKSHIRE ADDITION
 AND 3.176 ACRES IN THE
 J.B. McANAIR SURVEY, ABSTRACT NO. 763
 CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

OWNER / APPLICANT
 Grayson Investment Group, LLC
 1625 N US Highway 75
 Sherman, Texas 75090
 Telephone (254) 913-5457
 Contact: Andrew Bossen

OWNER / APPLICANT
 Grayson Investment Group II, LLC
 1625 N US Highway 75
 Sherman, Texas 75090
 Telephone (903) 267-1573
 Contact: Andrew Bossen

OWNER / APPLICANT
 MAS Development 4, LLC
 16901 Dallas Pkwy, Suite 212
 Addison, Texas 75001
 Telephone (903) 267-1573
 Contact: Terrin Berthoff

ENGINEER / SURVEYOR
 Spiers Engineering, Inc.
 765 Custer Road, Suite 100
 Plano, TX 75075
 Telephone: (972) 422-0077
 TBPELS No. F-2121 and No. F-10043100
 Contact: David Bond

STATE OF TEXAS §
COUNTY OF GRAYSON §

OWNER'S CERTIFICATE

BEING a tract of land situated in the J.B. McAnair Survey, Abstract No. 763, City of Sherman, Grayson County, Texas, being all of two tracts conveyed to MAS Development 4, LLC, by deeds recorded in Document No. 2021-17337, and Document No. 2021-34187, of the Deed Records of Grayson County, Texas, and being part of Lot 1, Block 1, Brookshire Addition, recorded in Volume 22, Page 82, Plat Records Grayson County, Texas, with the subject tract being more particularly described as follows:

BEGINNING at an "X" found, in the south line of West Washington Street, a variable width right-of-way, for the northwest corner of a tract of land conveyed to West Sherman Baptist Church Inc., by deed recorded in Volume 3758, Page 847, of the Deed Records of Grayson County, Texas, and the northeast corner of said Lot 1;

THENCE S 13°16'22" E, with the west line of said West Sherman Baptist Church tract, 455.88 feet, to a 1/2" iron rod capped "SPARSENG" set for the northeast corner of Washington Meadows Phase One, an addition to the City of Sherman, Grayson County, Texas, according to the plat thereof recorded in Instrument No. 2021-89, of the Plat Records of Grayson County, Texas, and the southeast corner of said Lot 1;

THENCE along the line of said Washington Meadows Phase One, the following five (5) courses and distances:
1) S 82°05'34" W, 179.89 feet, to a 1/2" iron rod found for corner,
2) Around a non-tangent curve to the left having a central angle of 04°21'50", a radius of 275.00 feet, a chord of S 09°20'15" W - 20.94 feet, an arc length of 20.95 feet, to a 1/2" iron rod capped "SPARSENG" set for corner,
3) S 82°05'34" W, 321.42 feet, to a 1/2" iron rod capped "SPARSENG" set for the northwest corner of Lot 4, of said Washington Meadows Phase One,
4) Around a non-tangent curve to the right having a central angle of 07°59'44", a radius of 3225.25 feet, a chord of S 12°55'33" W - 449.71 feet, an arc length of 450.08 feet, to a point for the southwest corner of Lot 9, of said Washington Meadows Phase One, from which a 1/2 inch capped iron rod found bears N 64°01'12" W, 0.96 feet, and
5) Around a non-tangent curve to the right having a central angle of 09°33'13", a radius of 1735.23 feet, a chord of N 83°04'14" W - 289.00 feet, an arc length of 289.34 feet, to a 1/2" iron rod capped "SPARSENG" set in the east line of Farm to Market Road 1417, a variable width right-of-way.

THENCE with said east line of Farm to Market Road 1417, the following four (4) courses and distances:
1) N 16°46'30" E, 194.94 feet, to a 5/8" iron rod found for corner,
2) N 13°06'09" E, 334.64 feet, to a 1/2" iron rod capped "SPARSENG" set for corner,
3) N 04°55'40" E, 293.09 feet, to a Brass Monument found for corner, and
4) N 38°08'49" E, with a corner clip between said Farm to Market Road 1417 and said Washington Street, 49.53 feet, to a Brass Monument found for corner;

THENCE with the south line of said West Washington Street, the following four (4) courses and distances:
1) N 82°09'10" E, 137.36 feet, to a 1/2" iron rod found for corner,
2) N 74°39'13" E, 140.21 feet, to a 1/2" capped iron rod found corner,
3) N 82°07'57" E, 183.49 feet, to a 1/2" iron rod found for corner, and
4) Around a tangent curve to the right having a central angle of 05°51'42", a radius of 1392.06 feet, a chord of N 85°03'20" E - 142.35 feet, an arc length of 142.41 feet, to the POINT OF BEGINNING, with the subject tract containing 448,438 square feet or 10.295 acres of land.

NOW THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That We, MAS Development 4, LLC, Grayson Investment Group, LLC, and Grayson Investment Group II, LLC, do hereby adopt this plat designating the hereinabove described property as W. WASHINGTON MEDICAL ADDITION, an Addition to the City of Sherman, and do hereby dedicate to the public use forever the streets and alleys shown thereon and do hereby reserve the easement strips shown on this plat for the mutual use and accommodation of garbage collection agencies and all public utilities desiring to use or using same. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easement strips and any public utility shall at all times have the right of ingress and egress to and from and upon the said easement strip for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone. This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Sherman, Texas.

Witness our hands this _____ day of _____, 2026.

MAS Development 4, LLC

By: _____
SIGNERS NAME, TITLE

STATE OF TEXAS §
COUNTY OF GRAYSON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2026.

Notary Public, State of Texas

Witness our hands this _____ day of _____, 2026.

Grayson Investment Group, LLC

By: _____
SIGNERS NAME, TITLE

STATE OF TEXAS §
COUNTY OF GRAYSON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2026.

Notary Public, State of Texas

Witness our hands this _____ day of _____, 2026.

Grayson Investment Group II, LLC

By: _____
SIGNERS NAME, TITLE

STATE OF TEXAS §
COUNTY OF GRAYSON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared _____, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2026.

Notary Public, State of Texas

CITY COMMISSIONERS APPROVAL

STATE OF TEXAS §
COUNTY OF GRAYSON §

Approved this _____ day of _____, 20____, by the City Planning and Zoning Commission of the City of Sherman, Texas.

Chairman Secretary

CERTIFICATE OF COMPLIANCE

The undersigned, the County Clerk of Grayson County, Texas, does hereby certify that on the _____ day of _____, 20____, the Grayson County Commissioners Court by appropriate minute order did find that this final plat of _____ is in compliance with applicable state and county subdivision regulations and did approve the same for filing in the plat records of Grayson County, Texas.

Certified this _____ day of _____, 20____.

County Clerk
Grayson County, Texas

SURVEYOR'S CERTIFICATE

That I, Darren K. Brown, of Spire Engineering, Inc., do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision Regulations of the City of Sherman, Texas.

Dated this the _____ day of _____, 2026.

PRELIMINARY, THIS DOCUMENT
SHALL NOT BE RECORDED
FOR ANY PURPOSE
DARREN K. BROWN, R.P.L.S. NO. 5252



STATE OF TEXAS §
COUNTY OF COLLIN §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Darren K. Brown, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____ day of _____, 2026.

Notary Public, State of Texas

FINAL PLAT
**W. WASHINGTON
MEDICAL ADDITION**
BLOCK A, LOTS 1 - 4 & BLOCK B, LOT 1
10.302 ACRES (GROSS)
9.751 ACRES (NET)
BEING A REPLAT OF LOT 1, BLOCK 1,
BROOKSHIRE ADDITION
AND 3.176 ACRES IN THE
J.B. McANAIR SURVEY, ABSTRACT NO. 763
CITY OF SHERMAN, GRAYSON COUNTY, TEXAS

OWNER / APPLICANT
Grayson Investment Group, LLC
1625 N US Highway 75
Sherman, Texas 75090
Telephone (254) 913-5457
Contact: Andrew Bossen

OWNER / APPLICANT
Grayson Investment Group II, LLC
1625 N US Highway 75
Sherman, Texas 75090
Telephone (254) 913-5457
Contact: Andrew Bossen

OWNER / APPLICANT
MAS Development 4, LLC
16901 Dallas Pkwy, Suite 212
Addison, Texas 75001
Telephone (903) 267-1573
Contact: Terrin Berthoff

ENGINEER / SURVEYOR
Spire Engineering, Inc.
765 Custer Road, Suite 100
Plano, TX 75075
Telephone: (972) 422-0077
TBPELS No. F-2121 and No. F-10043100
Contact: David Bond

Revised by updated Plat Date: 8/3/2026 1:28:48 PM
Revised by updated Plat Date: 8/3/2026 1:28:48 PM

PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER

October 15, 2024

MAS Development 4, LLC
Attn: Terrin Berthalf
16901 Dallas Pkwy., Suite 212
Addison, TX 75001

Spiars Engineering, Inc.
Attn: David Bond
765 Custer Road., Ste. 100
Plano, TX 75075

Dear Applicants,

The request for approval of the Preliminary Plat of W. Washington Medical Addition has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

1. Linework for annotated Mutual Access Easement on Lot 3, Block A is not shown on drawing. Correct appropriately. *Code of Ordinances Chapter 10.03.003(h)(9); 10.03.007(a)*
2. 15' Water Easement crossing Lots 3 & 4, Block A shall have distances and bearings shown. *Code of Ordinances Chapter 10.02.002(e)(11); 10.02.003(f)(12)*
3. Dedicate a 10' Utility Easement along Washington Street. *Code of Ordinances Chapter 10.03.007(a)*
4. Dedicate a 15' Utility, Landscape, & Sidewalk Easement along FM 1417. *Code of Ordinances Chapter 10.03.007(a); Engineering Design Standard Manual Sec. 2.1*
5. Dedicate a 25'x25' Right of Way corner clip on Northwest corner of proposed Lot 1, Block B. *Code of Ordinances Chapter 10.03.007(a); Engineering Design Standards Manual Sec. 2.7*
6. Dedicate a 25'x25' Right of Way corner clip on Northeast corner of proposed Lot 1, Block A. *Code of Ordinances Chapter 10.03.007(a); Engineering Design Standards Manual Sec. 2.7*
7. Dedicate a 25'x25' Right of Way corner clip on Southwest corner of proposed Lot 4, Block A. *Code of Ordinances Chapter 10.03.007(a); Engineering Design Standards Manual Sec. 2.7*
8. Modify Utility Easements on corners of proposed Lots to parallel new rights of way created by corner clips. *Code of Ordinances 10.03.007(a)*

9. Abandonment of 20' Utility Easement Established in Vol. 5416, Pg. 697, OPRGCT to be approved by City Council with instrument information of abandonment shown in General Notes of plat. Coordinate with Engineering Department for abandonment requirements by emailing engineering@cityofsherman.com. *Code of Ordinances Chapter 10.03.007(c)*
10. Provide a filed copy of the document abandoning Utility Waterline/Wastewater/Storm Line Easement established in Vol. 5401, Pg. 100, OPRGCT to the City Engineering Department. *City of Sherman Code of Ordinances Chapter 10.02.002(b)(5)*
11. Provide a filed copy of the document abandoning Easement established in Instrument No. 2020-31383, RPRGCT to the City Engineering Department. *City of Sherman Code of Ordinances Chapter 10.02.002(b)(5)*
12. Provide a filed copy of the document abandoning Easement established in Instrument No. 2020-27874, RPRGCT to the City Engineering Department. *City of Sherman Code of Ordinances Chapter 10.02.002(b)(5)*
13. Provide a filed copy of the document abandoning Easement established in Vol. 5320, Pg. 898, OPRGCT to the City Engineering Department. *City of Sherman Code of Ordinances Chapter 10.02.002(b)(5)*
14. Provide a filed copy of the document abandoning 50' Shared Access and Utility Easement established in Instrument No. 2021-15510, RPRGCT to the City Engineering Department. *City of Sherman Code of Ordinances Chapter 10.02.002(b)(5)*
15. Water main shall be extended in accordance with City criteria to serve proposed development. *Code of Ordinances Chapter 13, Sec. 13.07.282; Chapter 10.03.005*
16. Wastewater main shall be extended in accordance with City criteria to serve proposed development. Wastewater capacity shall be verified for proposed use. *Code of Ordinances Chapter 13, Sec. 13.07.282; Chapter 10.03.005*
17. Privately owned and maintained detention in accordance with City criteria may be required. Engineering documentation shall be provided to the City of Sherman Engineering Department for review and approval. If detention is required, Ownership and Maintenance information to be shown on plat. *Code of Ordinances Chapter 10.03.006; Engineering Design Standards Manual Sec. 4.18*
18. Civil Engineering plans shall be provided to the Engineering Department for review and approval. Plat to reflect changes upon Engineering review. Civil Plan submittal requirements can be found in the Development Guide on the City of Sherman website. *Code of Ordinances Chapter 10.04; Engineering Design Standards Manual Sec. 1.9*
19. Final Plat shall meet all current City of Sherman standards. *Code of Ordinances Chapter 10 and Chapter 14*
20. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
21. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

If additional information or clarification is needed, do not hesitate to email engineering@cityofsherman.com prior to the meeting.

Respectfully,



Wayne E. Lee, P.E., CFM
Director of Engineering

cc: Robby Hefton, City Manager
Tom Pruitt, Utility Engineer
Clint Philpott, Assistant City Manager
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney
Rob Rae, Director of Development Services
Dillon Stewart, Fire Marshal



Planning & Zoning Commission Development Services

Agenda Item No. 8.

Meeting Date: 6/16/2026

Prepared By: Tammy Mrozinski, Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

* **2802 SPRING LAKE DRIVE (Project No. 000408-2026)**-The request of RTG Holdings, LLC (Owner), Chris Noah (Applicant) and Preston Trail Land Surveying (Surveyor), concerning the property located at 2802 Spring Lake Drive consisting of 2.488 acres, being Lots 1 & 2, Block G, Heritage Crossing, Phase 1, in the Fielding Bacon Survey, Abstract No. 120 and currently zoned R-6 (Single-Family Residential) District, as follows:

Planning and Zoning Commission

Final Plat of Garner's Replat of Heritage Crossing, Phase 1.

Background:

The property is located at 2802 Spring Lake Drive. The owner is requesting final plat approval.

The following has been approved at this location:

- 3/11/2026 - Preliminary Plat of Garner's Replat of Heritage Crossing, Phase 1.

Origination:

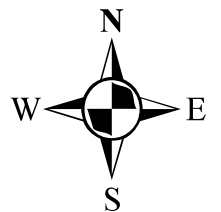
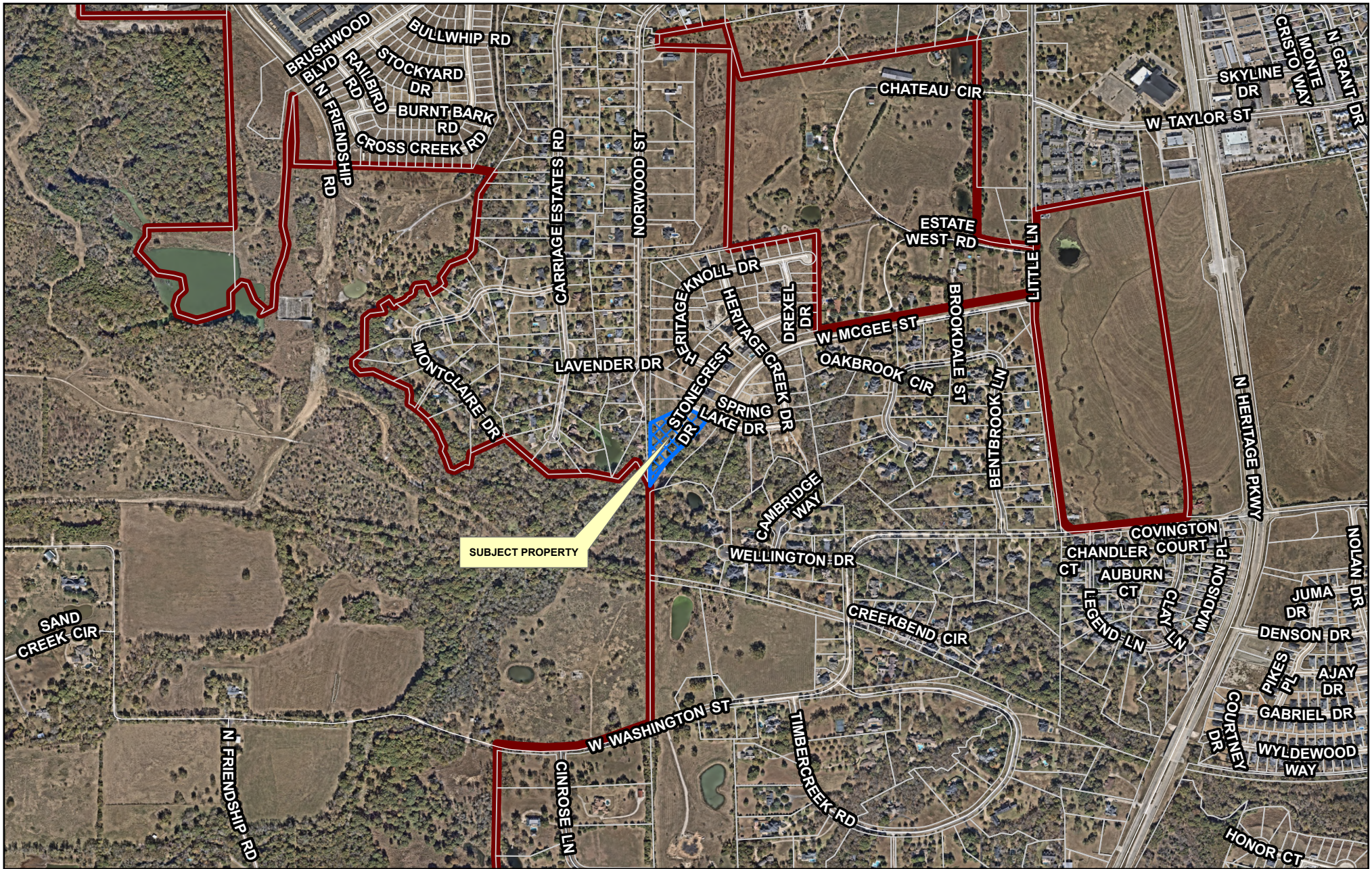
The request of RTG Holdings, LLC (Owner), Chris Noah (Applicant) and Preston Trail Land Surveying (Surveyor).

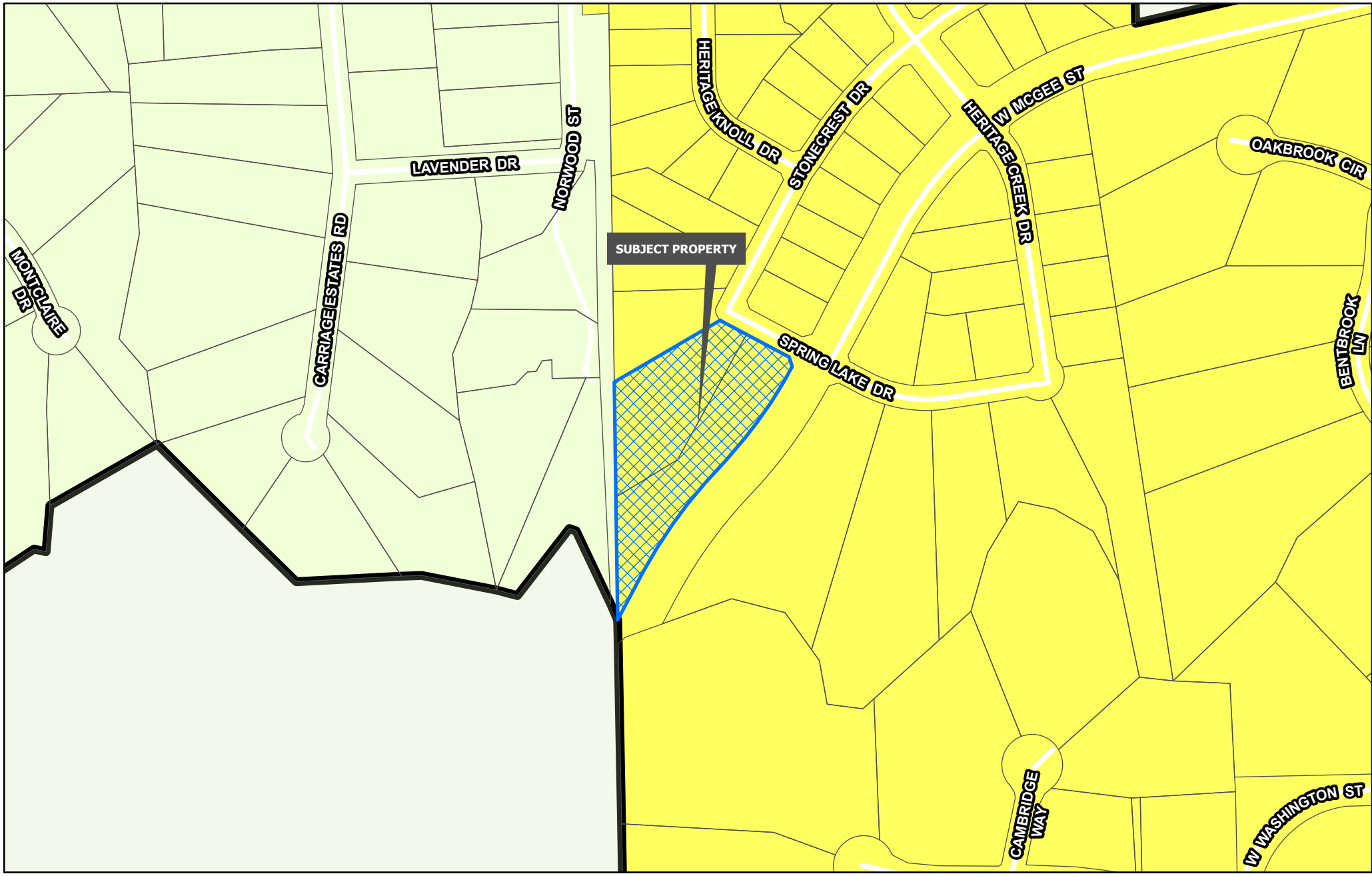
Staff Recommendation:

Staff recommends that P&Z approve this item.

Attachments:

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Final Plat
5. Conditional Approval Letter

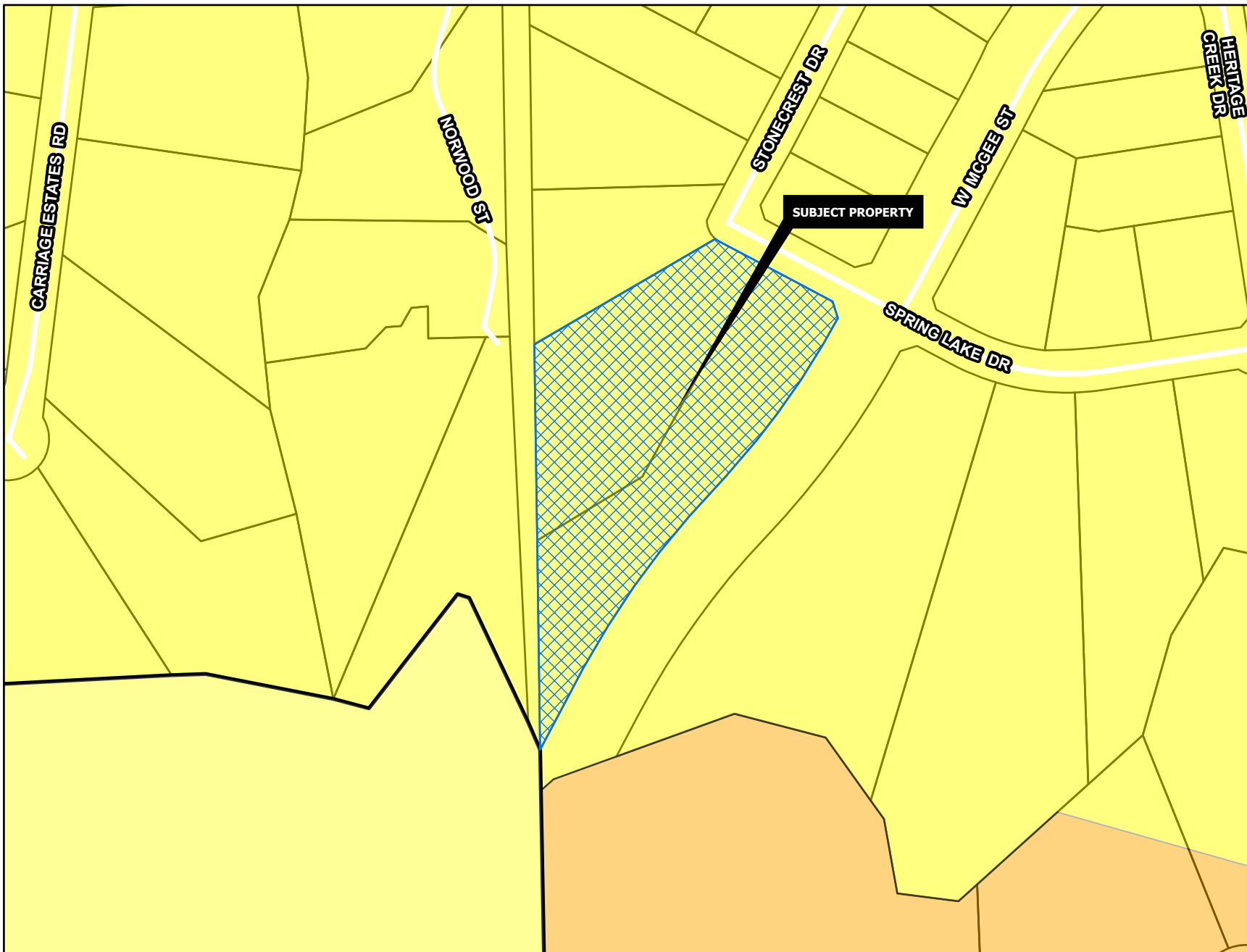




Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
ZONING MAP
2802 SPRING LAKE DR**





SUBURBAN NEIGHBORHOOD

Intent & Character
 The Suburban Neighborhood category is intended to allow primarily single-family detached in a "complete neighborhood" setting. New subdivisions should include a mix of housing products and lot sizes. Areas of supporting local commercial should be integrated into the neighborhoods, primarily along major streets near the entrance of neighborhoods. Community amenities such as parks, trails, open spaces, and civic uses should also be included in the creation of new subdivisions. This category gives flexibility for the creation of master-planned neighborhoods that are compatible with the surrounding area.

Appropriate Land Use Types

- Single-family detached (primary land use type)
- Single-family attached (duplexes and townhomes)
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

- Estate Residential
- Single-Family Residential (R-12, R-6, R-5, and R-4)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Neighborhood Commercial
- Planned Development

Considerations

- Street connections to existing and future developments.
- Smaller lots and denser development can serve as a transition from the local commercial areas.



CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	6.35'	29.50'	12°19'59"	S 55°59'09" E	6.34'



All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

GENERAL NOTES:

- The land use is intended for Residential use only.
- Water Supply to be provided by City of Sherman.
- Sewer Service to be provided by City of Sherman.
- Electrical service is provided by Oncor Electric Delivery.

FLOOD STATEMENT:

I have examined the F.E.M.A. Flood Insurance Rate Map for Grayson County, Texas, Community Number 485509, effective date 09/01/2022 and that map indicates that a portion of this property is within "Shaded Zone X" defined as "Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood; and within "Zone AE" defined as "Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% annual chance flood with base flood elevations determined" and within "Zone AE Floodway" defined as "The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights" as shown on Panel 0270 G of said map. This flood statement does not imply that the property and/or structures thereon will be free from flooding or flood damage, on rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

LEGEND

●	FOUND MONUMENT
○	SET MONUMENT
IRSC	1/2" IRON ROD W/ "PRESTON TRAIL LAND SURVEYING, RPLS 6585" CAP SET
IRF	IRON ROD FOUND
IRFC	IRON ROD FOUND W/ PLASTIC CAP
CM	CONTROLLING MONUMENT
()	DEED OR PLAT CALL
R.O.W.	RIGHT-OF-WAY
F.R.G.C.T.	PLAT RECORDS, GRAYSON COUNTY, TEXAS
O.R.G.C.T.	OFFICIAL RECORDS, GRAYSON COUNTY, TEXAS
VOL., PG.	VOLUME PAGE
INST. NO.	INSTRUMENT NO.
U.E.	UTILITY EASEMENT
L.E.	LANDSCAPE EASEMENT
S.D.E.	SIDEWALK EASEMENT
---	BOUNDARY LINE
---	ADJACENT LINE
---	EASEMENT
---	ABSTRACT LINE APPROXIMATE

OWNER'S CERTIFICATE

WHEREAS RTG Holdings, LLC is the owner of all of that certain tract or parcel of land situated in the Fielding Bacon Survey, Abstract No. 120, City of Sherman, Grayson County, Texas, and being all of Lots 1 & 2 in Block G of Heritage Crossing, Phase 1, an addition to the City of Sherman, Grayson County, Texas, according to the plat thereof recorded in Instrument No. 2021-111, Plat Records, Grayson County, Texas, and being a re-encumbrance survey of a tract of land described in the deed to RTG Holdings, LLC, recorded in Instrument No. 2026-4571, Official Records, Grayson County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2-inch iron rod with a plastic cap stamped "RPLS 5714" found for the northeast corner of said Lot 2, common to the southeast corner of Lot 3 in said Block G, and on the southerly right-of-way line of Spring Lake Drive, and at the beginning of a curve to the left having a delta angle of 12°19'59", a radius of 29.50 feet and a chord bearing and distance of South 55°59'09" East, 6.34 feet;

THENCE in an easterly direction, with the easterly line of said Lot 2, and with the southerly right-of-way line of said Spring Lake Drive, and with said curve to the left, an arc distance of 6.35 feet to a 1/2-inch iron rod with a plastic cap stamped "RPLS 5714" found for corner;

THENCE South 62°09'01" East, continuing with the easterly line of said Lot 2, and with the southerly right-of-way line of said Spring Lake Drive, passing en route at a distance of 55.25 feet a 1/2-inch iron rod with a plastic cap stamped "PRESTON TRAIL LAND SURVEYING RPLS 6585" (Hereinafter referred to as Capped Iron Rod) set for the easterly corner of said Lot 2, common to the northeast corner of aforesaid Lot 1 and continuing on said course with the easterly line of said Lot 1 a total distance of 155.50 feet to a 1/2-inch iron rod with an illegible plastic cap found for corner;

THENCE South 17°06'51" East, continuing with the easterly line of said Lot 1, and with the southerly right-of-way line of said Spring Lake Drive, a distance of 21.20 feet to a 1/2-inch iron rod with a plastic cap stamped "RPLS 5714" found for the eastern-most corner of said Lot 1 and at the intersection of the southerly right-of-way line of said Spring Lake Drive and the westerly right-of-way line of McGee Street, and at the beginning of a curve to the right having a delta angle of 15°22'46", a radius of 957.00 feet and a chord bearing and distance of South 35°43'12" West, 285.64 feet;

THENCE in a southerly direction, with the southerly line of said Lot 1, and with the westerly right-of-way line of said McGee Street, and with said curve to the right, an arc distance of 256.88 feet a Capped Iron Rod set for a reverse curve to the left having a delta angle of 15°44'12", a radius of 1043.27 feet and a chord bearing and distance of South 35°43'12" West, 285.64 feet;

THENCE in a southerly direction, continuing with the southerly line of said Lot 1, and with the westerly right-of-way line of said McGee Street, and with said curve to the left, an arc distance of 286.54 feet to a bent 1/2-inch iron rod found for corner;

THENCE South 27°50'40" West, continuing with the southerly line of said Lot 1, and with the westerly right-of-way line of said McGee Street, a distance of 97.17 feet to a Capped Iron Rod set for the southwest corner of said Lot 1, and on the easterly line of a called 6.8 acre tract of land described in the deed to CSH Asset Management, Series LLC B, recorded in Instrument No. 2023-29530, said Official Records;

THENCE North 00°49'02" West, with the westerly line of said Lot 1, and with the easterly line of said 6.8 acre tract part of the way, and with the easterly line of Lot 28 (H.O.A. Lot) in Block G of Heritage Crossing, Phase 2, according to the plat thereof recorded in Instrument No. 2024-13, said Plat Records, passing en route at a distance of 254.72 feet a 1/2-inch iron rod with a plastic cap stamped "RPLS 5714" found for the northwest corner of said Lot 1, common to the southwest corner of aforesaid Lot 2 and continuing on said course with the westerly line of said Lot 2 a total distance of 493.30 to a tall 1/2-inch iron rod found for the northwest corner of said Lot 2, common to the southwest corner of aforesaid Lot 3;

THENCE North 59°45'26" East, with the northerly line of said Lot 2, and with the southerly line of said Lot 3, a distance of 255.10 feet to the POINT OF BEGINNING and enclosing 2,488 acres (108,398 square feet) of land, more or less.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS

That RTG Holdings, LLC, does hereby adopt this plat designating the hereinbefore described property as GARNER'S REPLAT OF HERITAGE CROSSING, PHASE 1, BEING A REPLAT OF BLOCK G, LOTS 1 & 2 OF HERITAGE CROSSING, PHASE 1, an Addition to the City of Sherman, Grayson County, Texas, and does hereby dedicate to the public use forever all streets, rights-of-way, alleys and easements shown thereon. The City or any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements or growths in which any way endanger or interfere with the construction, maintenance or efficiency of its respective systems on any of these easements, and the City or any public utility shall at all times have the right of ingress and egress to and from and upon the said easement for the purpose of constructing, reconstructing, inspecting, and patrolling, without the necessity at any time of procuring the permission of anyone, this plat approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Sherman, Texas.

By: Ryan Garner, Managing Member

STATE OF TEXAS §
COUNTY OF GRAYSON §

BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Ryan Garner, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and considerations therein.

WITNESS MY HAND AND SEAL OF OFFICE THIS THE ___ DAY OF _____, 20__.

Notary Public in and for the State of Texas

CERTIFICATE OF APPROVAL BY THE PLANNING AND ZONING COMMISSION:

Approved this _____ day of _____, 20__ by the City Planning and Zoning Commission of the City of Sherman, Texas.

Chairman _____

Secretary _____

SURVEYORS CERTIFICATE

I, the undersigned, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that this plat is true and correct and was prepared from an actual survey of the property made under my supervision on the ground and that all monuments shown hereon actually exist and that their location, size, and material are correctly shown.

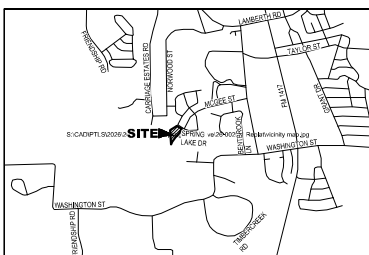
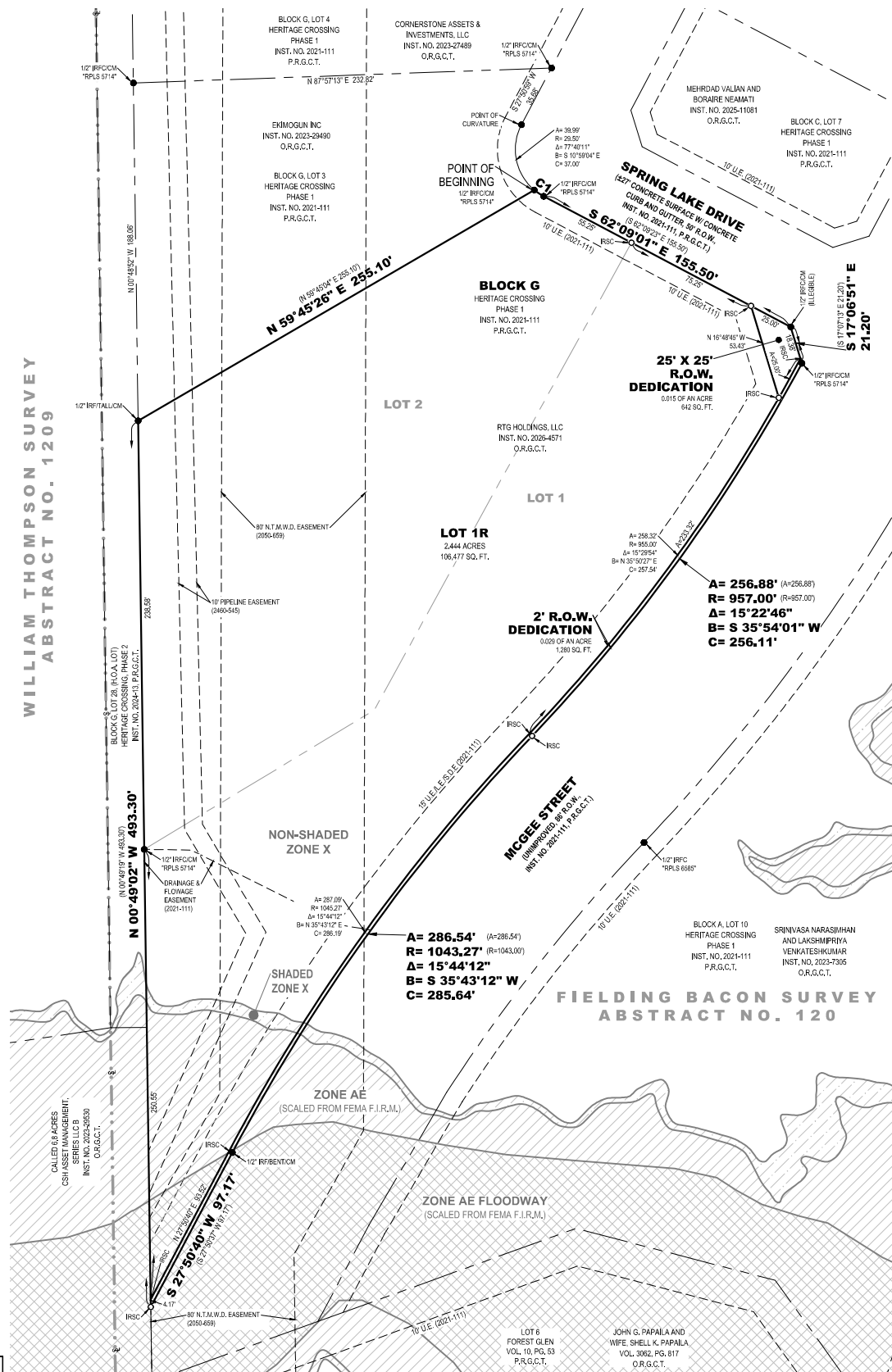
Chris R. Noah

Date _____

Registered Professional Land Surveyor No. 6585

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

WILLIAM THOMPSON SURVEY
ABSTRACT NO. 1209



VICINITY MAP (NOT TO SCALE)

FINAL PLAT
GARNER'S REPLAT OF HERITAGE CROSSING, PHASE 1
2,488 ACRES
BLOCK G, LOTS 1R
BEING A REPLAT OF HERITAGE CROSSING, PHASE 1
BLOCK G, LOTS 1 & 2
GEORGE B. PILANT SURVEY, ABSTRACT NO. 963
City of Sherman
Grayson County, Texas

OWNER/DEVELOPER:

Ryan Garner
RTG Holdings, LLC
P.O. Box 422
Durant, OK 74702
PH: 580-931-7926

SURVEYOR:

Chris Noah, RPLS 6585
Preston Trail Land Surveying LLC
787 W FM 996
Pottsboro, TX 75076
PH: 903-786-6029



787 W FM 996
Pottsboro, TX 75076
www.prestontrailandsurveying.com
903-786-6029

TBPELS Firm No. 10194175 | Drawn by: LGT | Scale: 1"=40' | Project No. 26-0028.2 | 10194175 | Checked by: CRN | Date: 05/19/2026 | Sheet No. 1 of 1

PRELIMINARY PLAT APPROVAL LETTER

April 13, 2026

Ryan Garner
RTG Holdings, LLC
P.O. Box 422
Durant, OK 74702

Chris Noah
Preston Trail Land Surveying, LLC
787 W FM 996
Pottsboro, TX 75076

Dear Applicants,

The request for approval of the Preliminary Plat of Garner's Replat of Heritage Crossing, Phase 1, has been reviewed by City Staff. The Preliminary Plat is to be considered Approved. Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

Additional Information:

1. All requirements of the Floodplain Ordinance shall be followed. *Code of Ordinances Chapter 3, Article 3.12*
2. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
3. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

If additional information or clarification is needed, do not hesitate to email engineering@cityofsherman.com prior to the meeting.

Respectfully,



Wayne E. Lee, P.E., CFM
Director of Engineering

cc: Dr. Zachary Flores, City Manager
Tom Pruitt, Utility Engineer
Clint Philpot Assistant City Manager
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney

Rob Rae, Director of Development Services
Dillon Stewart, Fire Marshal



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 9.

Meeting Date: 6/16/2026

Prepared By: Tammy Mrozinski, Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

* **2011 AND 2027 TEXOMA PARKWAY (Project No. 000409-20216)**-The request of Grayson County and Ikon Group Opportunity Zone Fund LLC (Owner) and Underwood Drafting & Surveying (Applicant & Surveyor), concerning the property located at 2011 and 2027 Texoma Parkway consisting of 4.62 acres, being Lot 2, Block A, First United Bank Addition, part of Lot 5, Block 2, Teague Industrial Park Unit No. 2, in the J.B. McAnair Survey, Abstract No. 763 and currently zoned C-2 (General Commercial) District, as follows:

Planning and Zoning Commission

Final Plat of Grayson Plaza.

Background:

The property is located at 2027 Texoma Parkway. The owner is requesting final plat approval.

The following has been approved at this location:

- 04/02/2026 - Site Plan for Storage and Cober structure, not visible from the ROW.
- 7/22/2025 - Public Hearing and Variance under Section 14.02.017 to allow 11' side set back in lieu of the required 15' for the existing structure.
- 7/22/2025 - Public Hearing and Variance under Section 14.02.017 to allow a 7.2 side setback in lieu of the required 15' for the existing structure.
- 1/9/2024 - Public Hearing, Site Plan and Specific Use Permit approval under Section 14.06.009 allow a mini-warehouse (Self Storage) in a C-2 (General Commercial) District.
- 10/17/2023 - Replat of Texoma Place Storage
- 10/14/1986 - To allow 2 signs per development lot.
- 09/08/1981 - To allow 90' and 5 stories in height in lieu of 35' or 2 stories.

Origination:

The request of Grayson County and Ikon Group Opportunity Zone Fund LLC (Owner) and Underwood Drafting & Surveying (Applicant & Surveyor).

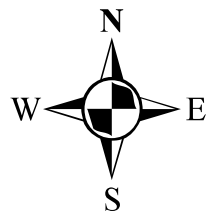
Staff Recommendation:

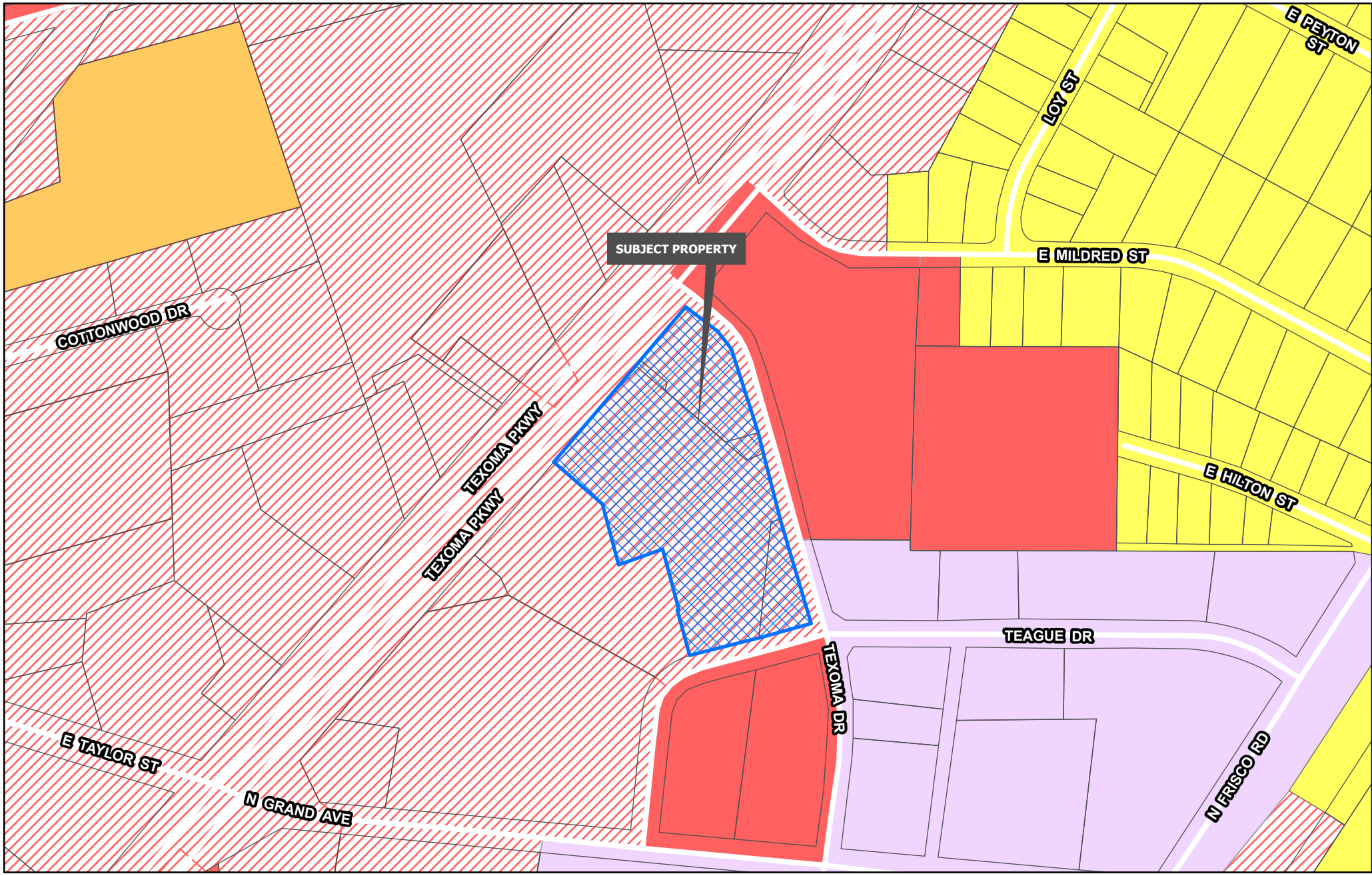
Staff recommends that P&Z approve this item.

Attachments:

1. Location Map

2. Zoning Map
3. Future Landuse Map
4. Final Plat
5. Conditional Approval Letter





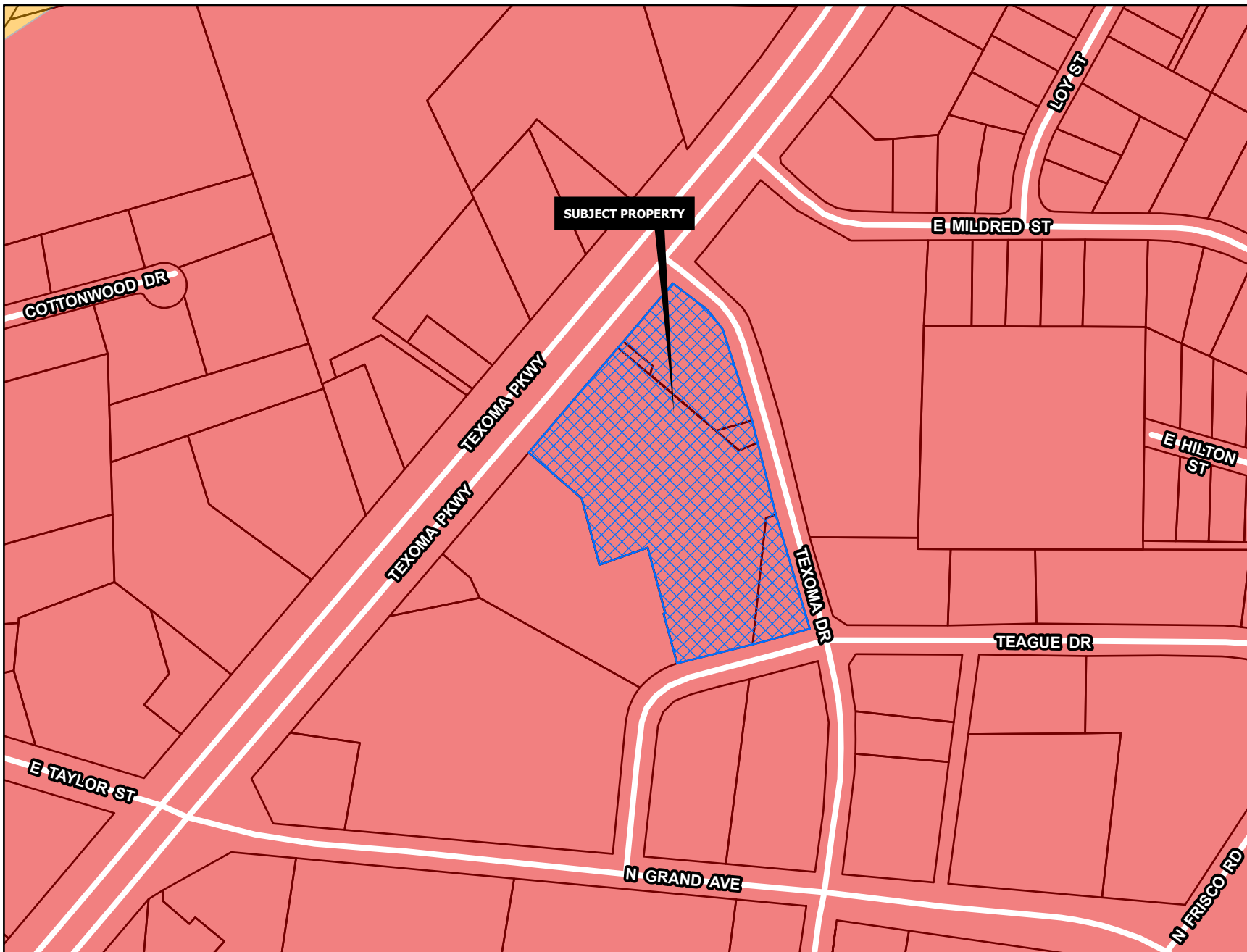
SUBJECT PROPERTY



- | | | |
|--------------------------------|--------------------------------|----------------------------|
| Planning & Zoning | R-4 Patio Home Residential | C-O Office |
| R-A Residential Agricultural | R-2F Duplex Residential | C-1 Retail Business |
| R-E Estate Residential | R-TH Townhome Residential | C-2 General Commercial |
| R-12 Single Family Residential | MF-15 Multi-Family Residential | M-1 Light Manufacturing |
| R-6 Single Family Residential | MF-30 Multi-Family Residential | M-1.5 Medium Manufacturing |
| R-5 Single Family Residential | MH Manufactured Housing | M-2 Heavy Manufacturing |
| | C-N Neighborhood Commercial | PD Planned Development |

**CITY OF SHERMAN
ZONING MAP
2011-2027 TEXOMA PKWY**





REGIONAL COMMERCIAL

Intent & Character
 The Regional Commercial category is intended to promote large-scale commercial development along US-75, while promoting community character through design. US-75 serves as the major gateway to and through the community; therefore, aesthetics and design should be promoted in this corridor. This category should allow large-scale commercial uses that serve the region and the community alike. A mix of uses and inter-connectivity between parcels should be encouraged.

Appropriate Land Use Types

- Retail and Restaurants
- Multi-Family Living
- Office Complex
- Medical
- Mixed Use
- Indoor Entertainment

Compatible Zoning Districts

- Retail Business
- General Commercial
- Office
- Multi-Family Residential (MF-15 and MF-30)
- Planned Development (for larger tracts)

Considerations

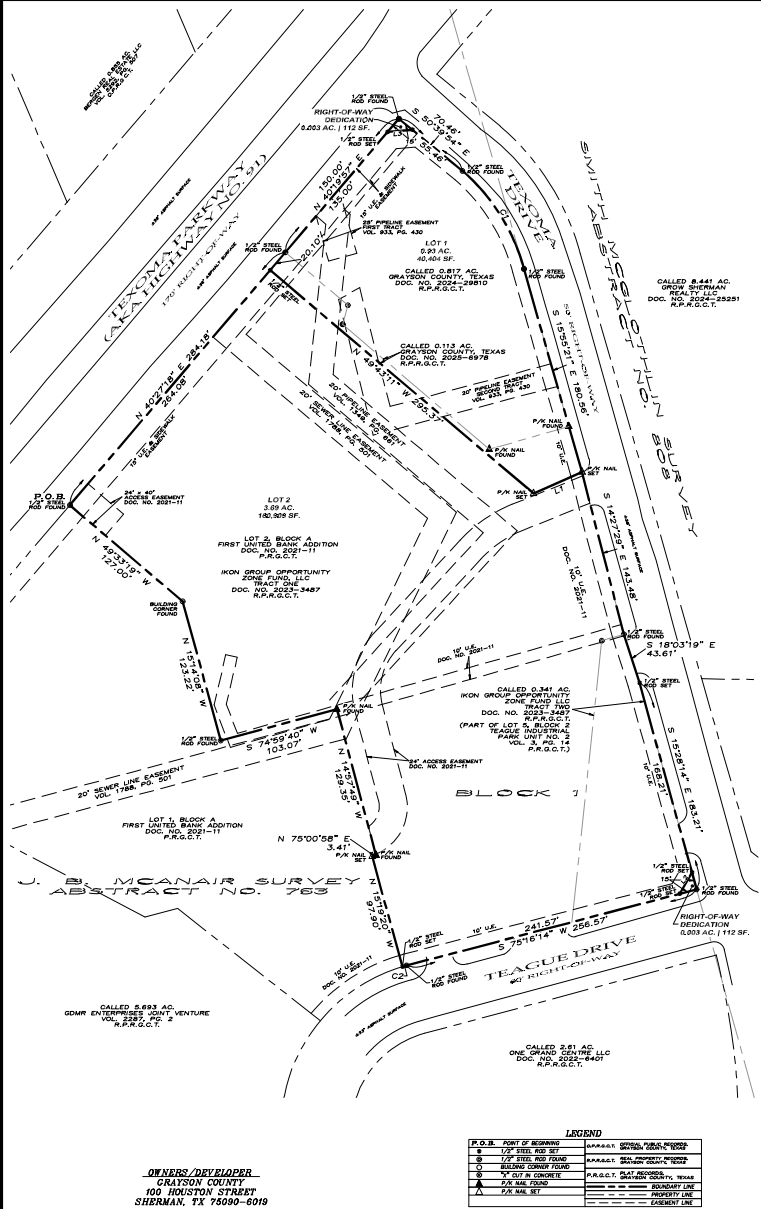
- Site design considerations should be given to parking, landscaping, and building articulation.
- Where possible, parking should be screened from view or well-landscaped with native, drought-tolerant plants.
- All buildings facades fronting a public street or within significant public view should have aesthetically-pleasing horizontal and vertical articulation.
- Signage should be multi-tenant, where possible, and should match the character of the primary structure.
- High density residential should be included in mixed use developments.
- High density residential is appropriate behind commercial areas, with inter-connectivity.
- If high density is stand alone, the surrounding uses and connectivity should be considered to avoid an "island."

Sherman
 CLASSIC TOWN. BROAD HORIZON.
 Development Services Department

- | | | |
|----------------------|-----------------------|-------------------|
| Agriculture/Rural | Core Neighborhood | Technology Hub |
| Airport | Downtown | Planning & Zoning |
| City Parkland | Regional Commercial | |
| Community Commercial | Suburban Neighborhood | |

**CITY OF SHERMAN
 FUTURE LANDUSE MAP
 2011-2027 TEXOMA PKWY**





OWNER'S CERTIFICATE OF DEDICATION

That GRAYSON COUNTY ION GROUP OPPORTUNITY ZONE FUND LLC, acting by and through its duly authorized agent, does hereby adopt this plat designating the herein described real property as GRAYSON PLAZA, in addition to the City of Sherman, Grayson County, Texas, being 4.63 acres situated in and being a portion of the J.B. McAnair Survey, Abstract No. 703, City of Sherman, Grayson County, Texas and does hereby dedicate to the public use forever the streets and easements shown on this plat for the public use and accommodation of all public and private utility systems and does hereby grant to the public use forever the right to remove and keep removed all or part of any buildings, fences, trees, shrubs or other improvements on any of these systems and to interfere with the construction, maintenance, or efficiency of its respective systems on any of these easements and any public or private utility, at all times, have a right of ingress and egress to and from and upon the said easement streets for the purpose of constructing, reconstructing, inspecting, repairing, maintaining and repairing or removing all or part of its respective system without the permission or consent of the owner of the land shown on this plat, and subject to the rules and regulations of the City of Sherman, Texas.

BRUCE DAWSEY, COUNTY JUDGE
GRAYSON COUNTY

RAW K. AKKINEN, MANAGING MEMBER
ION GROUP OPPORTUNITY ZONE FUND LLC

STATE OF TEXAS
COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared, BRUCE DAWSEY known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Notary Public in and for the State of Texas
Commission Expires _____

STATE OF TEXAS
COUNTY OF GRAYSON

BEFORE ME, the undersigned authority, a Notary Public in and for said County and State, on this day personally appeared, RAW K. AKKINEN known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purpose and consideration therein expressed.

Notary Public in and for the State of Texas
Commission Expires _____

LEGAL DESCRIPTION

Situated in the County of Grayson, State of Texas, being a part of J.B. McAnair Survey, Abstract No. 703, and being Lot 2 in Block A of First United Bank Addition, according to the plat thereof recorded in Document No. 2021-11, Plat Records, Grayson County, Texas, and of Lot 5 in Block 2 of Teague Industrial Park Unit No. 2, according to the plat thereof recorded in Volume 3, Page 14, said Plat Records, and the same being tracts of land described as Tract One and Tract Two in the deed to Ikon Group Opportunity Zone Fund, LLC, recorded in Document No. 2023-3487, Real Property Records, Grayson County, Texas, and all of a certain 0.817 acre tract of land described in the deed to Grayson County, Texas, recorded in Document No. 2024-2920, Real Property Records, and all of a certain 0.113 acre tract of land described in the deed to Grayson County, Texas, recorded in Document No. 2026-6878, said Real Property Records, and being described by metes and bounds as follows:

Beginning at a found 1/2" steel rod for the most westerly corner of said Lot 2, common to the most northerly corner of Lot 1 in said Block A, and on the southeasterly right-of-way line of Texoma Parkway (aka Highway No. 91);

Thence North 40°27'18" East, with the northwesterly line of said Lot 2, and with the northwesterly line of aforesaid Grayson County Tract, and with the southeasterly right-of-way line of said Texoma Parkway, a distance of 284.18 feet to a found 1/2" steel rod;

Thence North 40°19'57" East, continuing with the northwesterly line of said Grayson County Tract, and with the southeasterly right-of-way line of said Texoma Parkway, a distance of 150.00 feet to a found 1/2" steel rod for the most northerly corner of said Grayson County Tract, and at the intersection of the southeasterly right-of-way line of said Texoma Parkway, and with southeasterly right-of-way line of Texoma Drive;

Thence with the northwesterly line of said Grayson County Tract, and with the southeasterly right-of-way line of Texoma Drive, the following 3 courses:

1. South 50°59'54" East, a distance of 70.46 feet to a found 1/2" steel rod;

2. With a curve to the right having a radius of 170.03 feet, (chord bears South 32°02'18" East, 99.02 feet) on an arc length of 100.48 feet to a found 1/2" steel rod;

3. South 15°55'21" East, a distance of 180.86 feet to a previously set P/K nail for the southeast corner of said Grayson County Tract, common to the northwesterly corner of aforesaid Ikon Tract;

Thence with the easterly line of said Ikon Tract, and with the westerly right-of-way line of Texoma Drive, the following 3 courses:

1. South 14°27'29" East, a distance of 143.48 feet to a found 1/2" steel rod;

2. South 18°03'19" East, a distance of 43.61 feet to a set 1/2" steel rod;

3. South 15°28'14" East, a distance of 183.21 feet to a found 1/2" steel rod for the southeast corner of said Ikon Tract, and at the intersection of the westerly right-of-way line of Texoma Drive and the northerly right-of-way line of Teague Drive, the following 2 courses:

1. South 75°16'14" West, a distance of 256.57 feet to a found 1/2" steel rod;

2. With a curve to the left having a radius of 140.09 feet, (chord bears South 74°13'03" West, 3.68 feet) to a set 1/2" steel rod for the southern-most southwest corner of said Lot 2, common to the southeast corner of aforesaid Lot 1;

Thence with the westerly, northerly, southerly and southwesterly lines of said Lot 2, and with the easterly, northerly, southerly, and northwesterly lines of said Lot 1, the following 6 courses:

1. North 15°19'20" West, a distance of 97.90 feet to a set P/K nail;

2. North 75°00'58" East, a distance of 3.41 feet to a found P/K nail;

3. North 14°57'49" West, a distance of 129.35 feet to a found P/K nail;

4. South 74°59'40" West, a distance of 103.07 feet to a found 1/2" steel rod;

5. North 15°14'08" West, a distance of 123.22 feet to a found building corner;

6. North 49°33'19" West, a distance of 127.00 feet to the Point of Beginning and containing 4.63 acres of land, more or less.

All 1/2" steel rods set with a plastic yellow cap stamped "RPLS 4709" All P/K nails set with an aluminum washer stamped "RPLS 4709"

AVIGATION RELEASE

THE STATE OF TEXAS
COUNTY OF GRAYSON

WHEREAS, GRAYSON COUNTY & ION GROUP OPPORTUNITY ZONE FUND LLC, hereinafter called OWNER (whether one or more), is the owner of a certain parcel of land situated in the City of Sherman, Grayson County, Texas, being more particularly described as GRAYSON PLAZA, an addition to the City of Sherman, Grayson County, Texas;

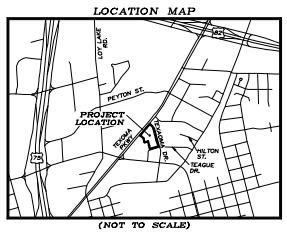
OWNER does hereby warn, release, remise, quit claim and forever hold harmless the City of Sherman, Texas, Municipal Corporation, hereinafter called CITY, and Sherman Municipal Airport, hereinafter called AIRPORT, from any and all claims for damages of any kind that the CITY or AIRPORT may now have or hereafter be liable in the future by reason of the passage of an aircraft (aircraft being defined for the purposes of this instrument as any contraption now known or hereafter invented, used or designed or navigation or flight in the air) by whomsoever owned and operated, in the airspace above the AIRPORT, described hereinafter as follows, but not be limited to, the airspace above the AIRPORT, described hereinafter as follows: vertical, lateral, and horizontal boundaries, and of other aircraft that fly at or on the Sherman Municipal Airport, whether such claim be for injury or death to person or persons, damage to property, or otherwise, and the CITY or AIRPORT hereby fully remise and release any right or cause of action which it may now have or which it may in the future have against the CITY or AIRPORT, whether such claim be for injury or death to person or persons, damage to property, or otherwise, that may be caused or may have been caused by the operation and/or maintenance of aircraft or aircraft engines at or on said Sherman Municipal Airport;

It is agreed that this Release shall be binding upon OWNER, his successors, heirs, executors, administrators and assigns, in interest with respect to said property located GRAYSON PLAZA, in addition to the City of Sherman, Texas, and it is agreed that this Release shall be recorded in the Deed Records of Grayson County, Texas.

EXECUTED THIS DAY OF _____, 2026.

BRUCE DAWSEY, COUNTY JUDGE
GRAYSON COUNTY

RAW K. AKKINEN, MANAGING MEMBER
ION GROUP OPPORTUNITY ZONE FUND LLC



COURSE	BEARING	DISTANCE	COURSE	BEARING	DISTANCE
1	S 50°59'54" E	70.46	5	S 74°59'40" W	103.07
2	Curve to the right	170.03	6	N 15°14'08" W	123.22
3	S 15°55'21" E	180.86	7	N 49°33'19" W	127.00
4	S 14°27'29" E	143.48	8	S 75°00'58" E	3.41
5	S 18°03'19" E	43.61	9	N 15°19'20" W	97.90
6	S 75°16'14" W	256.57	10	N 14°57'49" W	129.35

ACCEPTANCE

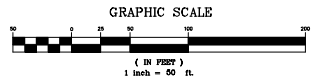
Approved this _____ day of _____, 2026, by the City Planning and Zoning Commission of the City of Sherman, Texas.

Chairman _____ Secretary _____

SURVEYOR'S CERTIFICATION

KNOW ALL MEN BY THESE PRESENTS: That I, Douglas W. Underwood, do hereby certify that I prepared this plat from actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the subdivision regulations of the City of Sherman, Texas.

Douglas W. Underwood
Registered Professional Land Surveyor, No. 4709



OWNERS/DEVELOPER
GRAYSON COUNTY
100 HOUSTON STREET
SHERMAN, TX 75690-8019

OWNERS/DEVELOPER
ION GROUP OPPORTUNITY ZONE FUND LLC
301 OCONNOR ROAD, SUITE 109
IRVING, TX 75061-4516

SURVEYOR
DOUGLAS W. UNDERWOOD
R.P.L.S. NO. 4709
3404 INTERURBAN ROAD
DENISON, TEXAS



Eng. File No. 2830-A
Project No. 000058-2025-PLAT

PRELIMINARY PLAT CONDITIONAL APPROVAL LETTER

June 6, 2025

Grayson County
100 Houston Street
Sherman, TX 75090-6019

Underwood Drafting & Surveying
3404 Interurban Road
Denison, TX 75021

Ikon Group Opportunity Zone Fund, LLC
901 O'Connor Road, Ste. 109
Irving, TX 75061-4512

Dear Applicants,

The request for approval of the Preliminary Plat of Grayson Plaza has been reviewed by City Staff. The Preliminary Plat is to be considered Conditionally Approved Subject to Modifications indicated by this Staff Review Letter prior to Final Plat or Final Replat being submitted. Conditional Approval of this Preliminary Plat shall be effective for a period of twenty-four (24) months from the date of this letter.

City staff has reviewed your request with regards to engineering and development guidelines and finds the following items need to be addressed:

Engineering Comments:

1. Dedication of a 15'x15' Right of Way corner clip on Southeast corner of proposed Lot 2 is required. The provided 25'x25' Right of Way corner clip on Southeast corner of proposed Lot 2 may be reduced to 15'x15' if preferred. *Code of Ordinances Chapter 10.03.007(a); Engineering Design Standards Manual Sec. 2.7*
2. All Staff Review Letter items on Preliminary Plat shall be addressed prior to submitting Final Plat to Planning & Zoning Commission. *Code of Ordinances Chapter 10.02.003(a)(2)*
3. Preliminary Plats are valid for a period of 24 months. *Code of Ordinances Chapter 10.02.002(b)(3)*

Zoning Comments:

4. The side setbacks in the C-2 (General Commercial) District are
 - a. 15' side setback. (Sec. 14.02.017(1))
 - i. A Variance to allow an 11' side setback for the existing structure in lieu of the required 15' will be required.
 - ii. A Variance to allow a 7.2 side setback for the existing structure in lieu of the required 15' will be required.

- b. 25' rear setback
 - i. A Variance to allow 17' in lieu of the required 25' for the existing structure will be required.
- 5. Variances must be submitted according to the Planning and Zoning and Board of Adjustment Calendar to be presented at the same meeting or a meeting prior to the Planning and Zoning meeting that the Final Plat is to be presented.

If additional information or clarification is needed, do not hesitate to email engineering@cityofsherman.com prior to the meeting.

Respectfully,



Rob Rae, AICP
Director of Development Services

cc: Dr. Zachary Flores, City Manager
Tom Pruitt, Utility Engineer
Clint Philpott, Assistant City Manager
The Law Firm of Abernathy, Roeder, Boyd, & Hughlett, P.C., City Attorney

Rob Rae, Director of Development Services
Dillon Stewart, Fire Marshal



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 10.

Meeting Date: 6/16/2026

Prepared By: Tammy Mrozinski, Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

*** 801 BLOCK NORTH FM 1417 (HERITAGE PARKWAY) (Project No. 000396-2026)**-The request of Sherman Apartments LLC & Nagpal Rohit (Owner), CCM Engineering (Applicant), and Preston Trail Land Surveying (Surveyor), concerning the property located in the 801 Block North FM 1417 (Heritage Parkway), consisting of 8.609 acres, being Lot 2-R, Block 5 of Nazarene 1st Addition, being a Replat of Lots 1 and 2, Block 5 of Laurel Creek Addition, in the J.B. McAnair Survey, Abstract No. 763 and G.W. McClothlin Survey, Abstract No. 828 and currently zoned MF-30 (Multifamily Residential) District, as follows:

Planning and Zoning Commission

Site Plan of Sherman Apartments.

Background:

The property is located in the 801 Block North FM 1417 (Heritage Parkway). The owner is requesting Site Plan approval for Sherman Apartments.

Origination:

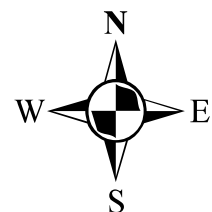
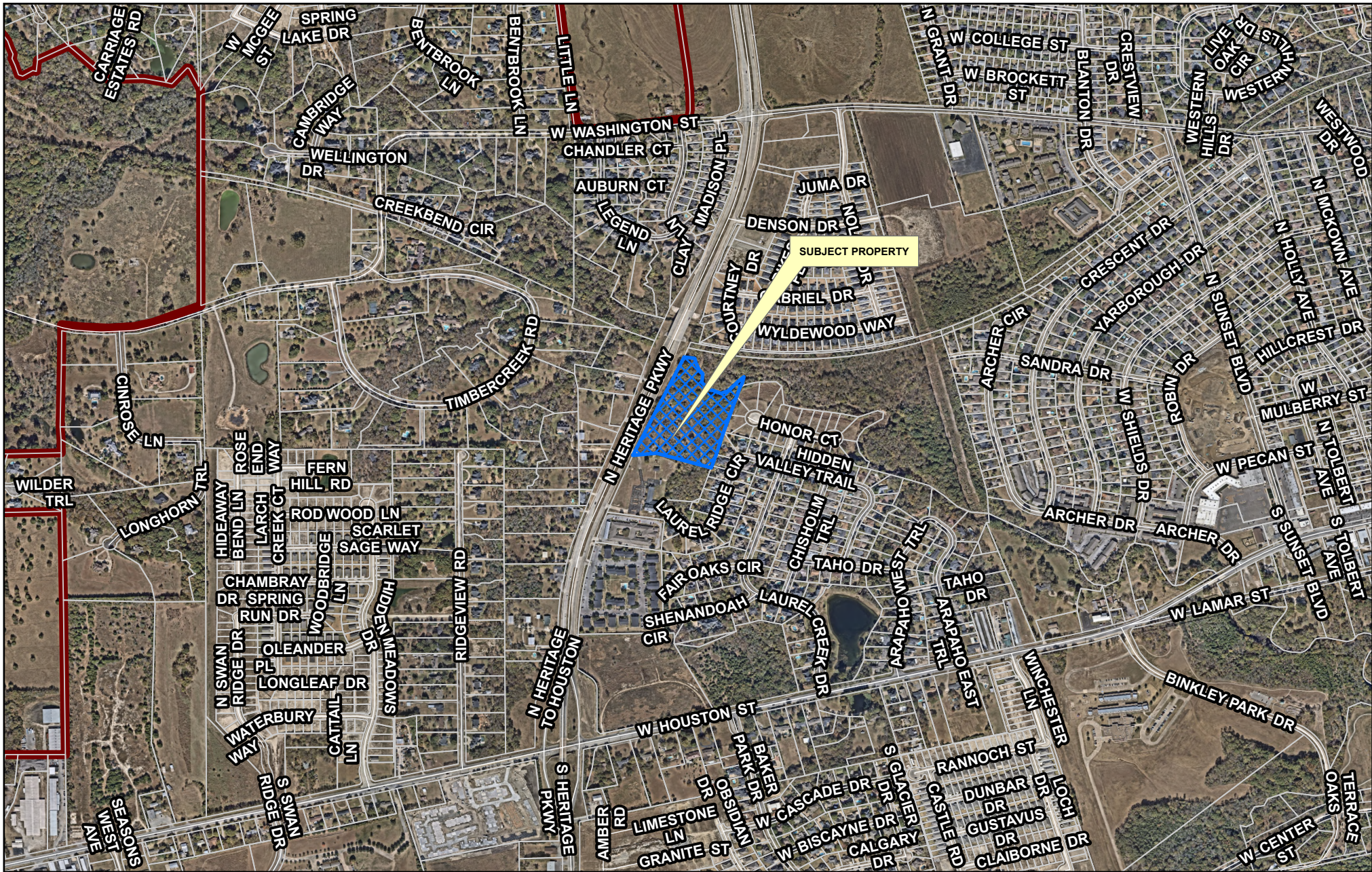
The request of Sherman Apartments LLC & Nagpal Rohit (Owner), CCM Engineering (Applicant), and Preston Trail Land Surveying (Surveyor).

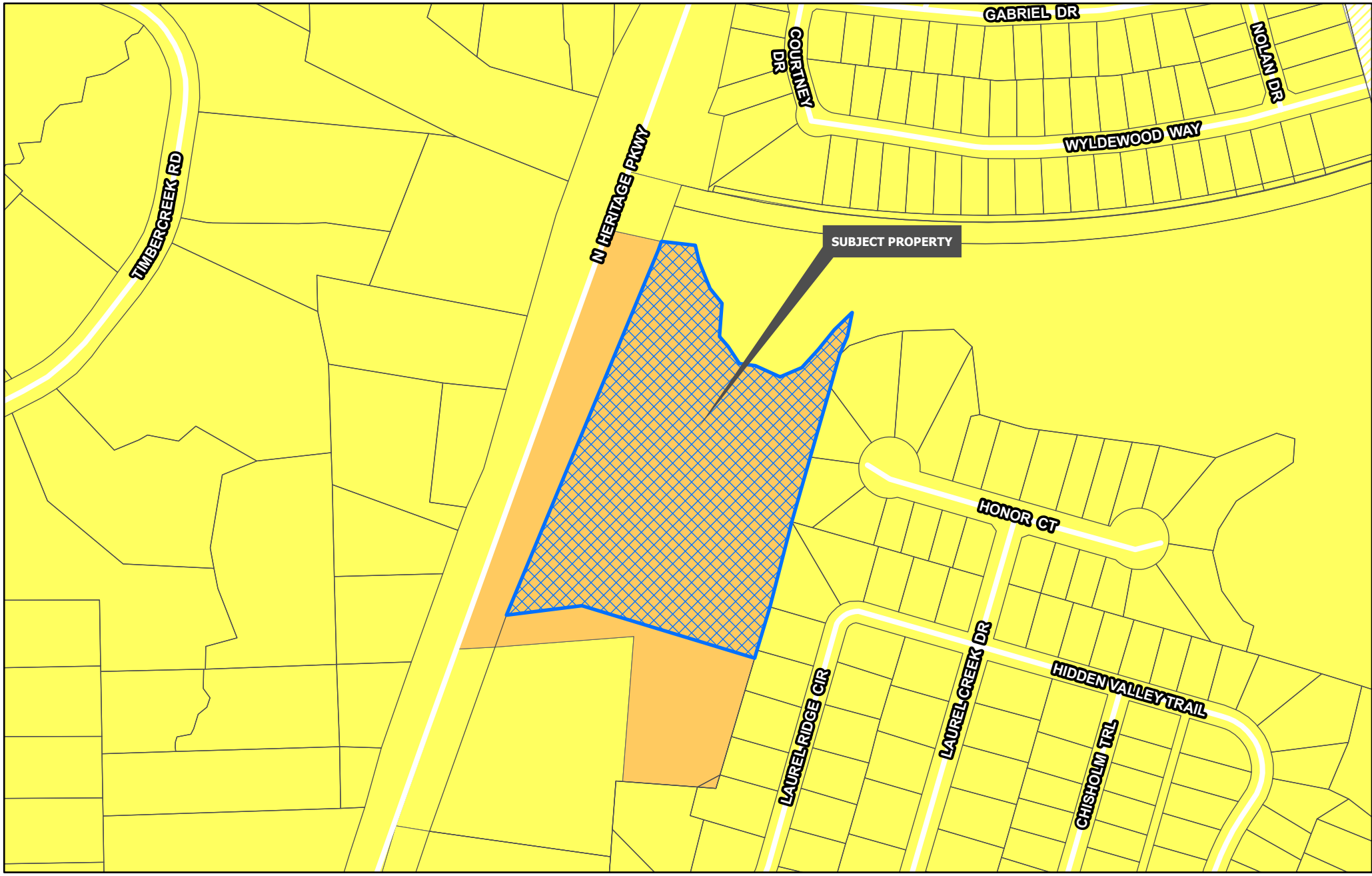
Staff Recommendation:

Staff recommends that P&Z approve this item.

Attachments:

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Survey
5. Project Narrative
6. Site Plan
7. Elevation
8. Landscape Plan
9. Comment Response





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
ZONING MAP
801 BLK N FM 1417
(HERITAGE PKWY)**



CORE NEIGHBORHOOD

Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

Appropriate Land Use Types

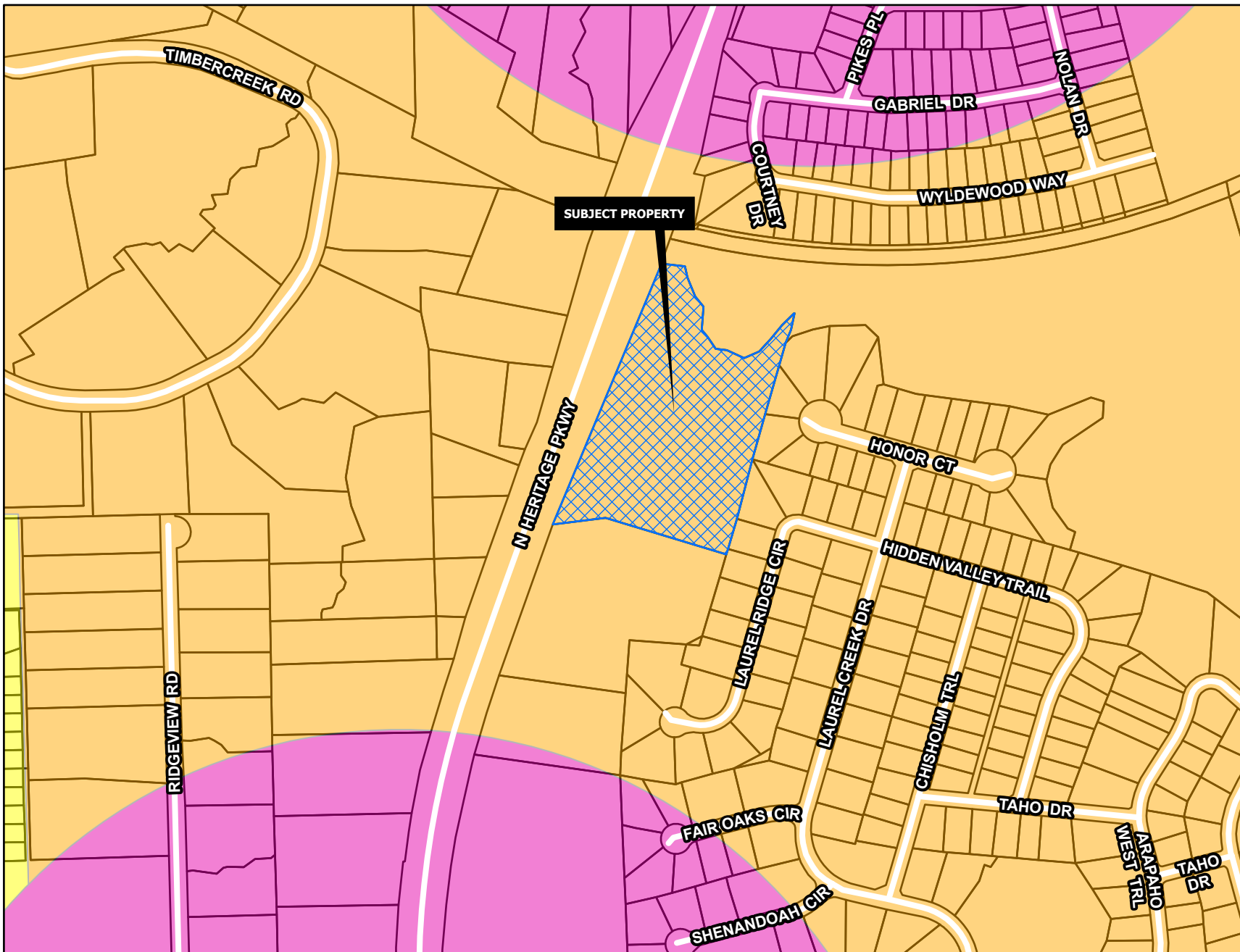
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

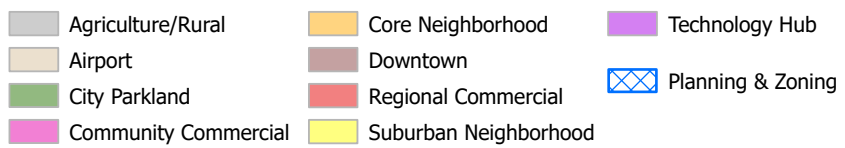
- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.

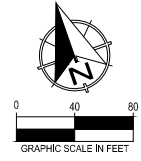


Sherman
CLASSIC TOWN. BROAD HORIZON.
Development Services Department



**CITY OF SHERMAN
FUTURE LANDUSE MAP
801 BLK N FM 1417
(HERITAGE PKWY)**





All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.

LAND DESCRIPTION:

BEING Lot 2-R, in Block 5, of Nazarene 1st Addition, being a replat of Lots 1 and 2, in Block 5 of Laurel Creek Addition, an addition to the City of Sherman, Grayson County, Texas according to the plat thereof recorded in Instrument No. 2022-128, Plat Records of Grayson County, Texas.

GENERAL NOTES:

- This survey was completed without the benefit of a current title commitment. Additional Easements and/or other matters of record may affect the surveyed property. The Surveyor did not perform an Abstract of Title.
- Abstract lines shown are approximate.

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 24°09'05" W	36.05'
L2	S 02°07'02" E	48.99'
L3	S 26°08'10" E	11.71'
L4	S 41°59'54" E	21.60'
L5	S 17°06'23" E	20.09'
L6	S 03°07'07" E	66.04'
L7	S 20°40'09" E	38.55'
L8	S 40°44'49" E	43.89'
L9	S 71°34'02" E	42.29'
L10	N 79°30'38" E	40.03'
L11	S 85°20'45" E	34.43'
L12	N 74°44'28" E	19.12'
L13	S 85°27'39" E	27.02'
L14	N 61°21'36" E	21.58'
L15	N 40°58'07" E	67.09'
L16	N 42°41'35" E	30.78'
L17	N 55°27'48" E	27.80'

LEGEND

●	FOUND MONUMENT	D.R.G.C.T.	DEED RECORDS, GRAYSON COUNTY, TEXAS
○	SET MONUMENT		GRAYSON COUNTY, TEXAS
IRSC	1/2" IRON ROD W/ PRESTON TRAIL LAND SURVEYING, RPLS 6585" CAP SET	O.R.G.C.T.	OFFICIAL RECORDS, GRAYSON COUNTY, TEXAS
IRF	IRON ROD FOUND	R.P.R.G.C.T.	REAL PROPERTY RECORDS, GRAYSON COUNTY, TEXAS
IRFC	IRON ROD FOUND W/ PLASTIC CAP		
CMF	CONCRETE MONUMENT FOUND	VOL., PG.	VOLUME, PAGE
BRS	BEARS	U.E.	UTILITY EASEMENT
CM	CONTROLLING MONUMENT	D.E.	DRAINAGE EASEMENT
()	DEED OR PLAT CALL		BOUNDARY LINE
R.O.W.	RIGHT-OF-WAY		ADJOINER LINE
P.R.G.C.T.	PLAT RECORDS, GRAYSON COUNTY, TEXAS		ABSTRACT LINE APPROXIMATE
			EASEMENT
			ASPHALT

FLOOD STATEMENT:

I have examined the F.E.M.A. Flood Insurance Rate Map for the City of Sherman, Grayson County, Texas, Community Number 485509, preliminary date 07/24/2020, as provided by the City of Sherman, and that map indicates that portions of this property are within "Zone AE" defined as "Special Flood Hazard Areas (SFHAs) subject to inundation by the 1% annual chance flood with base flood elevations determined."; and within "Floodway Zone AE" defined as "The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights." as shown on Panel 0290 F of said map. This flood statement does not imply that the property and/or structures thereon will be free from flooding or flood damage, on rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor. This flood information is preliminary and varies from the current effective flood zone information at time of platting.

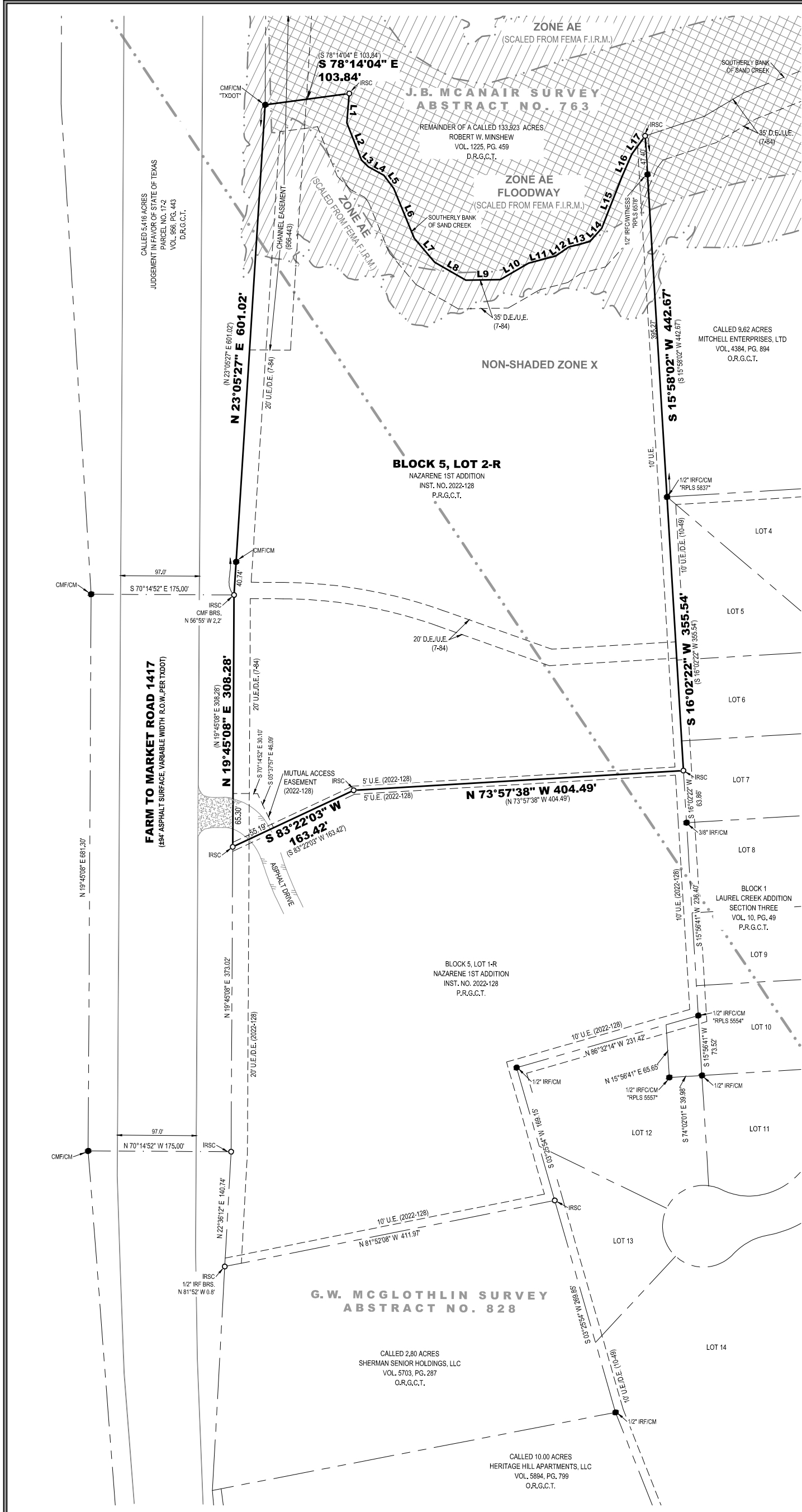
**TITLE SURVEY
NAZARENE 1ST ADDITION
BLOCK 5, LOT 2-R
8.609 ACRES**

**J.B. MCANAIR SURVEY, ABSTRACT NO. 763
G.W. MCGLOTHLIN SURVEY, ABSTRACT NO. 828
TBD Farm to Market Road 1417, Sherman
Grayson County, Texas**



787 W FM 996
Pottsboro, TX 75076
www.prestontrailandsurveying.com
903-786-6029

TBPLS Firm No. 10194175	Drawn by: LGT Checked by: CRN	Scale: 1"=80' Date: 06/16/2022	Project No. 22-0109.2R Sheet No. 1 of 2
----------------------------	----------------------------------	-----------------------------------	--------------------------------------------





CCM ENGINEERING

2570 FM 407 STE. 209, Highland Village, TX 75077

Office: 972-691-6605

TBPE FIRM #605

Re: SHERMAN APARTMENTS MULTIFAMILY

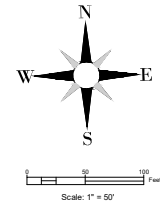
The proposed Sherman Apartments development consists of a multi-family residential community located along FM 1417 in Sherman, Texas.

The project includes four 4-story apartment buildings with associated amenities, parking, internal drives, fire lanes, sidewalks, landscaping, and utility infrastructure.

Planned site amenities include a swimming pool, basketball court, children's playground, gym, party hall, and leasing office.

The development is designed to provide high-quality residential housing while maintaining compatibility with surrounding residential zoning and existing infrastructure.

The site plan incorporates required setbacks, landscape buffers, drainage easements, utility improvements, and open space areas in compliance with applicable City of Sherman development standards.

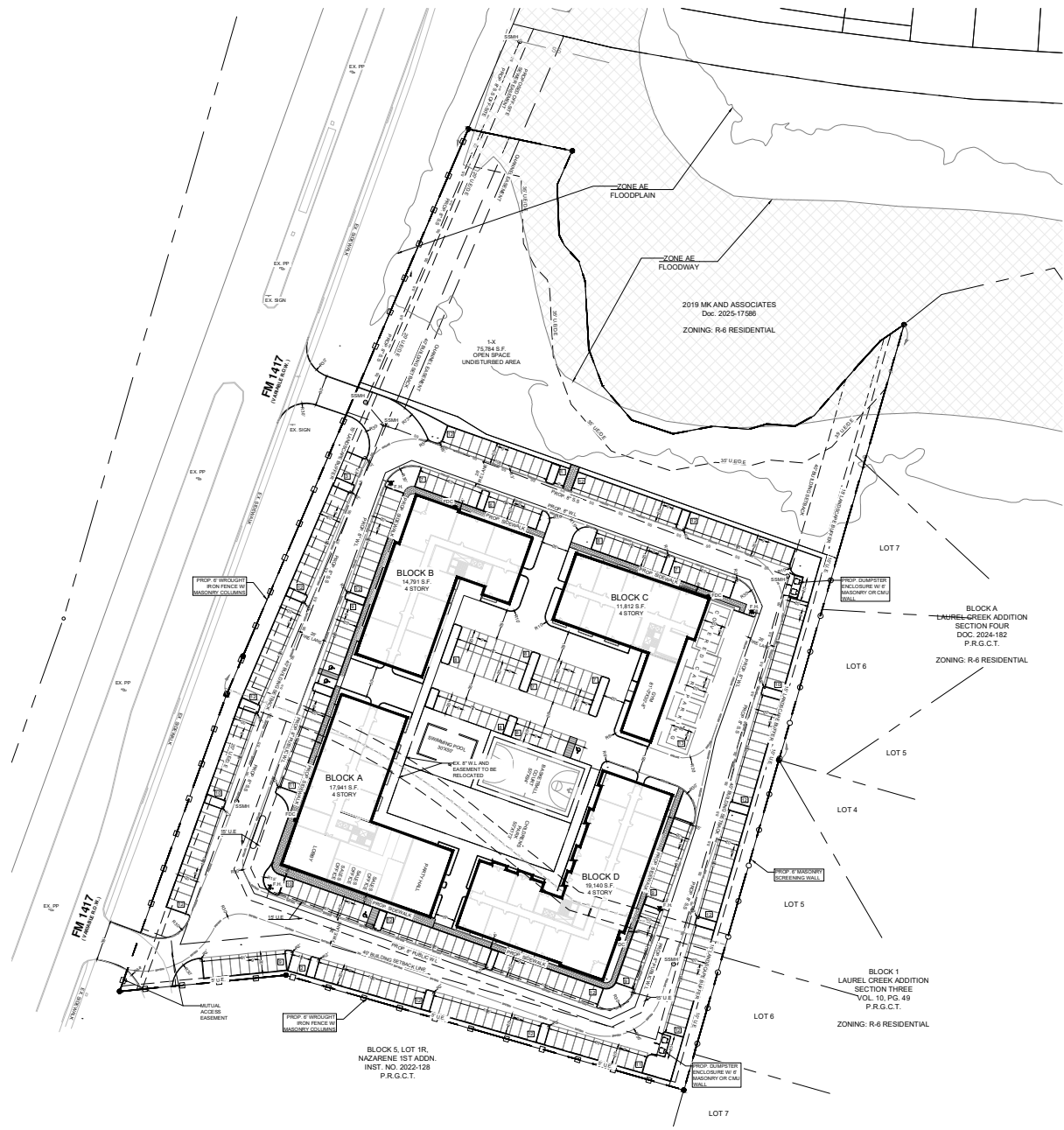


VICINITY MAP

LEGEND

- BOUNDARY LINE
- PROP. SIDEWALK
- FIRE LANE
- 6' MASONRY FENCE
- 6' WROUGHT IRON FENCE
- PROP. SANITARY SEWER
- PROP. WATER LINE
- PROP. FIRE HYDRANT
- PARKING SPACE COUNT

SITE DATA	
Zoning	MF-30
Gross square feet of property	375,008 Sqft / 8.600 Acres
Total Buildings square feet	63,684 sqft
Total units	195 units
Building Setback	40 feet
Building Height	50 feet
Parking Requirements	
1 B0 - 101 units x 2.5u	151.5 Spaces
2 B0 - 83 units x 2u	166 Spaces
3 B0 - 11 units x 2.5u	27.5 Spaces
	Required 346 Spaces
	Provided 348 Spaces
Impervious Cover	266,606 Sqft
Undisturbed Area	
	Required 75,001 Sqft
	Provided 75,784 Sqft
Lanscaped Area	30,000 Sqft



FOR PRELIMINARY REVIEW ONLY
 THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW ONLY BY THE AUTHORITY OF THE CITY OF SHERMAN. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.
 APR. 10. 2024 9:17:21 AM

CCM Engineering
 2570 FM 407, Suite 209
 Highland Village, Texas 75077
 Ph: 972.691.8633
 Fax: 972.691.8628
 TBPE FIRM #605



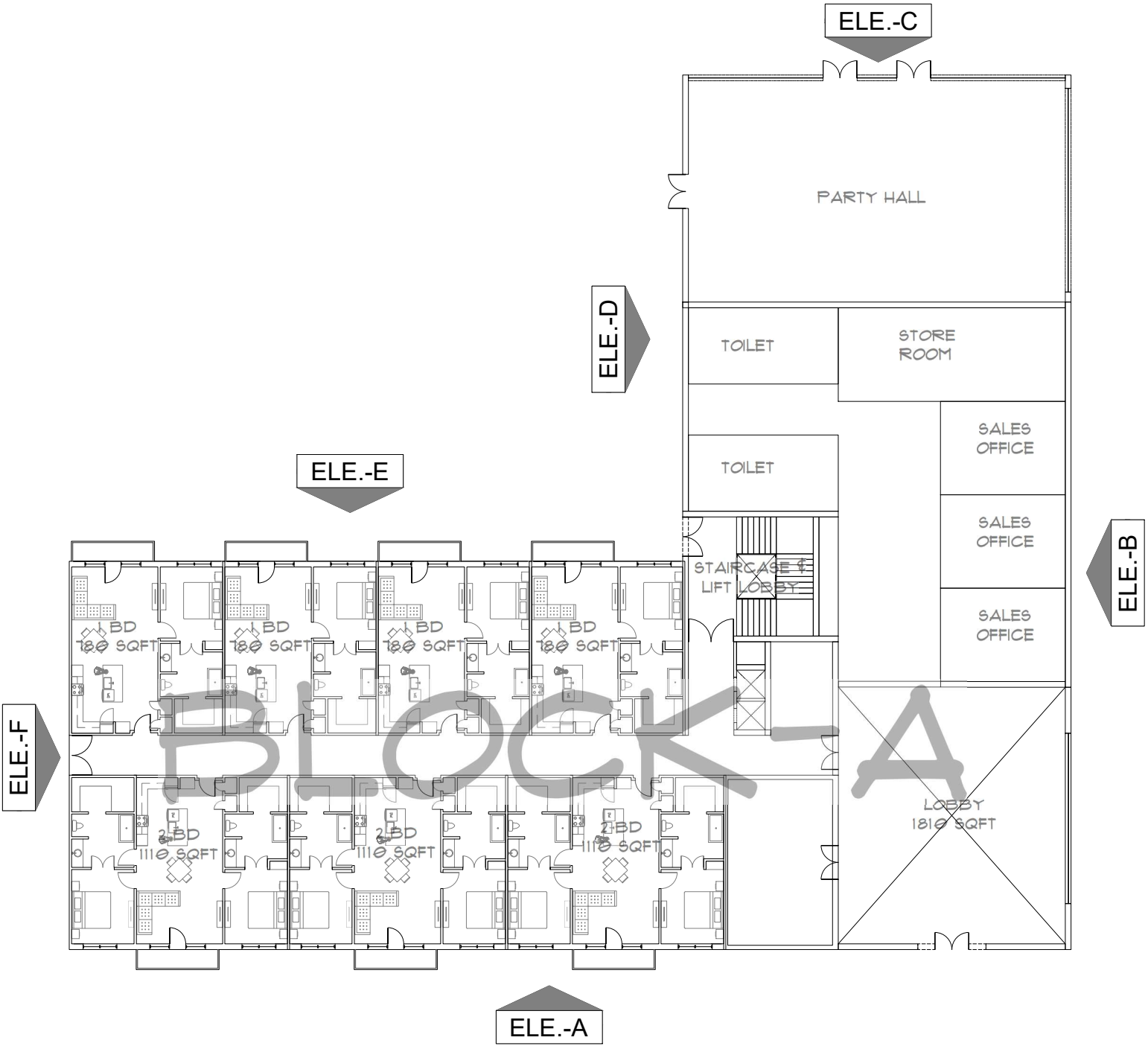
**SHERMAN APARTMENTS
 FM 1417
 SHERMAN, Texas**

SITE PLAN

REVISIONS

DESIGN: CCM Engineering
 DRAWN: CCM Engineering
 DATE: 6/2/24
 SCALE:
 NOTES:
 FILE:

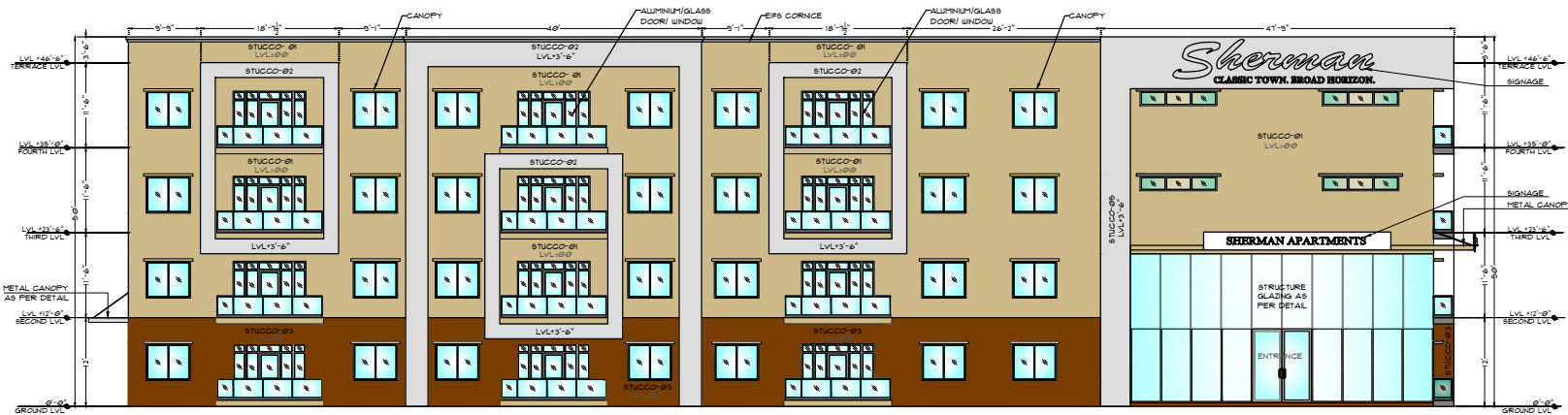
NOTES:
 1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC).
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.



NO.	DESCRIPTION	DATE

DWG. STAGE SCHEMATIC	REVISION 1
DESIGNED FOR SCHEMATIC	2
DRAWING TITLE BLOCK-A KEY PLAN	3
DWG. NO. 1447-01	SHEET NO. 01
FILE NO. ELEVATION-BLOCK-A-DWG	PROJECT NO. 1447-01
PROJECT NO. 1447-01	SHEET NO. 01
SCALE 1/8" = 1'-0"	DATE 08/15/2023
DRAWN BY MSA	CHECKED BY JG

NOTES:
 1. SEE NOTES IN ALL OTHER SHEETS.
 2. ALL FINISHES SHALL BE SHOWN UNLESS OTHERWISE SPECIFIED.
 3. ALL FINISHES SHALL BE SHOWN UNLESS OTHERWISE SPECIFIED.
 4. FINISHES SHALL BE SHOWN UNLESS OTHERWISE SPECIFIED.
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 6. FINISHES SHALL BE SHOWN UNLESS OTHERWISE SPECIFIED.
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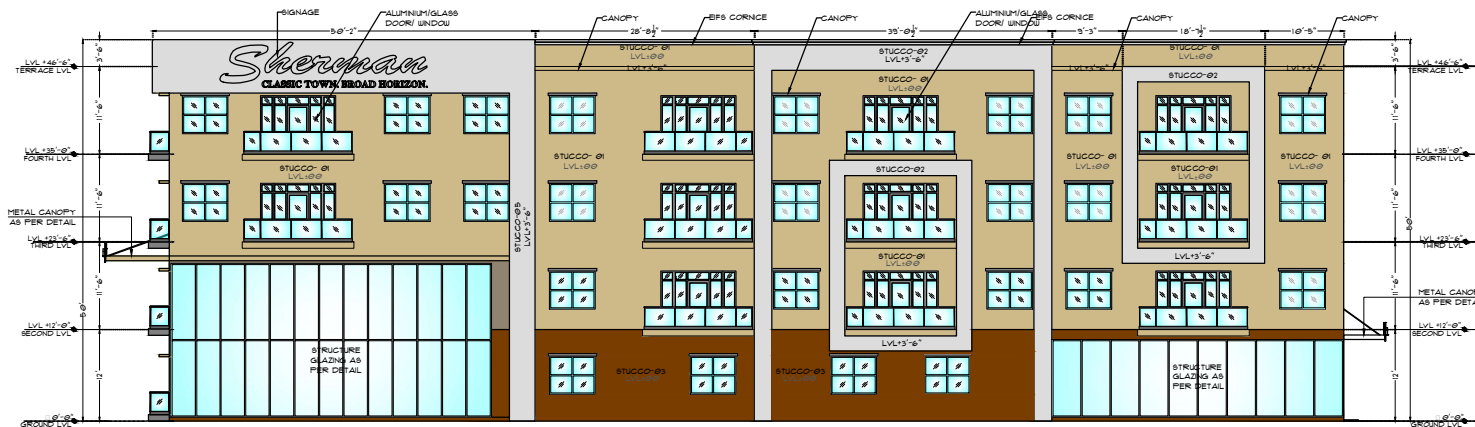
ELEVATION-A

USING SHADES OF STUCCO
 SHERWIN-WILLIAMS

STUCCO-01 - SW 7566
 WESTINGHLAND WHITE

STUCCO-02 - SW 7031
 BALANCED BEIGE

STUCCO-03 - SW 7039
 VIRTUAL TAUPE



ELEVATION-B

REVISION	NO.	DESCRIPTION	DATE
	01		
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DWG. STAGE: _____ DESIGNED FOR: _____ DRAWING TITLE: _____ SHEET NO.: _____ TOTAL SHEETS: _____ DATE: _____ SCALE: _____ DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____	PROJECT NO.: _____ SHEET NO.: _____ TOTAL SHEETS: _____ DATE: _____ SCALE: _____ DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____
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NOTES:

 1. SEE GENERAL NOTES TO ALL SHEETS

 2. ALL FINISHES SHALL BE SPECIFIED

 3. ALL MATERIALS SHALL BE APPROVED

 4. ALL MATERIALS SHALL BE APPROVED

 5. ALL MATERIALS SHALL BE APPROVED

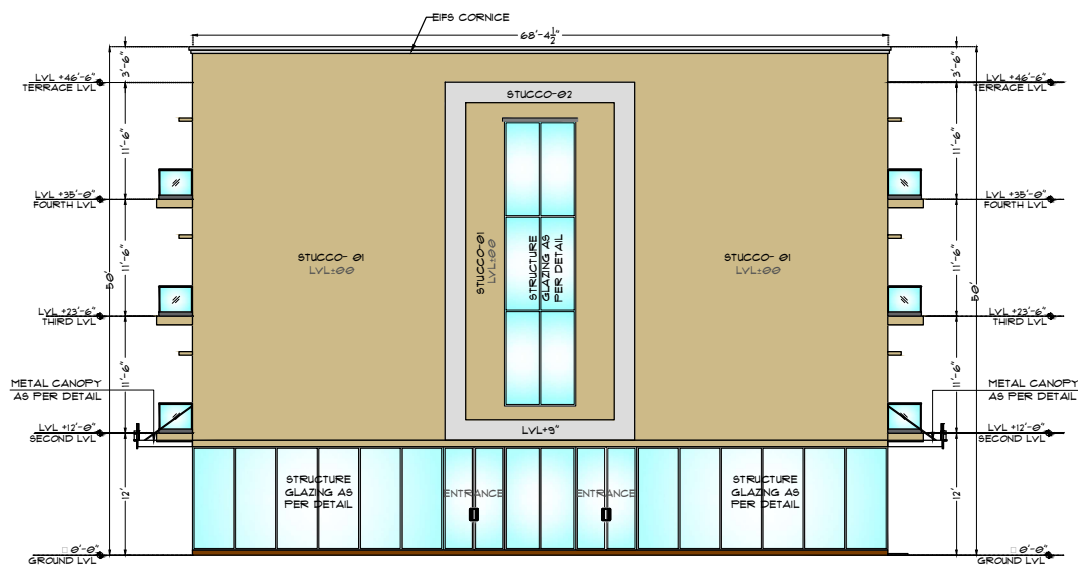
 6. ALL MATERIALS SHALL BE APPROVED

 7. ALL MATERIALS SHALL BE APPROVED

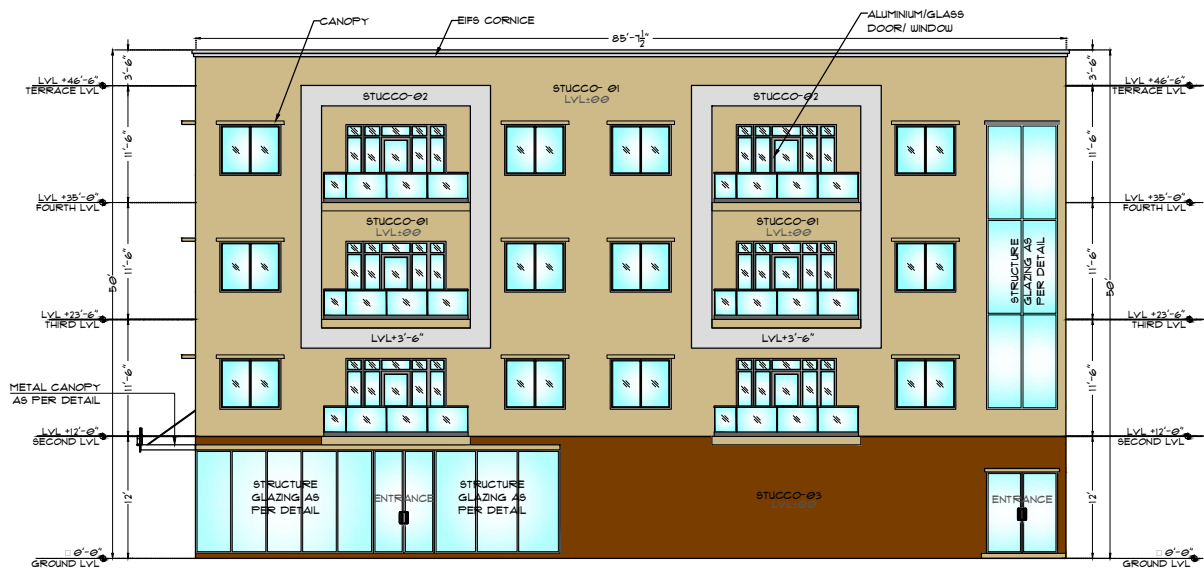
 8. ALL MATERIALS SHALL BE APPROVED

 9. ALL MATERIALS SHALL BE APPROVED

 10. ALL MATERIALS SHALL BE APPROVED



ELEVATION-C



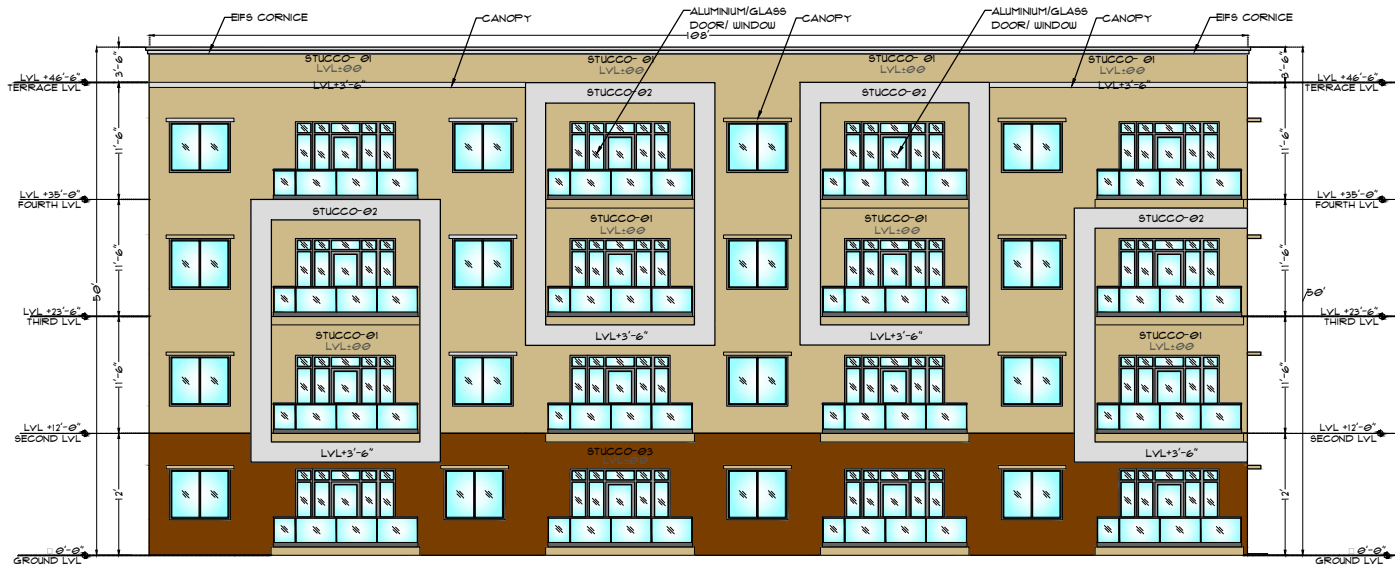
ELEVATION-D

USING SHADES OF STUCCO
 SHERWIN-WILLIAMS

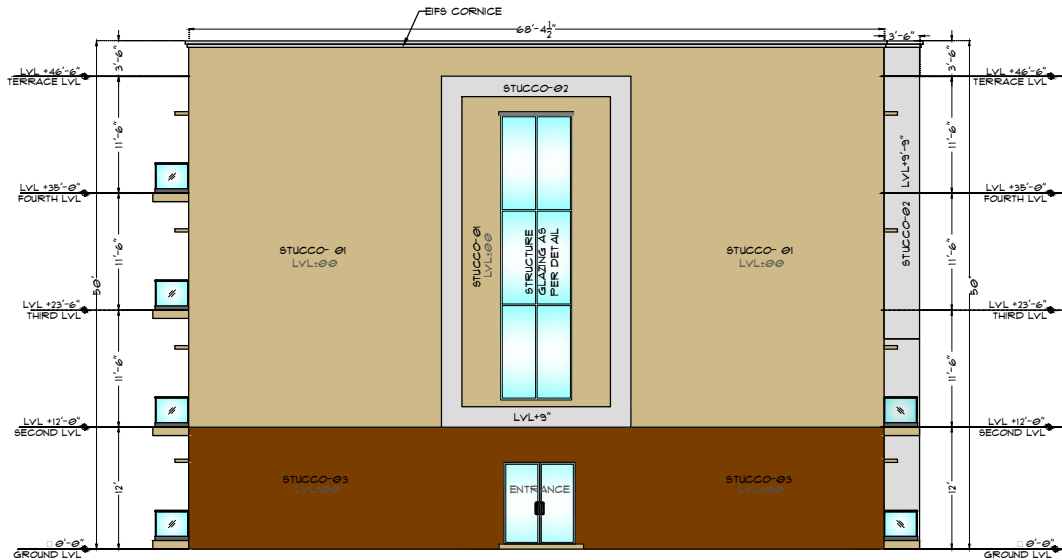
- STUCCO-01 - SW 7566 WESTINGHLEND WHITE
- STUCCO-02 - SW 7037 BALANCED BEIGE
- STUCCO-03 - SW 7039 VIRTUAL TAUPE

REVISION	NO.	DESCRIPTION	DATE
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DWG. STAGE SCHEMATIC	SHEET FOR SCHEMATIC
DRAWING TITLE BLOCK-A ELEVATION	
DWG. NO. 444-001	SHEET NO. 01
FILE NO. ELEVATION-BLOCK ADJ.	DRAWN BY 09-08-2008
PROJECT NO. 888	DATE 09-08-2008
SCALE 1/8" = 1'-0"	SHEET NO. 01
DWG. NO. 444-001	SHEET NO. 01



ELEVATION-E



ELEVATION-F

USING SHADES OF STUCCO
SHERWIN-WILLIAMS

STUCCO-01 - SW 7566
WESTINGHLEND WHITE

STUCCO-02 - SW 7031
BALANCED BEIGE

STUCCO-03 - SW 7039
VIRTUAL TAUPE

PROJECT: 888 PRODUCTION DRIVE, PHASE 1
SHERMAN APARTMENTS
FMI417 SHERMAN, TEXAS

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES.

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DATE: 09/20/2024
SCALE: 1/8" = 1'-0"
SHEET NO: 02
TOTAL SHEETS: 02

NOTES:

 1. SEE GENERAL NOTES TO ALL SHEETS.

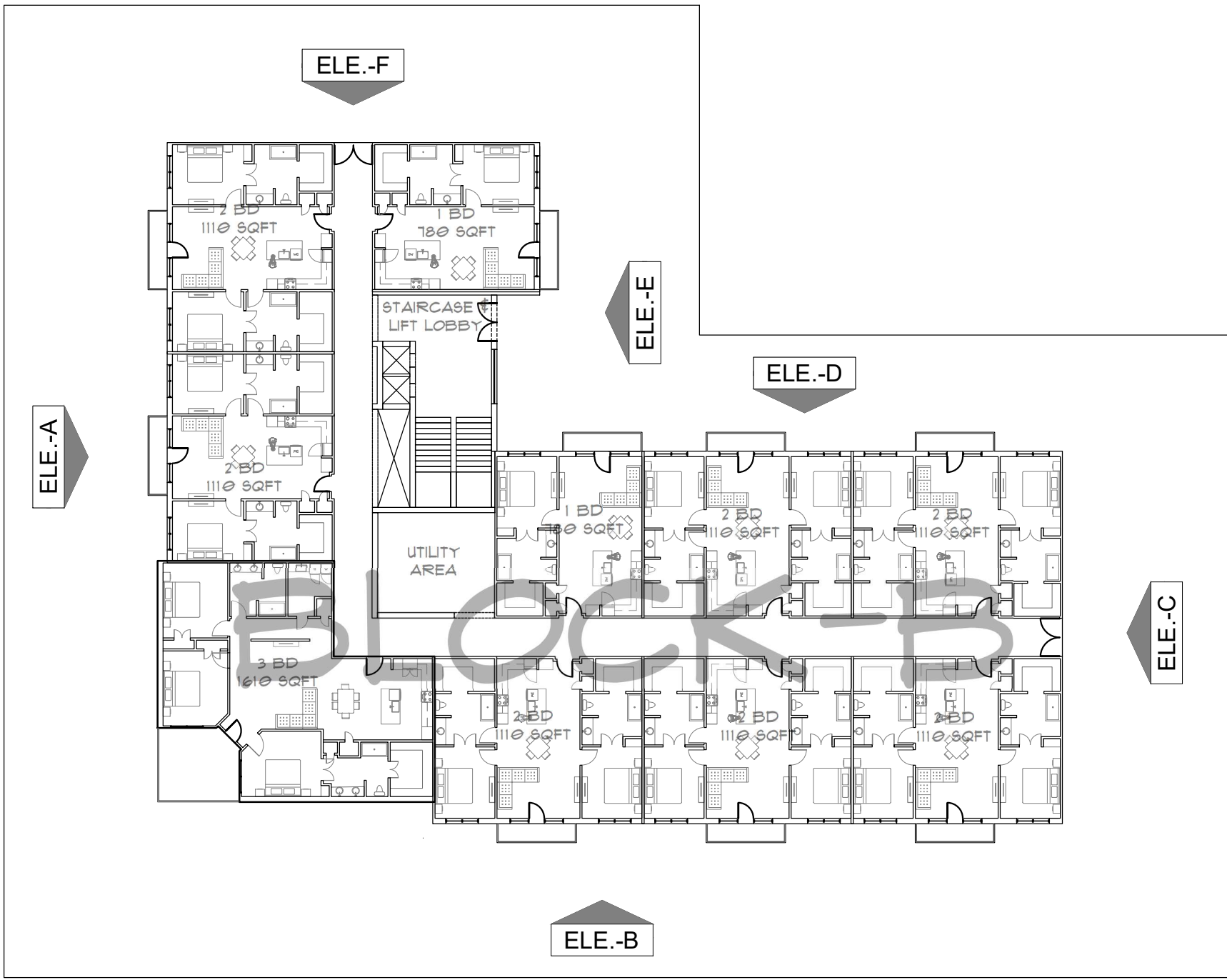
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.

 3. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

 4. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTOR LICENSES AND INSURANCE.

 5. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTOR LICENSES AND INSURANCE.

 6. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CONTRACTOR LICENSES AND INSURANCE.



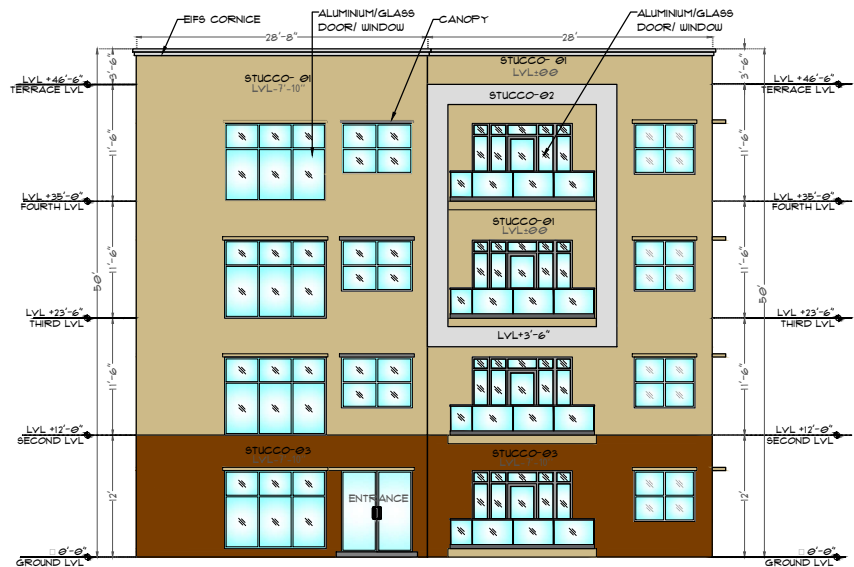
NO.	DESCRIPTION	DATE

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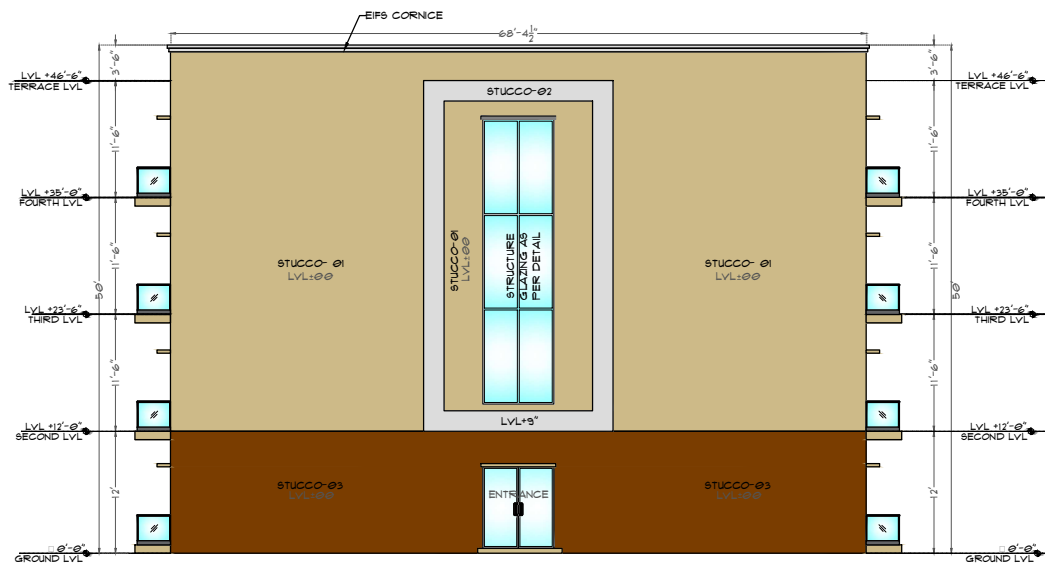
 DESIGNED FOR: SCHEMATIC

 DRAWING TITLE: BLOCK-B KEY PLAN

DATE: 09-09-2024	SCALE: 1/8" = 1'-0"	SHEET NO.: 01	TOTAL SHEETS: 02
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ELEVATION -E



ELEVATION -F

USING SHADES OF STUCCO
SHERWIN-WILLIAMS

STUCCO- 01 - SW 7566
WESTINGHLEND WHITE

STUCCO- 02 - SW 7037
BALANCED BEIGE

STUCCO- 03 - SW 7039
VIRTUAL TAUPE

THE ARCHITECTURE GROUP
PLLOT NO. 888 (PROPOSED) 1701A, PHASE 1
SHERMAN APARTMENTS
FM4477 SHERMAN, TEXAS

NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND CONDITIONS OF CONTRACT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

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DATE: 09/06/2024
SCALE: AS SHOWN
SHEET NO.: 02
OF 02

USING SHADES OF STUCCO
SHERWIN-WILLIAMS

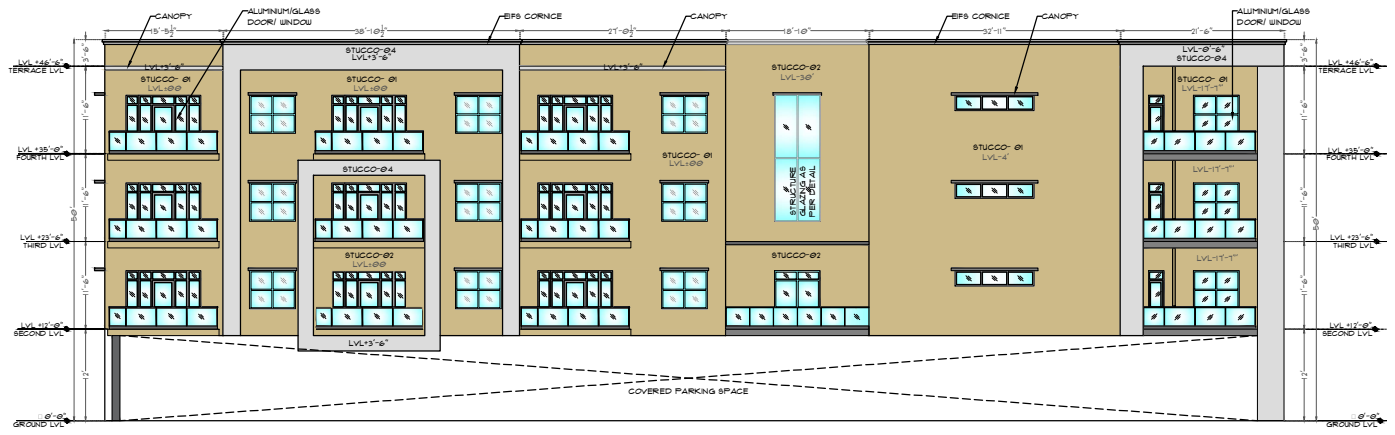
STUCCO-01 - SW 1566
WESTINGHLAND WHITE

STUCCO-02 - SW 1031
BALANCED BEIGE

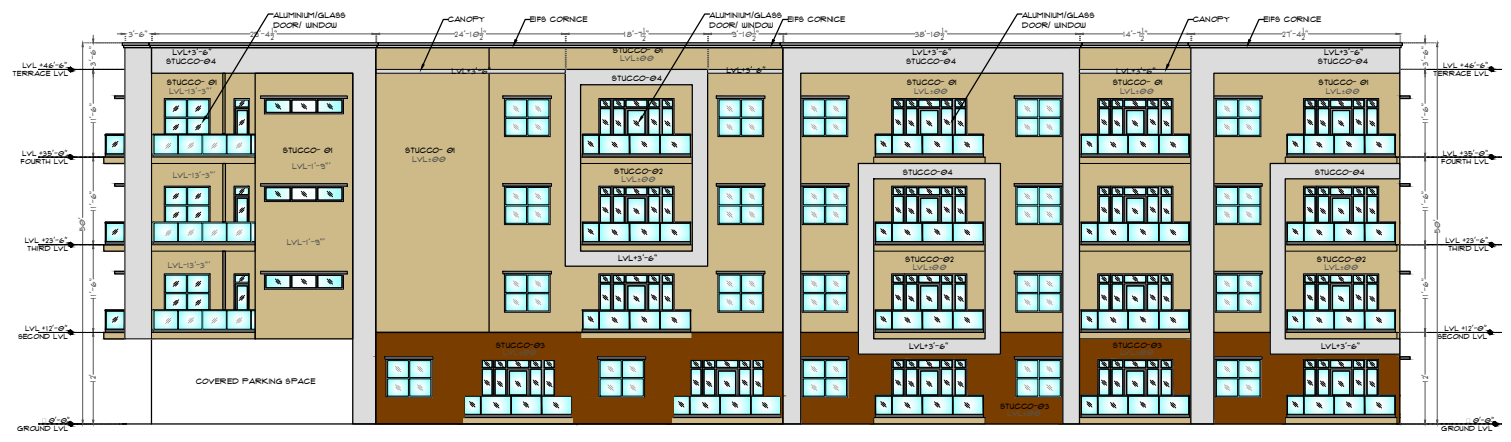
STUCCO-03 - SW 1039
VIRTUAL TAUPE



NOTES:
1. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE FOLLOWING STANDARDS:
- INTERNATIONAL BUILDING CODE (IBC)
- INTERNATIONAL RESIDENTIAL CODE (IRC)
- INTERNATIONAL MECHANICAL AND ELECTRICAL CODE (IMC/IEC)
- INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPMC/IMEC)
- INTERNATIONAL FIRE AND SAFETY CODE (IFSC/ISFC)
- ALL OTHER APPLICABLE CODES AND REGULATIONS



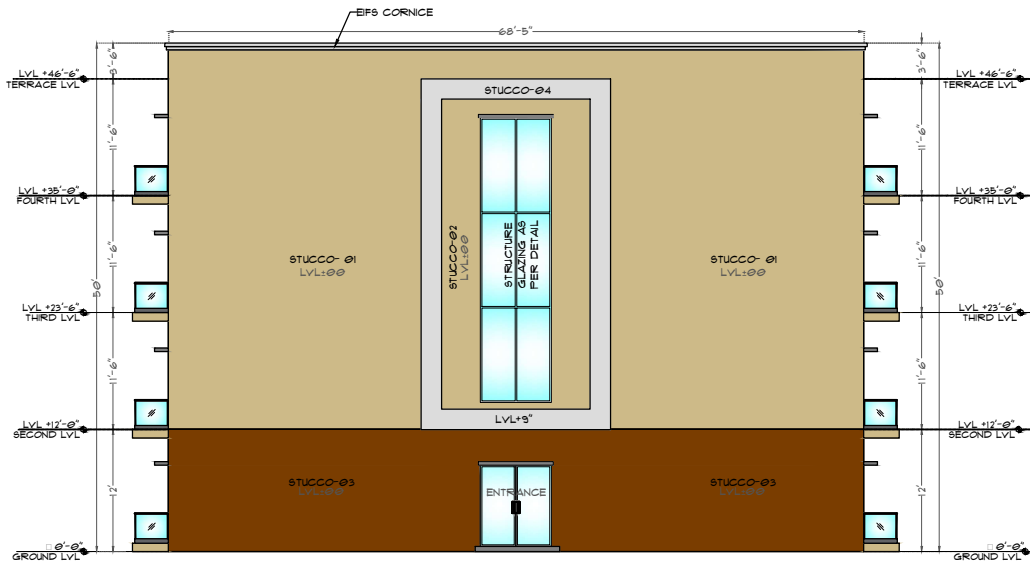
ELEVATION -A



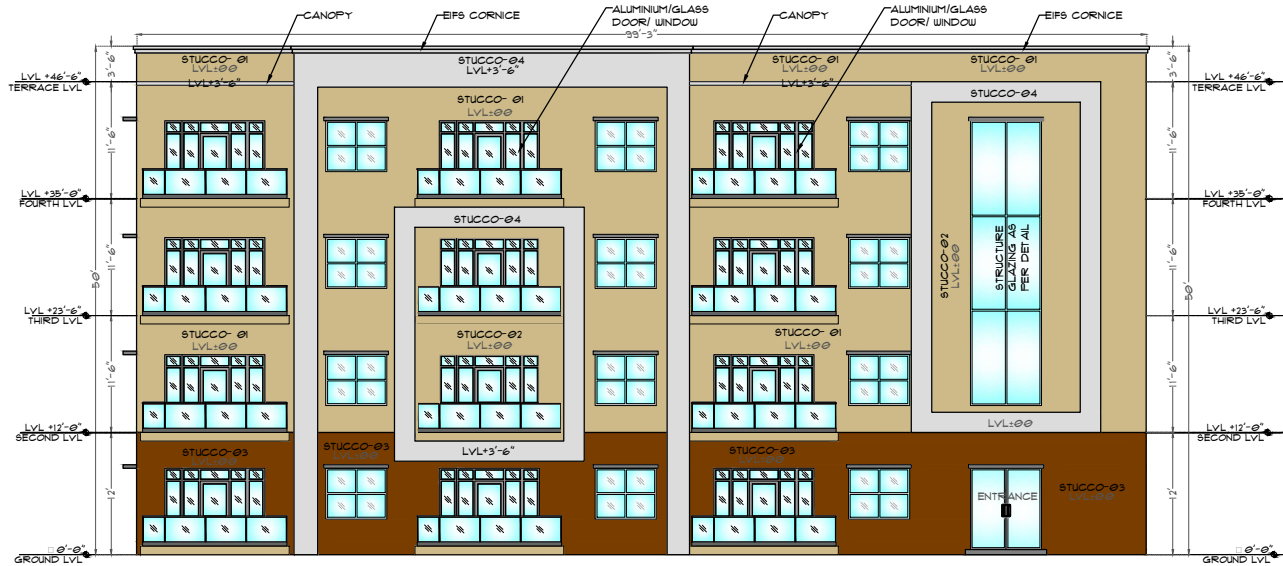
ELEVATION -B

REVISION	NO.	DESCRIPTION	DATE
	01		

DESIGN STAGE	SUBMITTED FOR PERMIT
DESIGN FOR	SUBMITTED FOR PERMIT
DRAWING TITLE	BLOCK-C ELEVATION
APP'D BY	
PROJECT NO.	
FILE NO.	
DATE	09/06/2024
SCALE	AS SHOWN
SHEET NO.	01
TOTAL SHEETS	02



ELEVATION -C



ELEVATION -D

USING SHADES OF STUCCO
SHERWIN-WILLIAMS

STUCCO-01 - SW 7566
WESTINGHLAND WHITE

STUCCO-02 - SW 7037
BALANCED BEIGE

STUCCO-03 - SW 7039
VIRTUAL TAUPE

PROJECT INFORMATION
 PROJECT NO. 2018-0000001-001-001-001-001
 SHERMAN APARTMENTS
 FM1417 SHERMAN, TEXAS

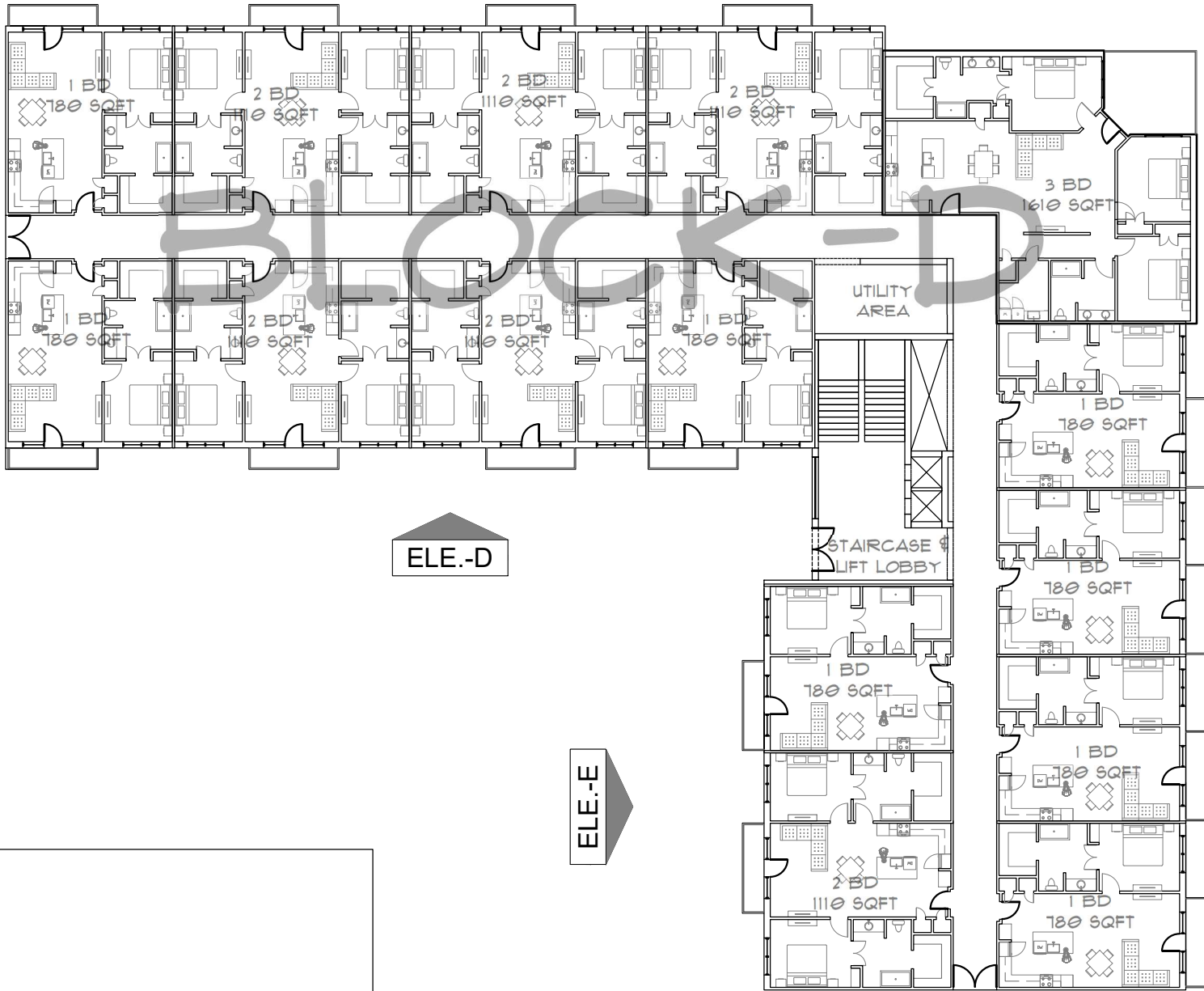
NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
 2. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 3. ALL MATERIALS SHALL BE MATCHED TO THE SAMPLES PROVIDED.
 4. ALL MATERIALS SHALL BE MAINTAINED TO THE SATISFACTION OF THE ARCHITECT.
 5. ALL MATERIALS SHALL BE INSTALLED TO THE SATISFACTION OF THE ARCHITECT.
 6. ALL MATERIALS SHALL BE INSTALLED TO THE SATISFACTION OF THE ARCHITECT.

REVISION	NO.	DESCRIPTION	DATE
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DATE: 09/20/2018
 SCALE: 1/8" = 1'-0"
 SHEET NO.: 201
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

ELE.-B

ELE.-C



ELE.-D

ELE.-E

ELE.-A

ELE.-F

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 4. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS.
 5. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL STRUCTURAL SYSTEMS TO BE PROVIDED BY THE CONTRACTOR.
 6. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL INTERIORS.

REVISION	NO.	DESCRIPTION	DATE
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DATE:	09/06/2024	PROJECT NO.:	888 SHERMAN
SCALE:	1/8" = 1'-0"	SHEET NO.:	01
DESIGNER:	ARCHITECT	DATE:	09/06/2024
CHECKER:	ARCHITECT	PROJECT NO.:	888 SHERMAN
DATE:	09/06/2024	SHEET NO.:	01

USING SHADES OF STUCCO
SHERWIN-WILLIAMS

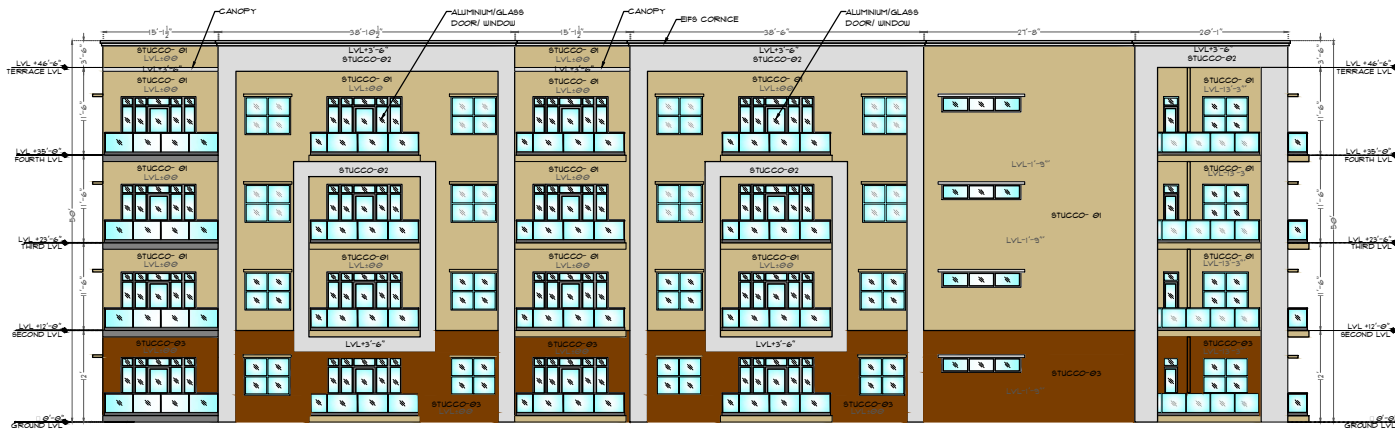
STUCCO-01 - SW 7566
WESTINGHLAND WHITE

STUCCO-02 - SW 7037
BALANCED BEIGE

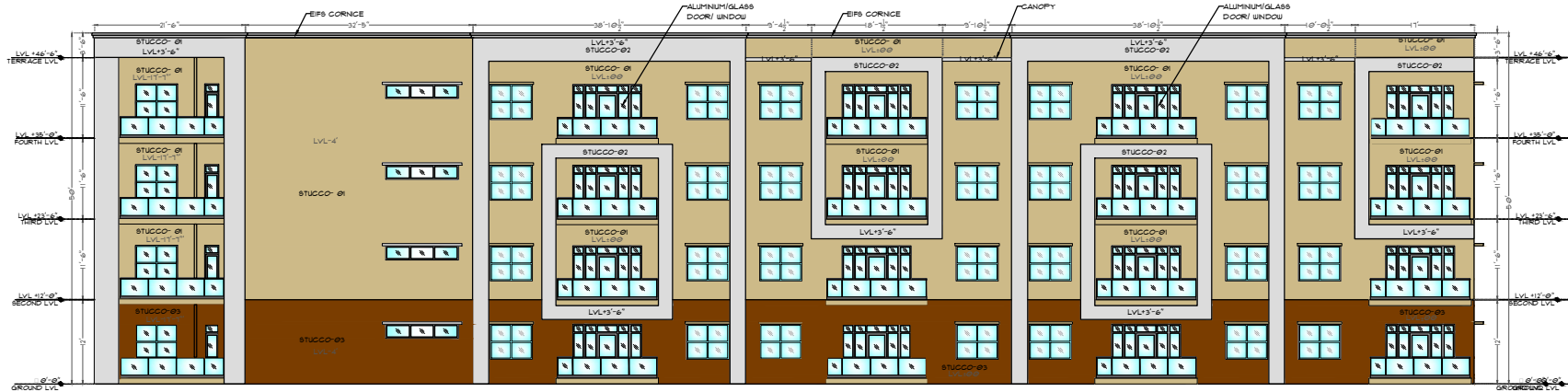
STUCCO-03 - SW 7039
VIRTUAL TAUPE



NOTES:
1. ALL FINISHES SHALL BE APPROVED BY THE ARCHITECT.
2. FINISHES SHALL BE APPROVED BY THE ARCHITECT.
3. FINISHES SHALL BE APPROVED BY THE ARCHITECT.
4. FINISHES SHALL BE APPROVED BY THE ARCHITECT.



ELEVATION - A



ELEVATION - B

REVISION	NO.	DESCRIPTION	DATE

DATE:		
SCALE:		
SHEET NO.:		
TOTAL SHEETS:		

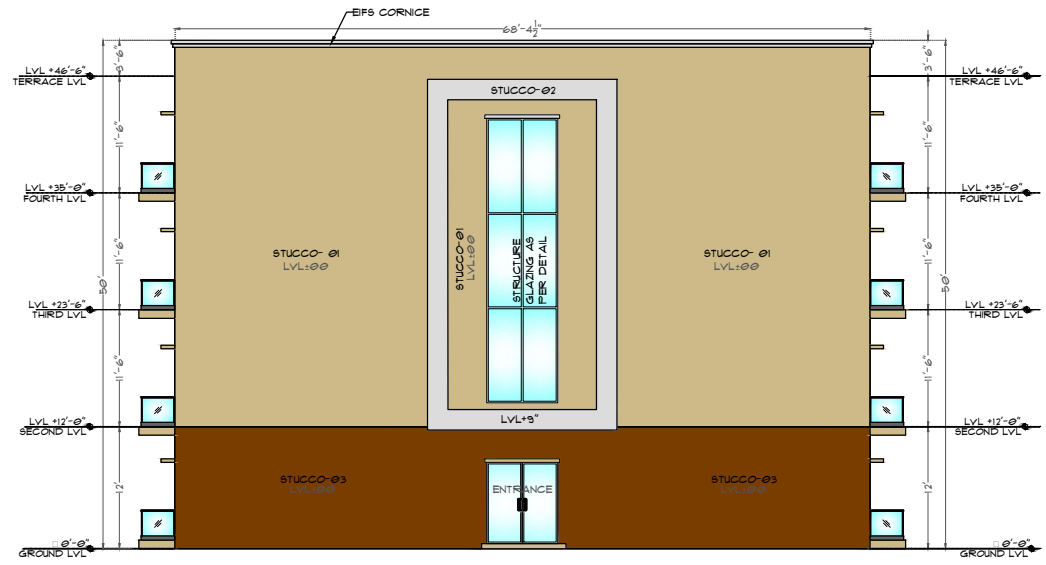
USING SHADES OF STUCCO
SHERWIN-WILLIAMS



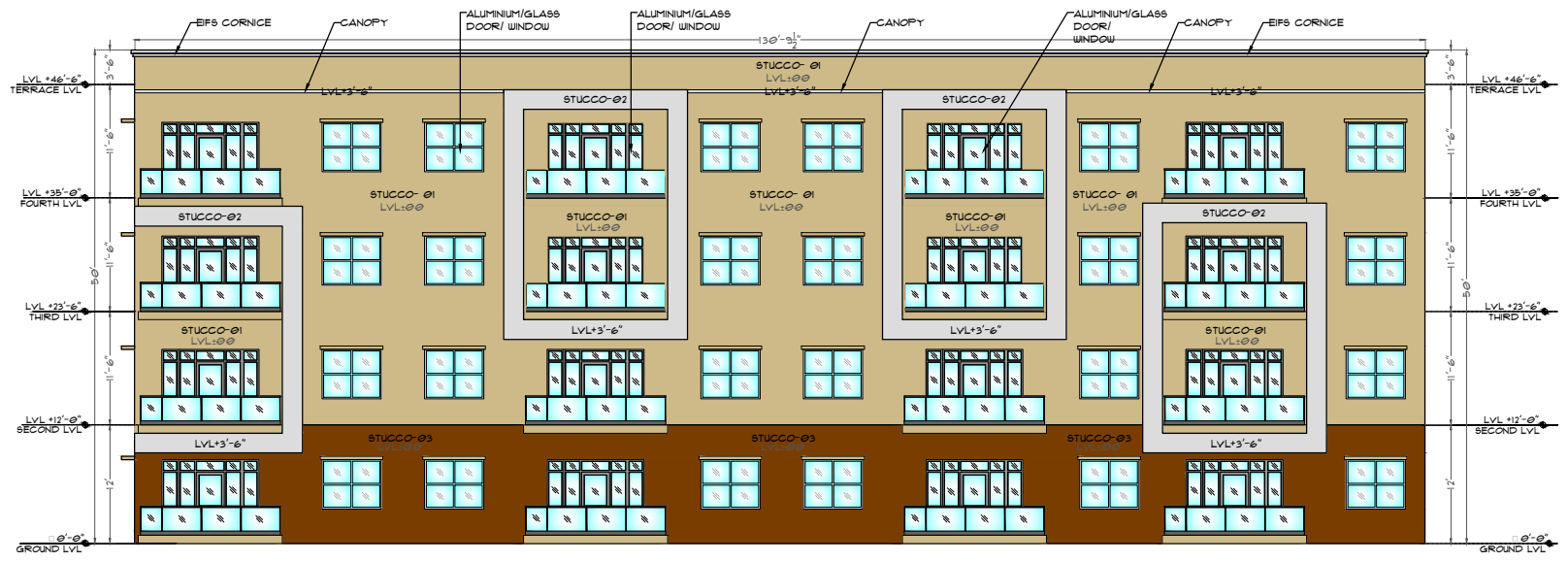
STUCCO-01 - SW 7566
WESTINGHLAND WHITE

STUCCO-02 - SW 7037
BALANCED BEIGE

STUCCO-03 - SW 7039
VIRTUAL TAUPE



ELEVATION -C



ELEVATION -D

REVISION	NO.	DESCRIPTION	DATE
	01		
	02		
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DRWG. STAGE	SCHEMATIC
DESIGN FOR	SCHEMATIC
DRAWING TITLE	BLOCK-D ELEVATION
DATE	09/06/2025
SCALE	1/8" = 1'-0"
NO.	01
TOTAL	01

USING SHADES OF STUCCO
SHERWIN-WILLIAMS

STUCCO-01 - SW 1566
WESTINGHLAND WHITE

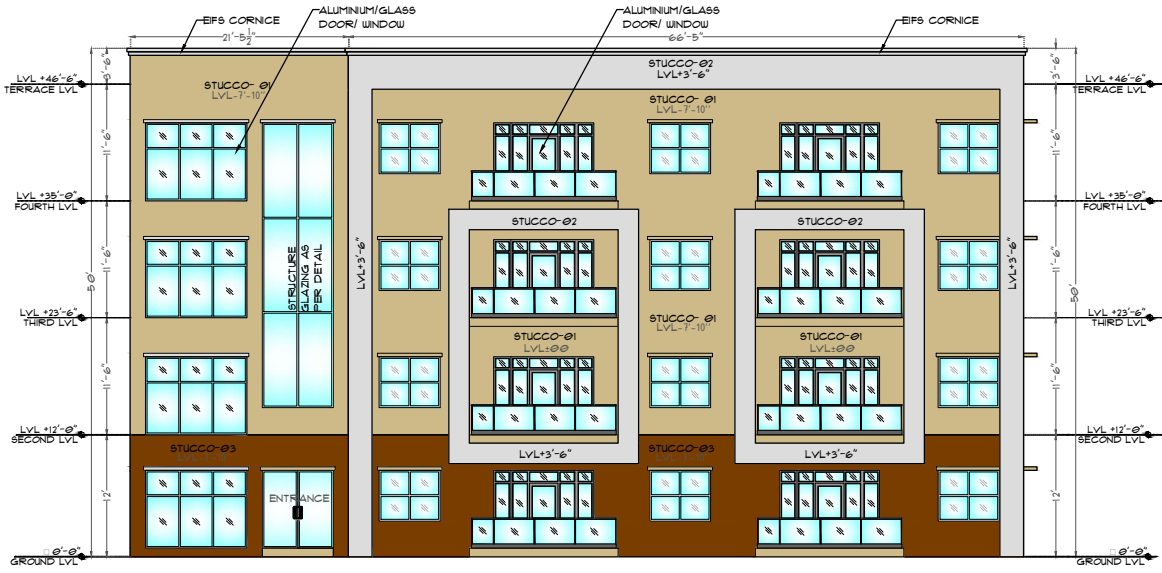
STUCCO-02 - SW 1031
BALANCED BEIGE

STUCCO-03 - SW 1039
VIRTUAL TAUPE

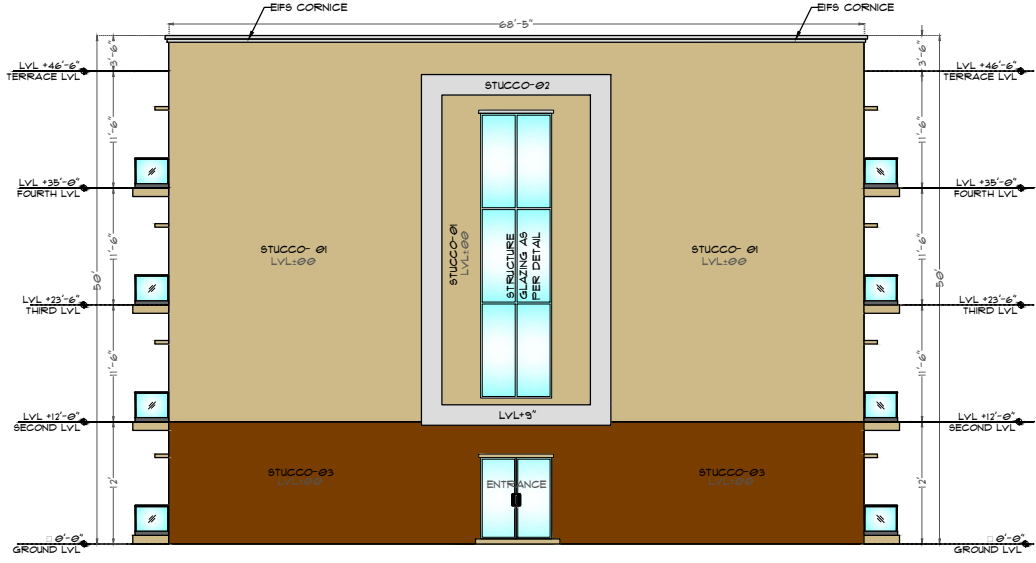


SHERMAN APARTMENTS
FMI417 SHERMAN, TEXAS

NOTES REVISIONS:
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SHERMAN APARTMENTS SPECIFICATIONS.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SHERMAN APARTMENTS SPECIFICATIONS.
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SHERMAN APARTMENTS SPECIFICATIONS.



ELEVATION -E



ELEVATION -F

REVISION	NO.	DESCRIPTION	DATE
	01		

DRG. STAGE	SHEMATIC
DRAWN FOR	SHEMATIC
DRAWING TITLE	BLOCK-D ELEVATION
APP'D.	
FILE NO.	ELEVATION-BLOCK-D
DATE	09-08-2025
SCALE	1/8" = 1'-0"
SHEET NO.	200
TOTAL SHEETS	200



CCM Engineering

2570 FM 407 STE. 209, Highland Village, TX 75077

Office: 972-691-6605

TBPE FIRM #605

Re: Sherman Apartments
801 BLOCK NORTH FM 1417 (HERITAGE PARKWAY)
Project No. 000396-2026

Comment Responses

Zoning

Site Plan

1. Two-way drive aisles (excluding Fire Lanes) shall be a minimum of twenty (20) feet. (*Sec. 14.04.003(d)(4)(B)*)
 - a. Drive Aisle measurements must be shown on the Site Plan. **CCM: Dimensions added to all drive aisles.**
2. Where fractional parking spaces result, the parking spaces required shall be rounded up to the nearest whole number (*Sec. 14.04.003(e)(2)(A)*)
 - a. Update the required parking on the Site Plan to 346 spaces. **CCM: Revised**
3. The Site Plan must demonstrate the entire building #4, **CCM: Building outlined in thick continuous line**
4. The Site Plan demonstrates buildings 1, 2, 3, and 4. The Elevation demonstrates Buildings A, B, C, and D.
 - a. Update the Site Plan or the Elevation so that the buildings demonstrated on the Elevation can be identified on the Site Plan. **CCM: Revised to match elevations.**

Elevation

5. Provide elevations for each side of each building – only perimeter elevation have been provided.
 - a. Elevations of each entire building must adhere to (Section 14.03.002(d)) **AA Design Studio: Provided**
6. Elevations are to include a tabulation that notates the required elements of the multi-family building design notated in Section (*Sec. 4.03.0002(d)*) including: **AA Design Studio: Provided**
 - a. Materials
 - b. Colors
 - c. Architectural Features

Landscape Plan

7. The Non-residential tree and Landscaping requirements (*Sec. 14.004.006(d)*) must be shown on the Landscape Plan.
 - a. A minimum of one (1) shade tree shall be planted in all required landscape islands. In order to maximize shade and aesthetics for people and vehicles, landscaped islands shall be located at the end of every parking row and throughout the interior of the parking lot so that a landscaped island is provided for every twelve (12) parking stalls in a row.
 - i. There are rows of parking that do not have the required landscape islands on the west, south, and east and adjacent to the buildings. **AA Design Studio: Provided**
 - ii. There is an area of parking in the center of the proposed development that has a break in the parking rows. This break must demonstrate a landscape island, as there are at least 12 spaces in a row. **AA Design Studio: Provided**
 - b. The 2' non-vegetative pervious surface area adjacent to the back of the curb adjacent to all parking spaces where people will step out of their car must be called out on the Landscape Plan **AA Design Studio: This requirement applies only to the parking spaces surrounding the building and interior, where there is a sidewalk/walkway adjacent to the back of curb or spaces are surrounded by concrete.**
 - c. The 15' Perimeter Buffer and the 15' Compatibility Buffer must demonstrate the required shade trees and ornamental trees. **AA Design Studio: Provided**

- d. A legend identifying the required shade trees and the required ornamental trees from the Approved Tree List must be shown on the Landscape Plan. *(Sec. 14.04.006(b)(E))* [AA Design Studio: Provided](#)
- Informational Zoning:
- 8. Signs and fences are permitted separately and shall adhere to ordinance.
 - a. Freestanding sign permits are applicable to the entire structure.

Solid Waste Services

- 9. Solid Waste enclosures and services shall adhere to Article 13.06 of the City of Sherman's Utility Ordinance and Section 14.04.004(d)(4) of the City of Sherman's Zoning Ordinance. **CCM: Two 20ft by 10ft Dumpster added to the site plan.**
 - a. 65 – 200 units:
 - i. Four enclosures 10.0 ft. wide by 10.0 ft. deep or, Two enclosures 20.0 ft. wide by 10.0 ft. deep or, One Compactor/roll-off enclosure 12 feet wide with the depth to be determined by the compactor/roll-off size selected. [MUNICIPAL-SOLID-WASTE-SITE-PLAN-CRITERIA](#)
 - A. Solid waste enclosures must be shown on the Site Plan

All other provided comments were informational and no response is required.



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 11.

Meeting Date: 6/16/2026

Prepared By: Tammy Mrozinski, Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

***911 EAST BROCKETT STREET (Project No. 000398-2026)** -The request of Austin College (Owner), Mammoth Sports Construction (Applicant), and Traverse Land Surveying LLC (Surveyor), concerning the property located at 911 East Brockett Street, consisting of 2.924 acres in the J.B. McAnair Survey, Abstract No. 763 and currently zoned R-6 (Single-Family Residential) District/College Park Overlay District, as follows:

Planning and Zoning Commission

Site Plan of Austin College Training and Development Center.

Background:

The property is located at 911 East Brockett. The owner is requesting Site Plan approval for Austin College Training and Development Center.

Origination:

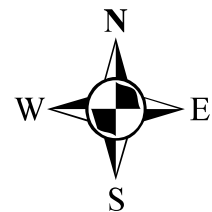
The request of Austin College (Owner), Mammoth Sports Construction (Applicant), and Traverse Land Surveying LLC (Surveyor).

Staff Recommendation:

Staff recommends that P&Z approve this item.

Attachments:

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Survey
5. Project Narrative
6. Site Plan
7. Elevation
8. Landscape Plan





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
ZONING MAP
911 E BROCKETT ST**



CORE NEIGHBORHOOD

Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

Appropriate Land Use Types

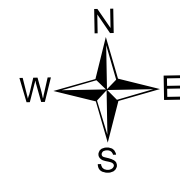
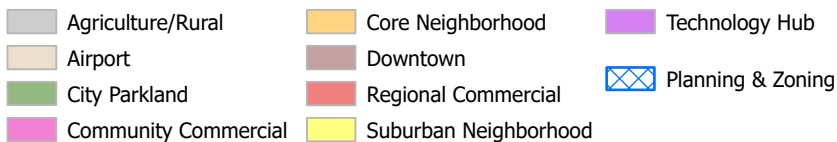
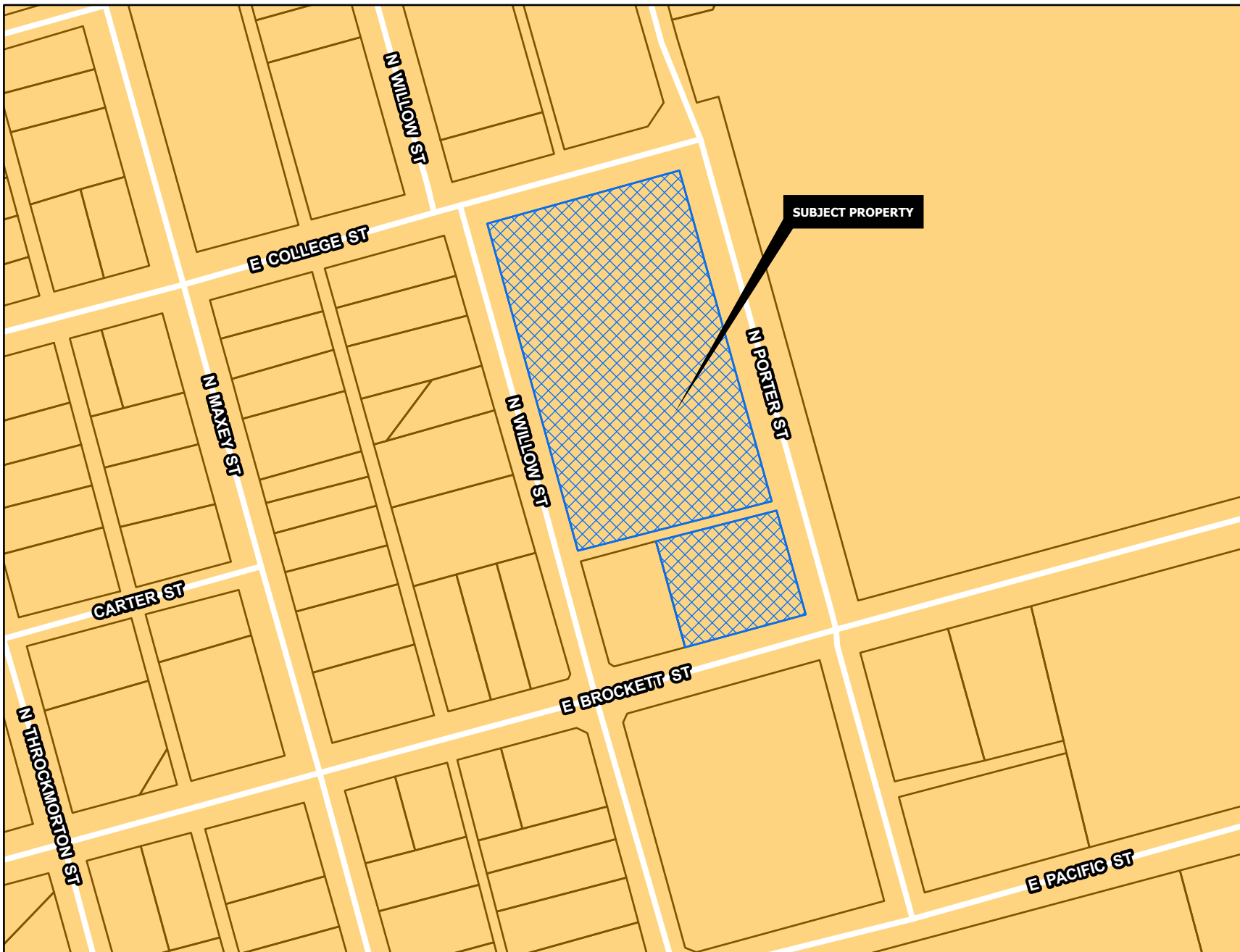
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.



LAND DESCRIPTION

BEING a 2.924 acre tract of land situated in the JB McAnair Survey, Abstract Number 763, in the City of Sherman, Grayson County, Texas, being all that land conveyed to Austin College, recorded in Volume 1878, Page 98, Deed Records Grayson County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 1/2 inch iron rod found for corner in the most southwest corner of said subject tract, some being the most northwest corner of Housing Authority of the City of Sherman, Texas, recorded in Volume 1166, Page 282, Deed Records Grayson County, Texas, also being a point in the most easterly Right-of-Way line of North Willow Street (variable width Right-of-Way);

THENCE North 16 degrees 19 minutes 51 seconds West, along the west line of said subject tract, 341.65 feet passing a 1/2 inch iron pipe and continuing a total distance of 441.64 feet to an "X" cut set for corner in the most northwest corner of said subject tract, some being a point at the intersection of said North Willow Street and East College Street (variable width Right-of-Way);

THENCE North 73 degrees 59 minutes 59 seconds East, departing from said North Willow Street continuing along the south line of said East College Street and the North line of said subject tract, a distance of 246.47 feet to a capped 5/8 inch iron rod stamped "TRAVERSE LS PROP COR" set for corner in the most northwest corner of said subject tract, some being at the intersection of said East College Street and North Porter Street (variable width private Right-of-Way), recorded in Volume 4644, Page 488, Deed Records Grayson County, Texas;

THENCE South 16 degrees 01 minutes 34 seconds East, along the east line of said subject tract and the West line of said North Porter Street, 127.25 feet passing a 1/2 inch iron rod found and continuing a total distance of 564.91 feet to an "X" cut set for corner in the most southeasterly corner of said subject tract, also being at the intersection of said North Porter Street and East Brockett Street (variable width Right-of-Way), from which an "X" cut found for corner bears, South 16 degrees 08 minutes 17 seconds East, 60.93 feet;

THENCE over, across, and upon the south line of said subject tract, the following three (3) courses and distances:

South 74 degrees 42 minutes 54 seconds West, a distance of 155.69 feet to a 1/2 inch iron rod found for corner;
 North 15 degrees 45 minutes 44 seconds West, a distance of 120.23 feet to a capped 5/8 inch iron rod stamped "TRAVERSE LS PROP COR" set for corner;
 South 74 degrees 42 minutes 39 seconds West, a distance of 89.00 feet to the POINT OF BEGINNING and containing 2.924 acres (127,385 sq. ft.) of land, more or less.

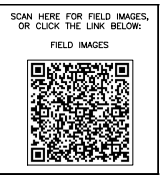
AUSTIN COLLEGE
 VOL. 1878, PG. 98
 D.R.G.C.T.
 2.924 ACRES
 127,385 SQ. FT.
 "THERE ARE NO BUILDINGS ON THE SITE"

HOUSING AUTHORITY OF
 THE CITY OF SHERMAN,
 TEXAS
 VOL. 1166, PG. 282
 D.R.G.C.T.

NO.	SIZE"	SPECIES
911	18	oak
4653	18	HACKBERRY
4659	12	ELM
4662	6	HACK
4660	16	PECAN
4661	18	HACK

LEGEND	
[Symbol]	BOUNDARY LINE
[Symbol]	ADJACENT BOUNDARY LINE
[Symbol]	EASEMENT LINE (AS NOTED)
[Symbol]	WATER LINE
[Symbol]	SANITARY SEWER LINE
[Symbol]	STORM DRAIN LINE (AS NOTED)
[Symbol]	OVERHEAD ELECTRIC LINE
[Symbol]	SET OR FOUND MONUMENT (AS NOTED)
[Symbol]	gas meter
[Symbol]	gas valve
[Symbol]	UNDERGROUND GAS SIGN
[Symbol]	UNDERGROUND GAS MARKER
[Symbol]	UNDERGROUND CABLE SIGN
[Symbol]	UNDERGROUND CABLE MARKER
[Symbol]	CABLE TV VAULT
[Symbol]	PROPANE TANK
[Symbol]	TELEPHONE PEDestal
[Symbol]	ELECTRIC PEDestal
[Symbol]	AIR CONDITIONING
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	WATER MAN HOLE
[Symbol]	CLEANOUT
[Symbol]	BOLLARD
[Symbol]	FIRE HYDRANT
[Symbol]	SANITARY SEWER MAN HOLE
[Symbol]	STORM MAN HOLE
[Symbol]	ELECTRIC METER
[Symbol]	ELECTRIC VAULT
[Symbol]	TRANSFORMER
[Symbol]	POWER POLE
[Symbol]	GLY ANCHOR
[Symbol]	LIGHT POLE
[Symbol]	IRRIGATION CONTROL VALVE
[Symbol]	CABLE VAULT
[Symbol]	TRAFFIC SIGNAL VAULT
[Symbol]	TRAFFIC SIGNAL LIGHT
[Symbol]	TRAFFIC SIGN
[Symbol]	LIGHT POLE
[Symbol]	FLAG POLE
[Symbol]	MAIL BOX
[Symbol]	BENCH MARK
[Symbol]	CONTROL MONUMENT
[Symbol]	UTILITY EASEMENT
[Symbol]	BUILDING LINE
[Symbol]	VOL. PG. VOLUME - PAGE
[Symbol]	CAB. SL. CABINET - SLIDE
[Symbol]	DOC. NO. DOCUMENT NUMBER
[Symbol]	O.P.R.G.C.T. OFFICIAL PUBLIC RECORDS GRAYSON COUNTY, TEXAS
[Symbol]	D.R.G.C.T. DEED RECORDS GRAYSON COUNTY, TEXAS
[Symbol]	P.R.G.C.T. PLAT RECORDS GRAYSON COUNTY, TEXAS

BENCHMARK NOTES
 The Benchmarks and elevations shown are based on the North American Vertical Datum 1988 (NAVD88) by using GPS observations in conjunction with the Allterra RTK Network.
 City of Sherman Observed Benchmarks:
 Station Name: "1-103"
 Elevation = 792.684'
 Station Name: "1-104"
 Elevation = 744.039'
 Other Benchmarks:
 Benchmark No. 1
 From the most northeast corner North 65.19 feet thence East 42.99 feet to a Square cut "X" in concrete.
 Elevation = 765.23'
 Benchmark No. 2
 From the most southwest corner North 170.80 feet thence West 107.70 feet to a Square cut "X" in concrete.
 Elevation = 756.71'



DIGTESS NOTE
 Texas 811 Ticket Number: 2659042428

GENERAL NOTES
 1. All underground utilities shown herein were taken from field observations. The underground utilities shown herein have been field verified by the surveyor.
 2. This survey was produced without the benefit of a Commitment for Title Insurance.

FLOOD STATEMENT
 According to the Flood Insurance Rate Map, Community Panel No. 48181C0290G, dated 09/01/2022 by graphic plotting only, this property appears to be within Zone "X", (areas determined to be outside the [0.2% or 1%] annual chance floodplain). This statement does not imply that the property and/or its structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made causes. This statement shall not create liability on the part of the surveyor.

The Basis of Bearings is from the Texas State Plane Coordinate System, NAD83, North Central Zone as derived from GPS observations using the Allterra RTK Network and adjusted to surface using a surface scale factor of 1.00012.

SURVEYOR'S CERTIFICATION

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2026 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1-4, 8, and 13 in conjunction with the laws of the State of Texas.
 The fieldwork was completed on 05-01-2026.
 Date of Plat or Map: May 5, 2026

PRELIMINARY. THIS SURVEY SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

David F. McCullough
 Registered Public Land Surveyor
 Texas Registration No. 4023

NO.	DATE	DESCRIPTION	BY

ALTA/NSPS LAND TITLE SURVEY
 2.924 ACRES SITUATED IN THE
 JB McANAIR SURVEY, ABSTRACT NO. 763
 CITY OF SHERMAN, GRAYSON COUNTY, TEXAS



359 Lake Park Road | Suite 102 | Lewisville, TX 75057
 T: 469.784.9321 | W: TraverseLandSurveying.com | Texas Firm No. 10194631

Surveying Construction Staking Platting				
DRAWN	CHECK	DATE	SCALE	PROJECT NO.
JCN	DM	2026-05-05	1" = 30'	TR-169-26
SHEET NO.				1

Project: Austin College Athletic Training and Development Facility
Owner: Austin College
Designer/Architect: Mammoth Sports Construction
RE: Site Plan Application

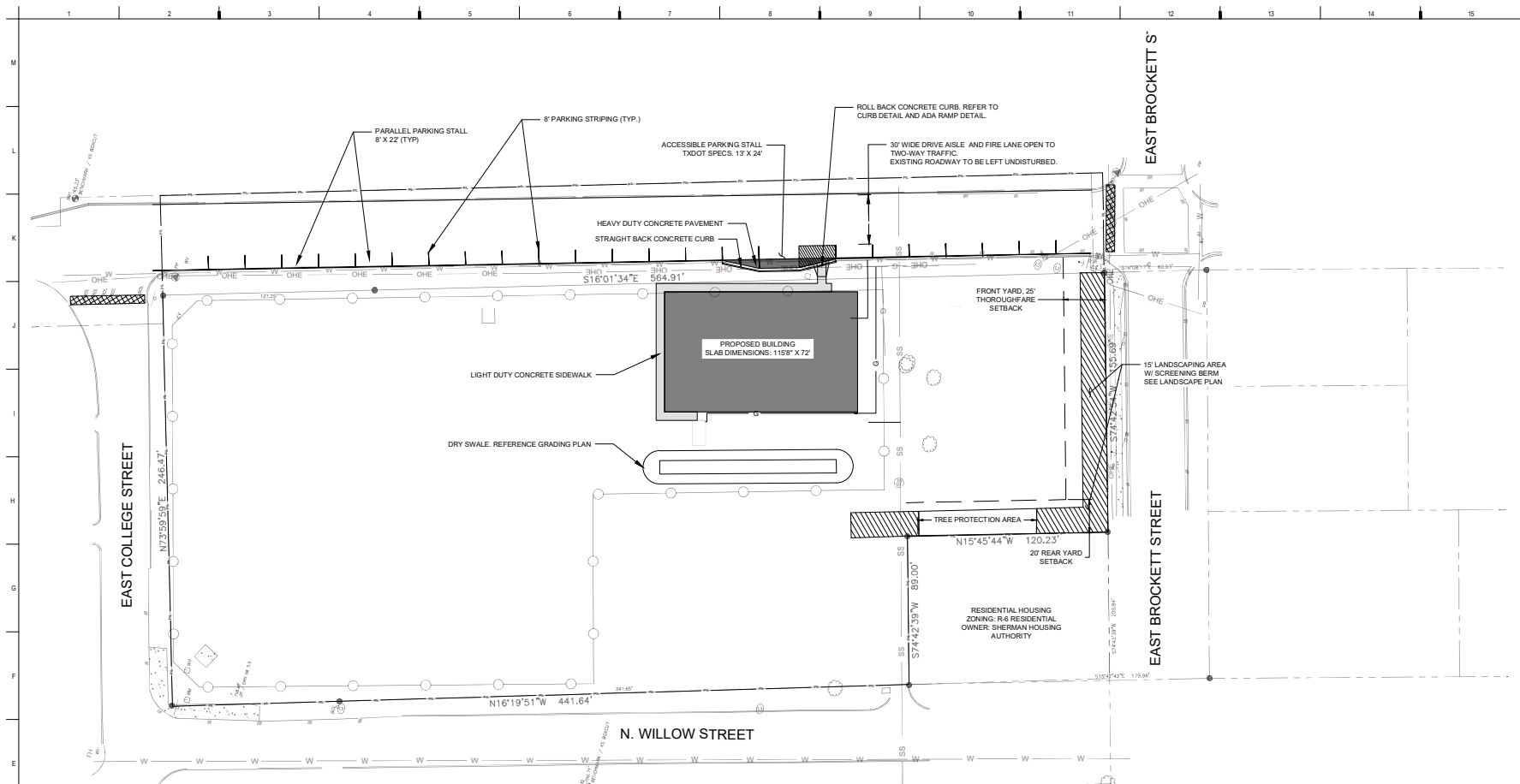
Site/Project Narrative

This project will construct a new Athletic Training and Development Facility (also referred to as “weight room”) on a vacant parcel that is part of the Austin College property. The proposed structure is zoned as Residential R-6, but falls within the College Park Overlay District. The structure will consist of a prefabricated metal building set on a concrete foundation slab, and will have sanitary, water, and electrical utilities. Site improvements are as follows: sidewalk access to proposed structure main entrance and secondary entrance, landscaping buffer yards between the building and E. Brockett Street and between the building and the neighboring residential properties to the west, and the installation of 21 parallel parking stalls (including one accessible stall) along the west side of N. Porter Street. This project will include a replat to consolidate two existing college parcels and the R.O.W. of N. Porter Street between College Street and E. Brockett Street into one college property parcel. The site will provide a 30’ fire lane / drive aisle on N. Porter Street, which can accommodate two-way campus traffic and provide fire access to the Austin College Football Stadium.



ISSUED FOR BID

AUSTIN COLLEGE
**AUSTIN COLLEGE ATHLETIC
 TRAINING AND DEVELOPMENT
 FACILITY**
 718 N. PORTER STREET
 SHERMAN, TX 75090



Gross Square Feet (Structure)	7,960 sf
Gross Square Feet (Property)	161,146 sf
Required Parking for Public Use (Health Club or Studio)	40 spaces
Parking Provided	21 spaces
Current Zoning	R-6 Residential / College Park Zoning Overlay
Proposed Zoning	Same as Current
New Impervious Area (SF)	9,593 sf
Total Impervious Area (SF) including N. Porter Street	31,893 sf
Landscaped Area (SF)	4,361 sf
Floor-to-Area ratio (FAR)	0.049

- NOTES:**
- PROPERTY LINES DISPLAYED ON THIS PLAN ARE PRELIMINARY AND SUBJECT TO CHANGE PENDING THE FINAL, APPROVED PLAT.
 - PER DISCUSSION WITH THE CITY, A REPLAT OF THE SITE IS UNDERWAY THAT WILL CONSOLIDATE THE TWO EXISTING COLLEGE PARCELS AND THE N. PORTER STREET RIGHT-OF-WAY BETWEEN COLLEGE AVENUE AND E. BROCKETT STREET INTO ONE PLAT.
 - PER DISCUSSION WITH THE CITY, THIS PROPERTY SERVES A PRIVATE ON-CAMPUS USE RATHER THAN A PUBLIC USE. AS SUCH, THIS SITE HAS REDUCED PARKING REQUIREMENTS. ONE ACCESSIBLE PARKING STALL WILL BE PROVIDED, PER THE ADA REQUIREMENTS.
 - ALL PAVEMENT MARKINGS SHALL COMPLY WITH TXDOT STANDARDS.
 - SITE WILL NOT UTILIZE EXTERIOR TRASH RECEPTORS THAT WOULD REQUIRE SCREENING. AUSTIN COLLEGE WILL COLLECT SITE WASTE AND DISPOSE OF IT IN EXISTING ON-SITE DUMPSTERS.

SITE PLAN

1:30



Revision Key

No.	Date	Revision

Project Manager: LUKE RIEGER

Chief Engineer: SETH SOTO, P.E.

Checked By: KNOX TWEED

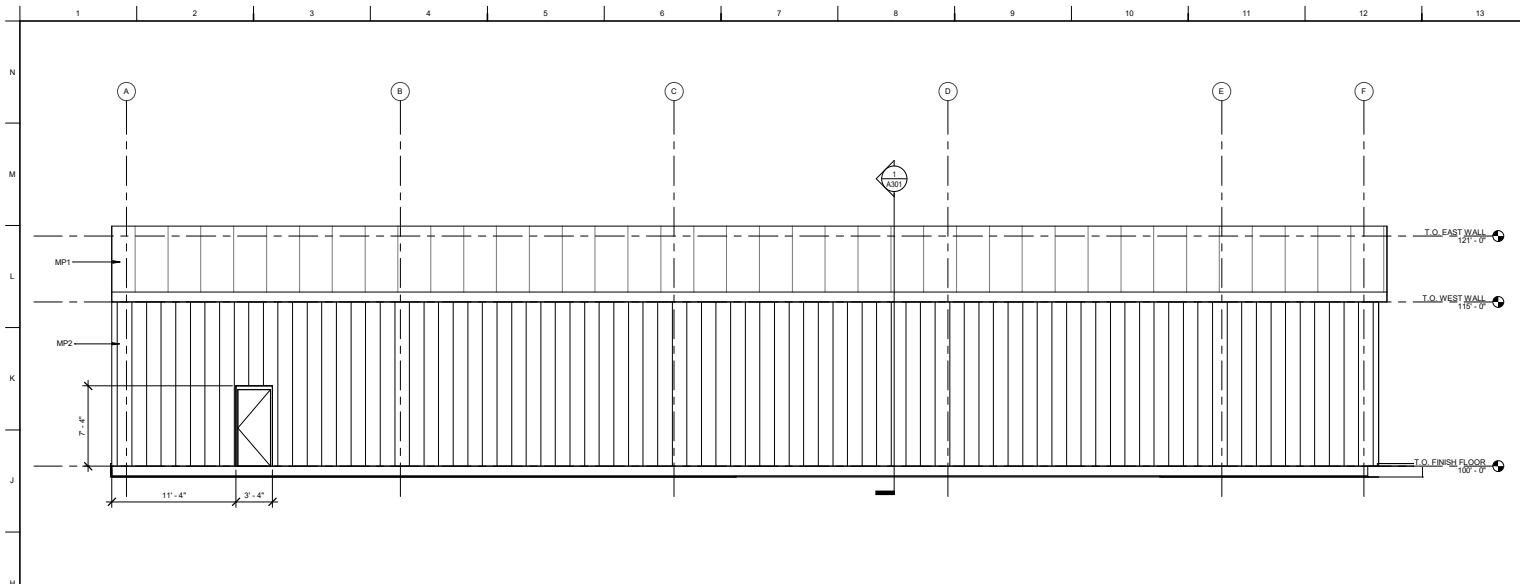
Project Number: 26-1036

Date of Issue: 05.26.2020

Sheet Number:

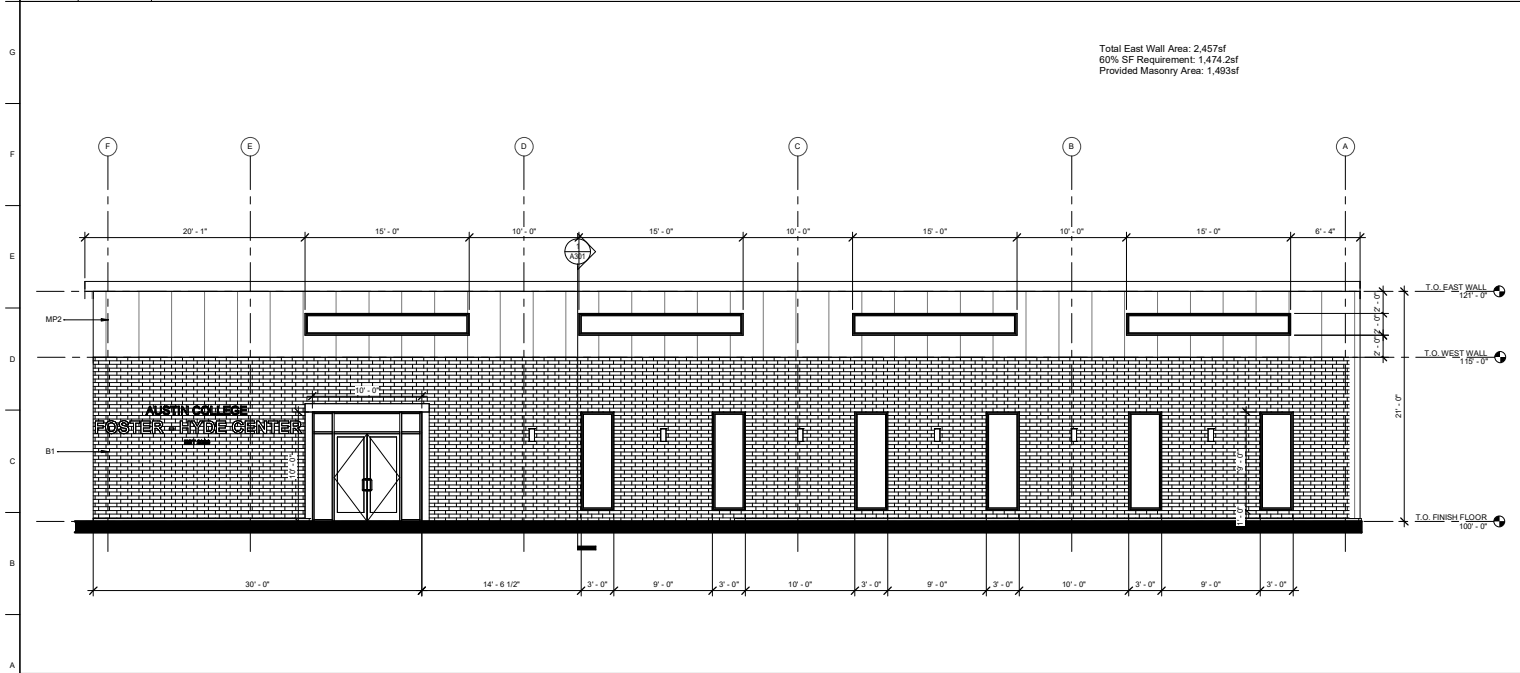
C301

SITE PLAN







H1 Scale WEST ELEVATION
3/16" = 1'-0"

Total East Wall Area: 2,457sf
60% SF Requirement: 1,474.2sf
Provided Masonry Area: 1,493sf



A1 Scale EAST ELEVATION
3/16" = 1'-0"

EXTERIOR FINISH LEGEND

-  MP1 - METAL ROOF PANELS
B.O.D. = TBD
FINISH = TBD
-  MP2 - METAL WALL PANELS
B.O.D. = TBD
FINISH = TBD
-  B1 - BRICK
B.O.D. = TBD
FINISH = TBD
-  FB1 - FIBER CEMENT BOARD
B.O.D. = TBD
FINISH = TBD

Copyright © 2023
Munith Sports Construction



Schematic Design

AUSTIN COLLEGE
AUSTIN COLLEGE NEW WEIGHT ROOM
????? PORTER ST., SHERMAN, TX 75090

AUSTIN COLLEGE

NOT FOR CONSTRUCTION

Revision Key

No. Date Description

Project Manager: BEAU HEWINS

Project Architect: JORDAN VONDERBRINK

Checked By: Checker

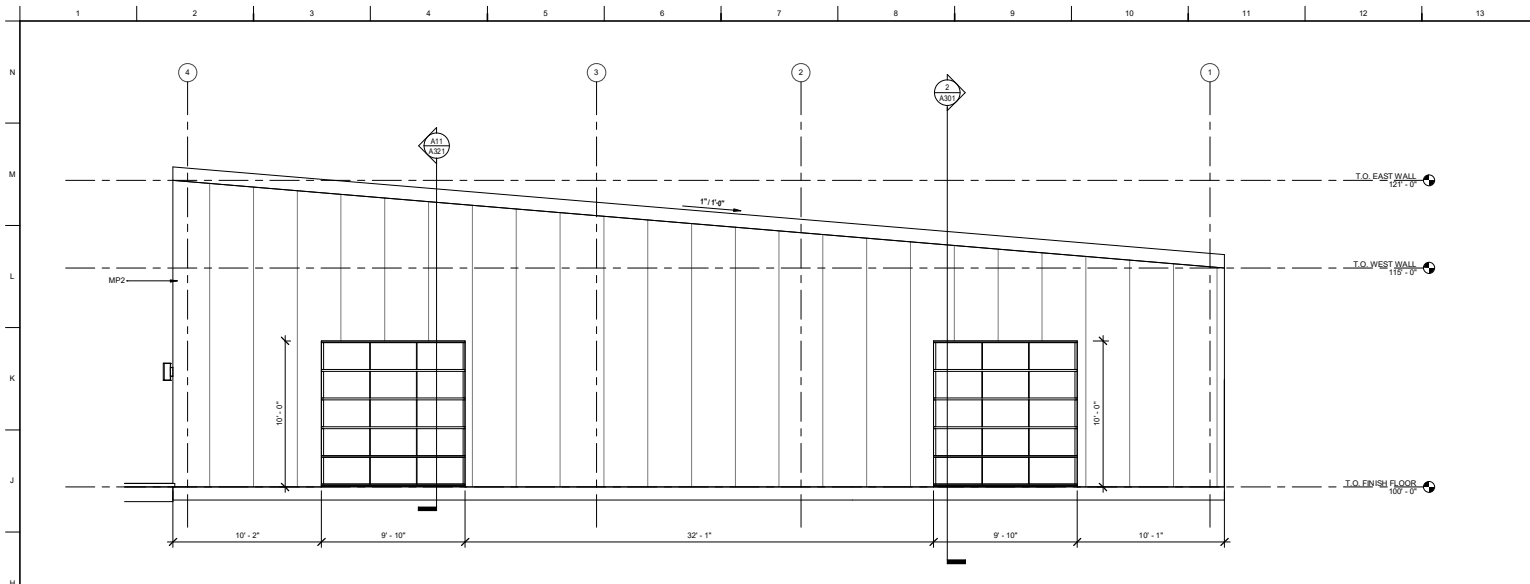
Project Number: 26 - 1036

Date of Issue: Issue Date

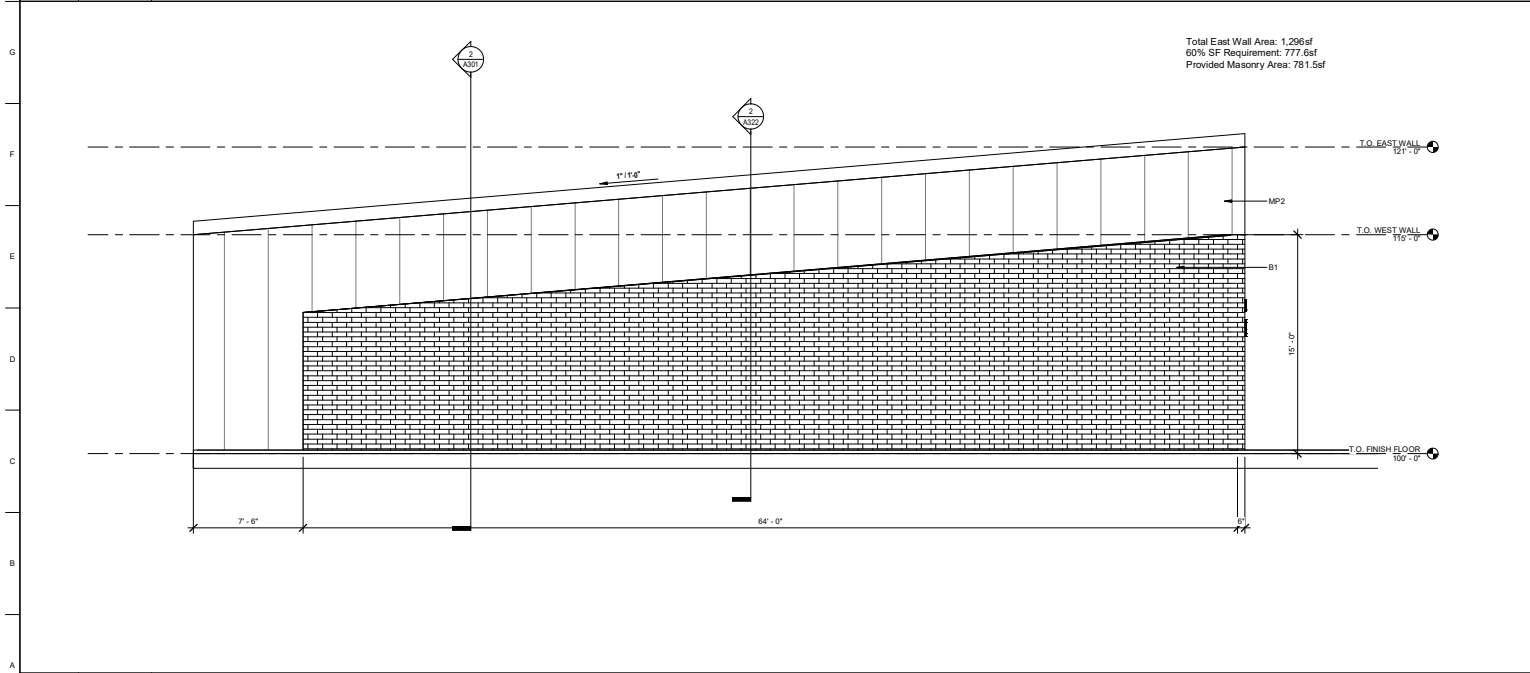
Sheet Number:

A201

EXTERIOR ELEVATIONS







H2 Scale NORTH ELEVATION
1/4" = 1'-0"



A1 Scale SOUTH ELEVATION
1/4" = 1'-0"

Total East Wall Area: 1,296sf
60% SF Requirement: 777.6sf
Provided Masonry Area: 781.5sf

- EXTERIOR FINISH LEGEND**
-  MP1 - METAL ROOF PANELS
B.O.D. = TBD
FINISH = TBD
 -  MP2 - METAL WALL PANELS
B.O.D. = TBD
FINISH = TBD
 -  B1 - BRICK
B.O.D. = TBD
FINISH = TBD
 -  FB1 - FIBER CEMENT BOARD
B.O.D. = TBD
FINISH = TBD

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Murchuth Sports Construction



Schematic Design

AUSTIN COLLEGE
AUSTIN COLLEGE NEW WEIGHT ROOM
????? PORTER ST., SHERMAN, TX 75090

NOT FOR CONSTRUCTION

Revision Key

No.	Date	Description

Project Manager: BEAU HEWINS

Project Architect: JORDAN VONDERBRINK

Checked By: Checker

Project Number: 26 - 1036

Date of Issue: Issue Date

Sheet Number:

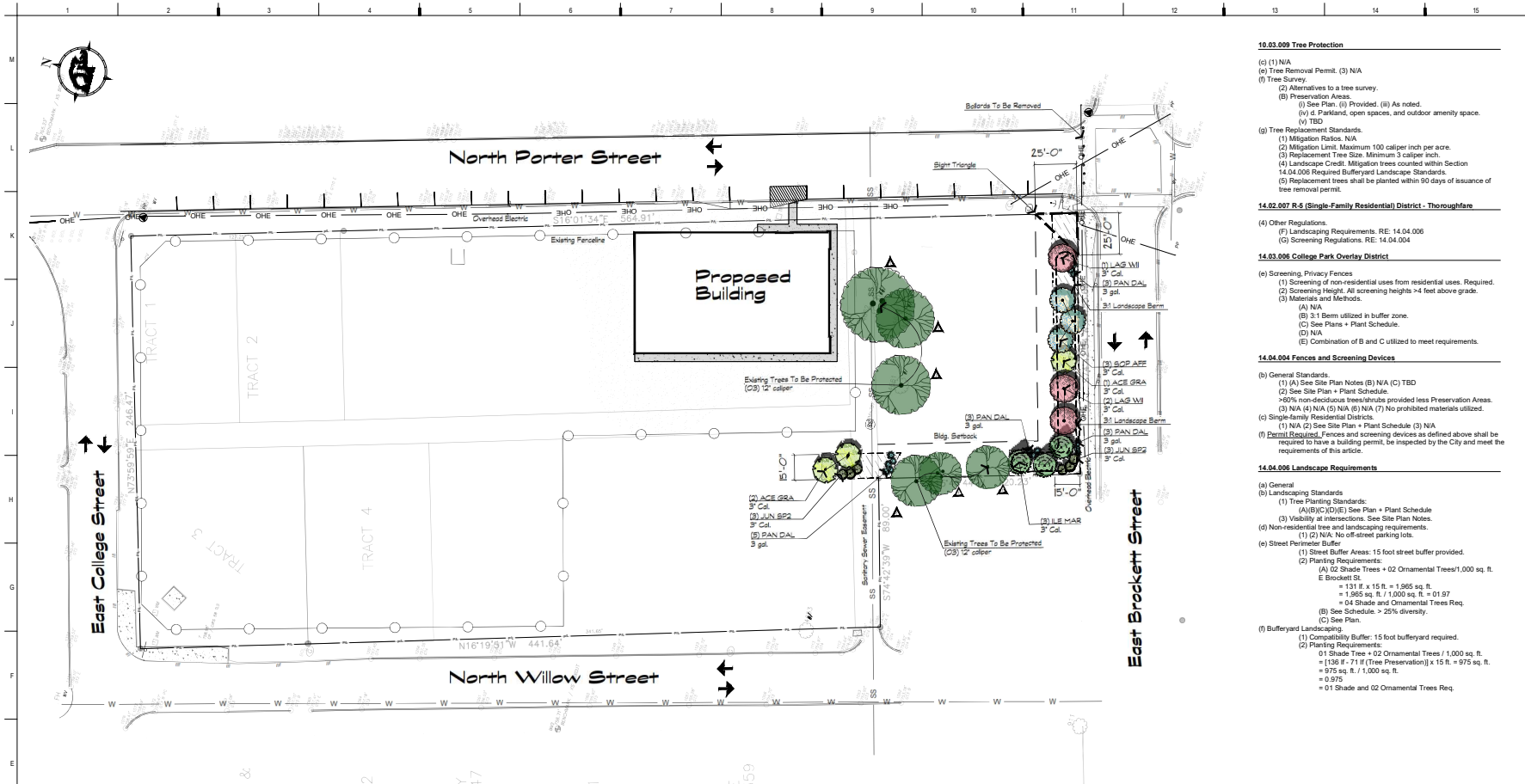
A202

EXTERIOR ELEVATIONS



ISSUED FOR REVIEW

AUSTIN COLLEGE
AUSTIN COLLEGE
WEIGHT ROOM
718 N. PORTER STREET
SHERMAN, TX 75080



- 10.03.009 Tree Protection**
- (c) (1) N/A
 - (e) Tree Removal Permit. (3) N/A
 - (f) Tree Survey
 - (1) Alternatives to a tree survey.
 - (2) Preservation Areas
 - (i) See Plan. (ii) Provided. (iii) As noted.
 - (iv) d) Parkland, open spaces, and outdoor amenity space.
 - (v) TBD
 - (g) Tree Replacement Standards.
 - (1) Mitigation Ratio: N/A
 - (2) Mitigation Limit: Maximum 100 caliper inch per acre.
 - (3) Replacement Tree Size: Minimum 3 caliper inch.
 - (4) Landscape Credit: Mitigation trees counted within Section 14.04.008 Required Buffer/Landscaping Standards.
 - (5) Replacement trees shall be planted within 90 days of issuance of tree removal permit.
- 14.02.007 R-8 (Single-Family Residential) District - Thoroughfare**
- (4) Other Regulations.
 - (F) Landscaping Requirements. RE: 14.04.006
 - (G) Screening Regulations. RE: 14.04.004
- 14.03.006 College Park Overlay District**
- (e) Screening, Privacy Fences
 - (1) Screening of non-residential uses from residential uses. Required.
 - (2) Screening Height: All screening heights >4 feet above grade.
 - (3) Materials and Methods.
 - (A) N/A
 - (B) 3:1 Berm utilized in buffer zone.
 - (C) See Plans + Plant Schedule.
 - (D) N/A
 - (E) Combination of B and C utilized to meet requirements.
- 14.04.004 Fences and Screening Devices**
- (b) General Standards.
 - (1) (A) See Site Plan Notes (B) N/A (C) TBD
 - (2) See Site Plan + Plant Schedule.
 - (3) >90% non-deciduous trees/shrubs provided less Preservation Areas.
 - (3) N/A (4) N/A (5) N/A (6) N/A (7) No prohibited materials utilized.
 - (c) Single-Family Residential Districts.
 - (1) N/A (2) See Site Plan + Plant Schedule (3) N/A
 - (f) **Permit Required:** Fences and screening devices as defined above shall be required to have a building permit, be inspected by the City and meet the requirements of this article.
- 14.04.006 Landscaping Requirements**
- (a) General
 - (b) Landscaping Standards
 - (1) Tree Planting Standards:
 - (A)(B)(C)(D)(E) See Plan + Plant Schedule
 - (3) Visibility at intersections: See Site Plan Notes.
 - (d) Non-residential tree and landscaping requirements.
 - (1) (2) N/A. No off-street parking lots.
 - (e) Street Perimeter Buffer
 - (1) Street Buffer Areas: 15 foot street buffer provided.
 - (2) Planting Requirements:
 - (A) 02 Shade Trees + 02 Ornamental Trees/1,000 sq. ft.
 - E Brockett St.
 - = 131 ft x 15 ft = 1,965 sq. ft.
 - = 1,965 sq. ft. / 1,000 sq. ft. = 01.97
 - = 04 Shade and Ornamental Trees Req.
 - (B) See Schedule. > 25% diversity.
 - (C) See Plan.
 - (f) Buffer/Landscaping
 - (1) Compatibility Buffer: 15 foot bufferland required.
 - (2) Planting Requirements:
 - 01 Shade Tree + 02 Ornamental Trees / 1,000 sq. ft.
 - = [138 ft - 71 ft (Tree Preservation)] x 15 ft. = 975 sq. ft.
 - = 975 sq. ft. / 1,000 sq. ft.
 - = 0.975
 - = 01 Shade and 02 Ornamental Trees Req.

LANDSCAPE SITE PLAN

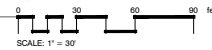
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	ACE GRA	Acer grandidentatum / Blightproof Maple	3" Cal.	Air Pruned Pot	3	
	LE MAR	lex x Mary Nell / Mary Nell Holly	3" Cal.	Air Pruned Pot	3	
	JUN SP2	Juniperus chinensis Spartan / Spartan Juniper	3" Cal.	Air Pruned Pot	6	
	LAG WI	Lagerstroemia indica White # / Dynamite® Crape Myrtle	3" Cal.	Air Pruned Pot	3	
	SCP AFF	Saspora affinis / Eve's Necklacedod	3" Cal.	Air Pruned Pot	3	
	PAN DAL	Panicum virgatum Dallas Blues® / Dallas Blues Switch Grass	3 gpt.	Pot	14	

ALL PLANTS SHALL BE NURSERY MATCHED, QUALITY SPECIMEN:
American National Standards Institute (ANSI) Z60.1

MISC. LANDSCAPE LEGEND

- 15' Landscape Buffer
- Grass Sod/Seed Disturbed Areas
- 3:1 Landscape Berm
- Tree Protection: RE: L101 TREE PROTECTION DETAILS



Revision Key

No.	Date	Revision

Project Manager: LUKE RIEGER
 Civil Engineer: SETH SOTO, P.E.
 Checked By: KNOX TWEED
 Project Number: 26-1036
 Date of Issue: 05.06.2026
 Sheet Number:

L100

LANDSCAPE SITE PLAN



Planning & Zoning Commission Development Services

Agenda Item No. 12.

Meeting Date: 6/16/2026

Prepared By: Tammy Mrozinski, Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

300 NORTH BRYANT AVENUE (Project No. 000375-2026)-The request of Cornerstone 633 LLC (Owner), Kenneth Sullivan (Applicant), and Preston Trail Land Surveying (Surveyor), concerning the property located at 300 North Bryant Avenue, being Lots 10 and 12, Block 11, of Greenmount Addition, as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from R-6 (Single-Family Residential) District to C-N (Neighborhood Commercial) District.

Background:

The property is located at 300 North Bryant Avenue. The applicant is requesting a Zone Change from R-6 (Single-Family Residential) District to C-N (Neighborhood Commercial) District.

The following has been approved at this location:

- 1/8/1985 - To allow a 15-ft. rear setback in lieu of 25-ft. required
- 3/11/1984 - To allow a medical facility in an R-1 District **ORD. NO. 3745**

Origination:

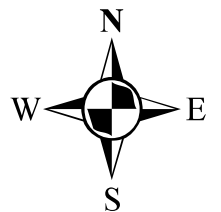
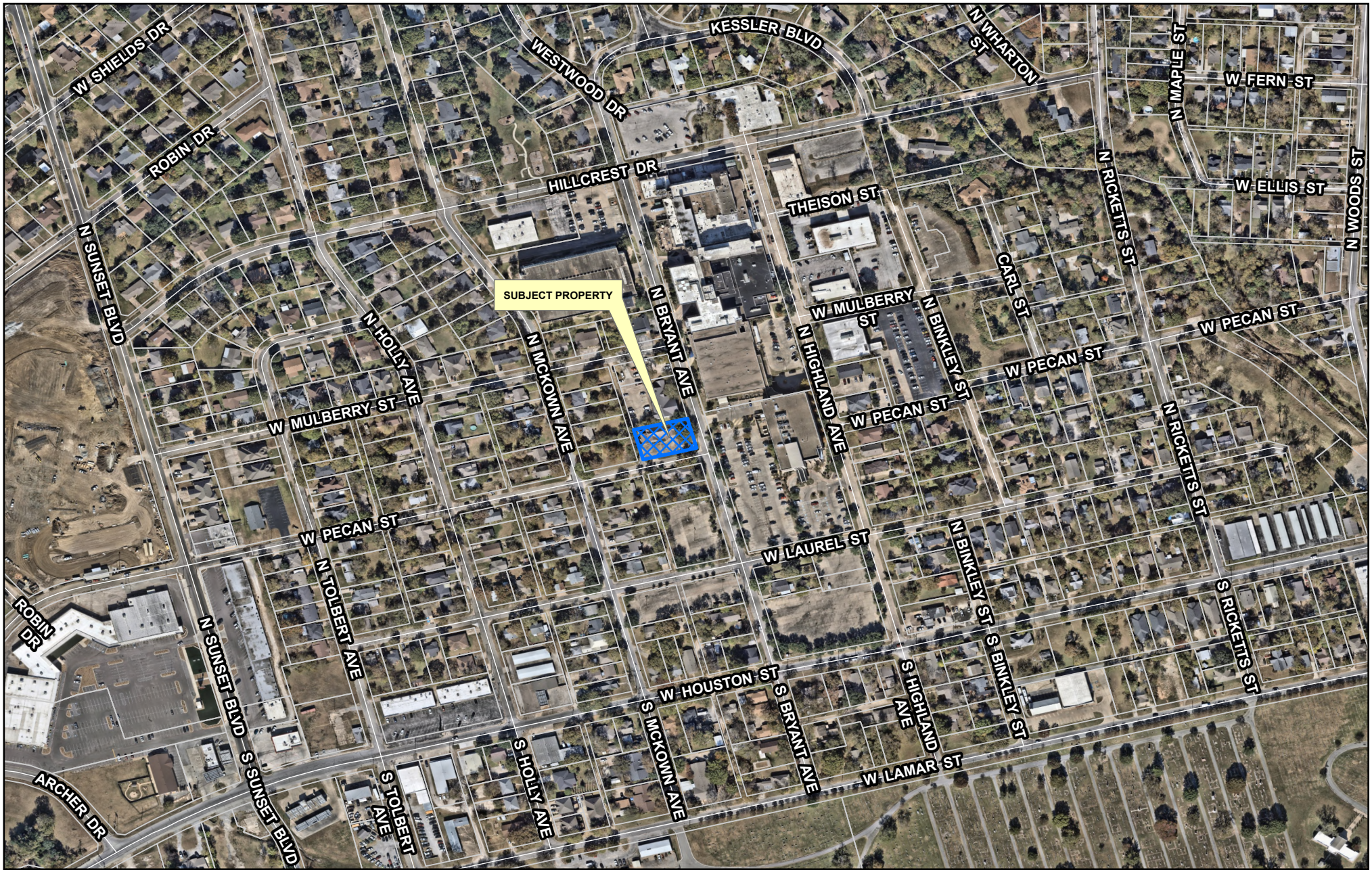
The request of Cornerstone 633 LLC (Owner), Kenneth Sullivan (Applicant), and Preston Trail Land Surveying (Surveyor).

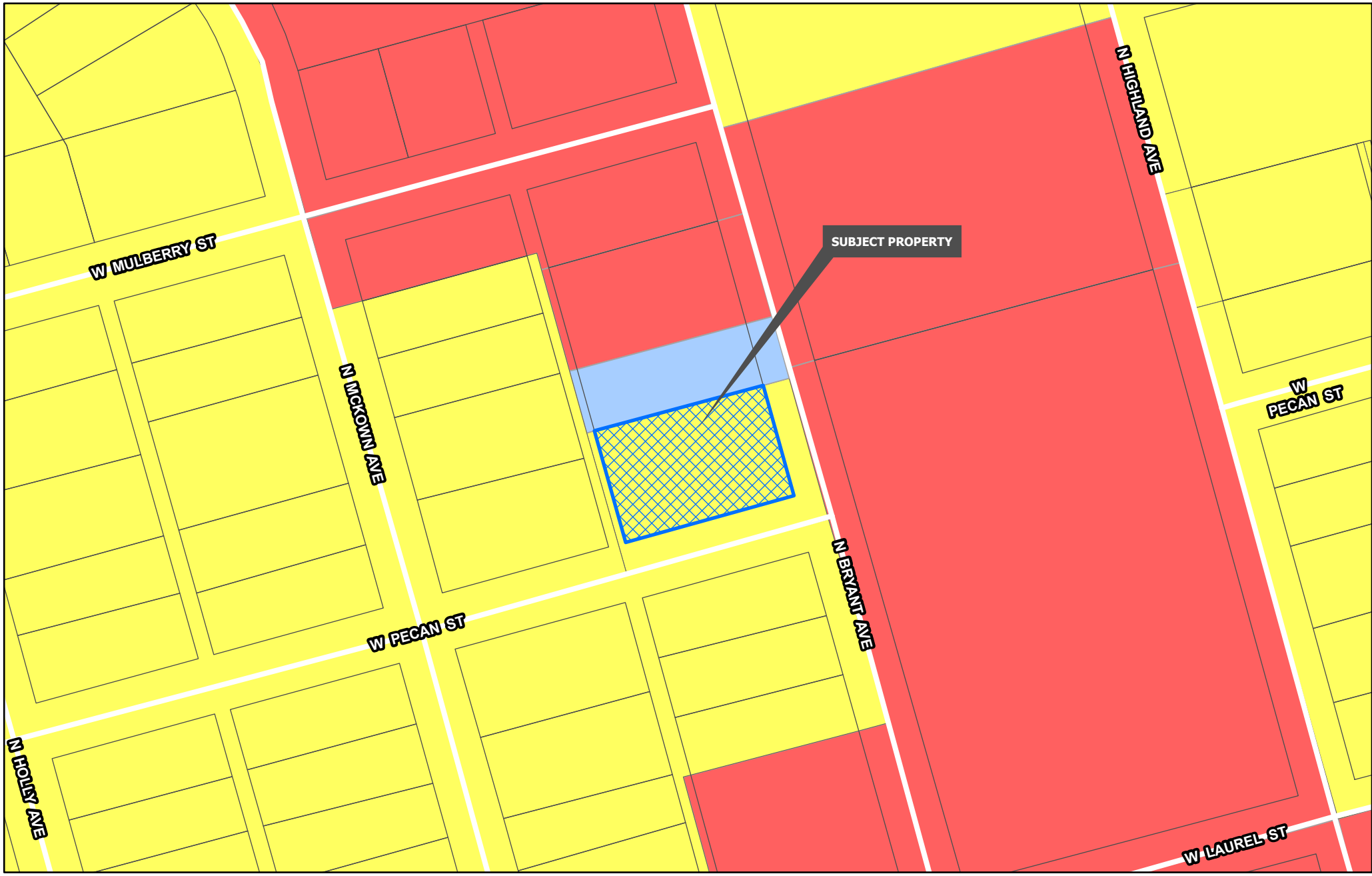
Staff Recommendation:

Staff has no objection to the approval of this item.

Attachments:

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Property Notification
5. Survey
6. Elevation





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
ZONING MAP
300 N BRYANT AVE**



CORE NEIGHBORHOOD

Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

Appropriate Land Use Types

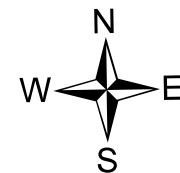
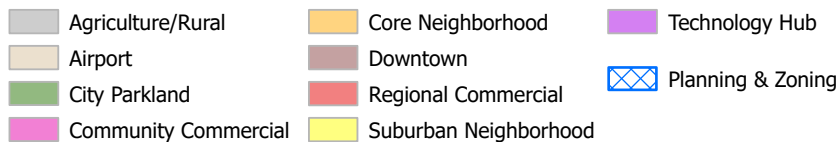
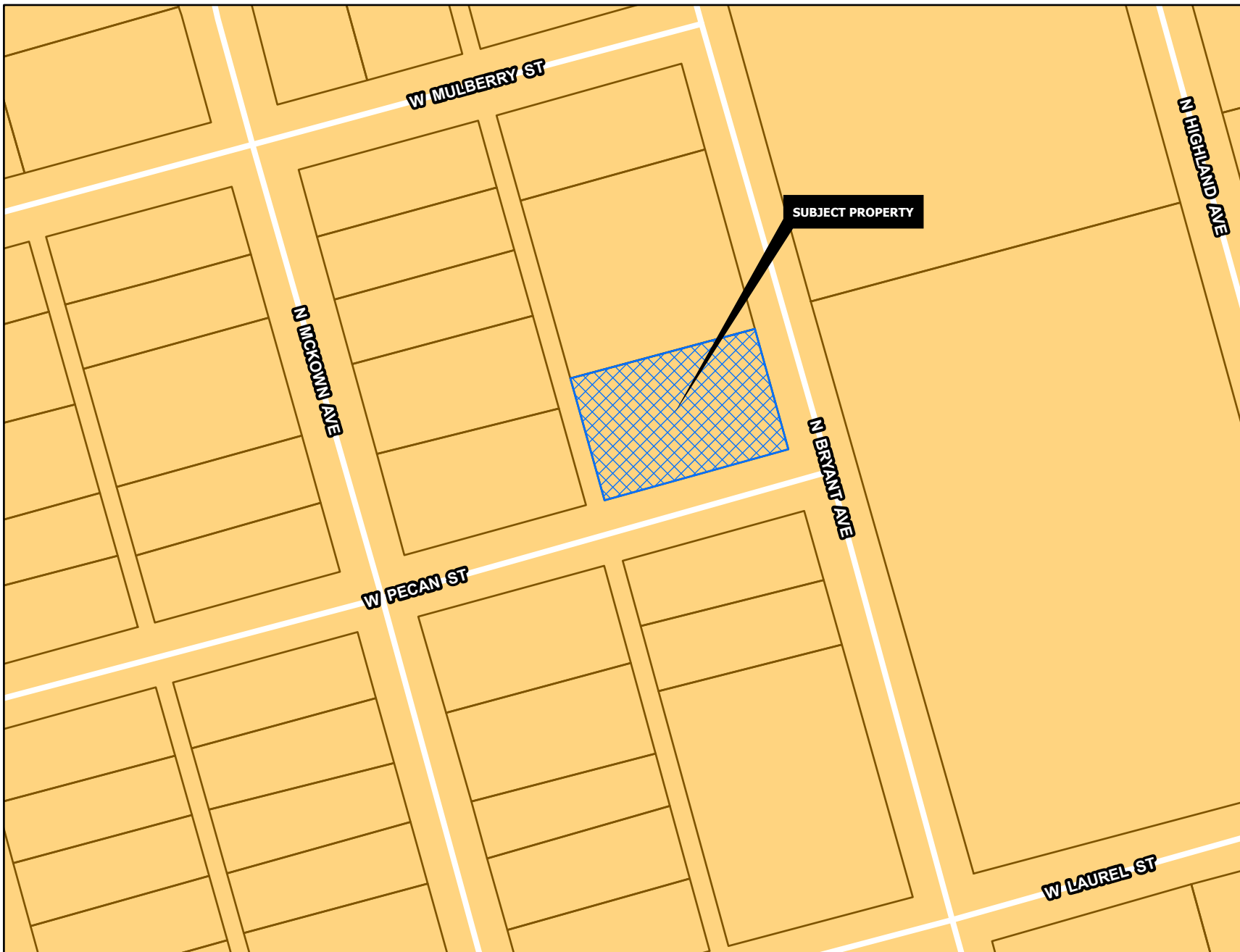
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

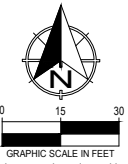
Compatible Zoning Districts

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

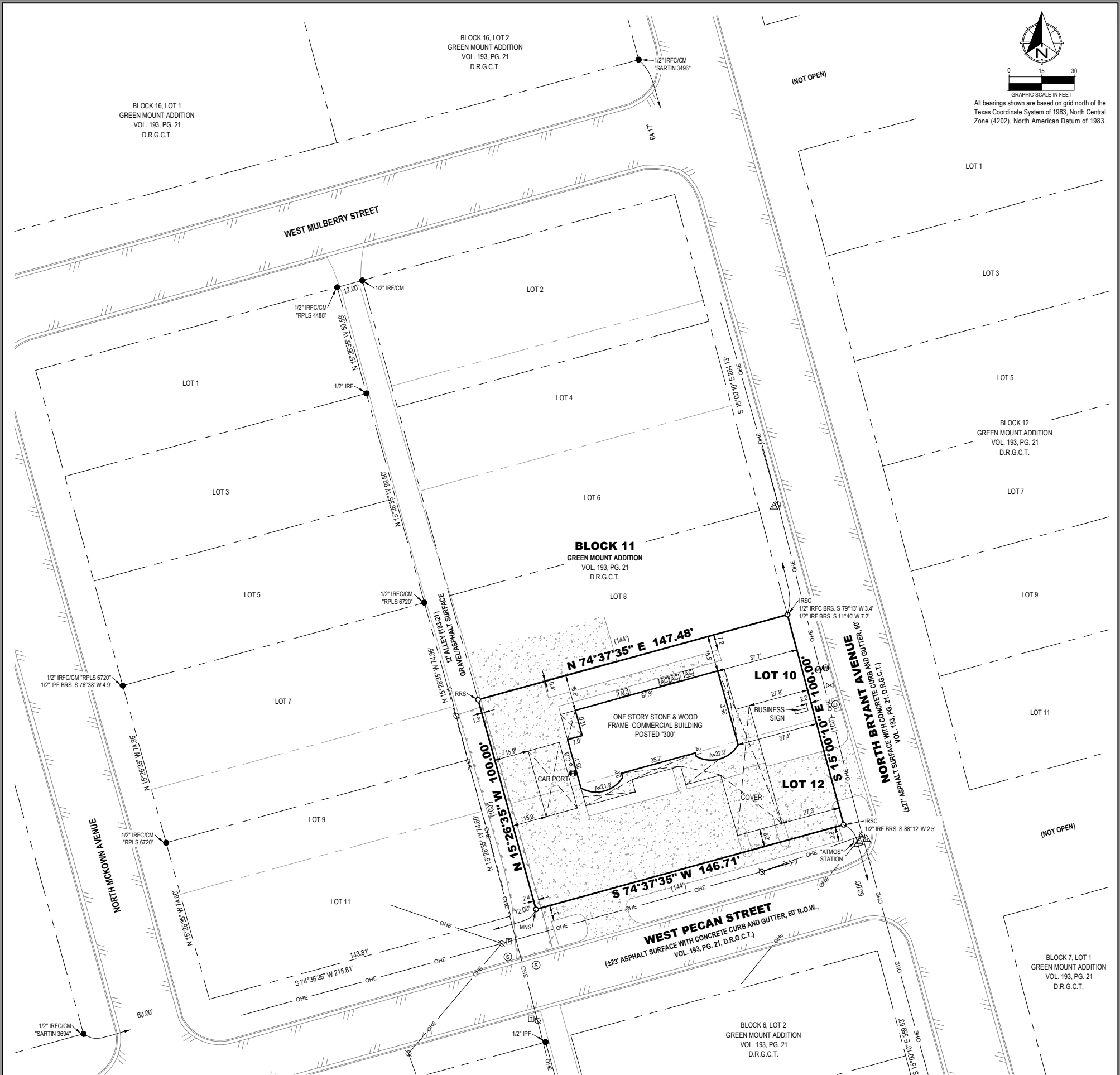
Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.





All bearings shown are based on grid north of the Texas Coordinate System of 1983, North Central Zone (4202), North American Datum of 1983.



LAND DESCRIPTION:
BEING all of Lot Nos. Ten (10) and Twelve (12), in Block No. Eleven (11), of Green Mount Addition, an addition to the City of Sherman, Grayson County, Texas, according to the plat thereof recorded in Volume 193, Page 21, Deed Records, Grayson County, Texas.

- GENERAL NOTES:**
- This survey was completed without the benefit of a current title commitment. Easements and/or other matters of record may affect the surveyed property. The Surveyor did not perform an Abstract of Title.
 - The surveyed property is subject to any matter, including but not limited to Easements, Roadways and/or Building Set Back Lines as shown on the recorded plat of Green Mount Addition, an addition to the City of Sherman, Grayson County, Texas, according to the plat thereof recorded in Volume 193, Page 21, Deed Records, Grayson County, Texas.

LEGEND

● FOUND MONUMENT	AC AC UNIT
○ SET MONUMENT	⊕ ELECTRIC METER
IRSC 1/2" IRON ROD W/ "PRESTON TRAIL LAND SURVEYING, RPLS 6585" CAP SET	⊞ UTILITY/POWER POLE
MNS MAG NAIL SET W/ "PRESTON TRAIL, RPLS 6585" ALUMINUM WASHER SET	— GUY
IRF IRON ROD FOUND	☐ TELEPHONE BOX
IRFC IRON ROD FOUND W/PLASTIC CAP	⚠ BURIED NATURAL GAS MARKER
IPF IRON PIPE FOUND	⊕ WATER METER
RRS RAILROAD SPIKE SET	⊞ WATER VALVE
BRS BEARS	⊕ SANITARY SEWER MANHOLE
CM CONTROLLING MONUMENT	C.O. CLEAN OUT
() DEED OR PLAT CALL	⊕ STORM DRAIN MANHOLE
R.O.W. RIGHT-OF-WAY	— BOUNDARY LINE
D.R.G.C.T. DEED RECORDS, GRAYSON COUNTY, TEXAS	--- ADJOINER LINE
SEC SOUTHEAST CORNER	— METAL/WROUGHT IRON FENCE
	/// ASPHALT
	— OVERHEAD ELECTRIC/UTILITY

Certify to: The Estate of Michael J. Benson, MD;

I, Chris R. Noah, a Registered Professional Land Surveyor in the State of Texas, do hereby certify that this survey has been prepared from an actual on-the-ground survey of the premises depicted hereon and described in the land description attached hereto, conducted under my direction and supervision on 02/09/2024, and there are no discrepancies, conflicts, shortages in area or boundary line conflicts, or any intrusions of visible improvements from adjoining tracts, or protrusions of visible improvements onto adjoining tracts, to the best of my knowledge and belief, except as shown. I further certify that this survey meets or exceeds the minimum standards established by the Texas Board of Professional Land Surveying.



FLOOD STATEMENT:
I have examined the F.E.M.A. Flood Insurance Rate Map for the City of Sherman, Grayson County, Texas, Community Number 485509, effective date 09/01/2022 and that map indicates that this property is within "Non-shaded Zone X" defined as "Areas determined to be outside the 0.2% annual chance flood" as shown on Panel 0290 G of said map. This flood statement does not imply that the property and/or structures thereon will be free from flooding or flood damage, on rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

**TITLE SURVEY
GREEN MOUNT ADDITION
BLOCK 11, LOTS 10 & 12
300 North Bryant Avenue, Sherman
Grayson County, Texas**

Preston Trail LAND SURVEYING
787 W FM 996
Pottsboro, TX 75076
www.prestontrailandsurveying.com
903-786-6029

TBPELS Firm No. 10194175	Drawn by: LGT Checked by: CRN	Scale: 1"=30' Date: 02/12/2024	Project No. 24-0049 Sheet No. 1 of 1
-----------------------------	----------------------------------	-----------------------------------	-----------------------------------------

Chris R. Noah, R.P.L.S. No. 6585





**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 13.

Meeting Date: 6/16/2026

Prepared By: Tammy Mrozinski, Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

1400 BLOCK SOUTH BRANCH STREET (Project No. 000392-2026)-The request of Douglass Distribution (Owner), Jack Sears (Applicant) and Helvey-Wagner Surveying, Inc. (Surveyor), concerning the property located in the 1400 Block South Branch Street, being Lot 9 and part of Lot 10, Block 5, Jones and Wainrights Addition as follows:

Planning and Zoning Commission

Public Hearing and Zone Change from M-2 (Heavy Manufacturing) District to R-5 (Single-Family Residential) District.

Background:

The property is located in the 1400 Block South Branch Street. The owner is requesting a Zone Change from M-2 (Heavy Manufacturing) District to R-5 (Single-Family Residential) District.

Origination:

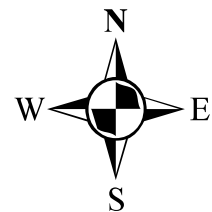
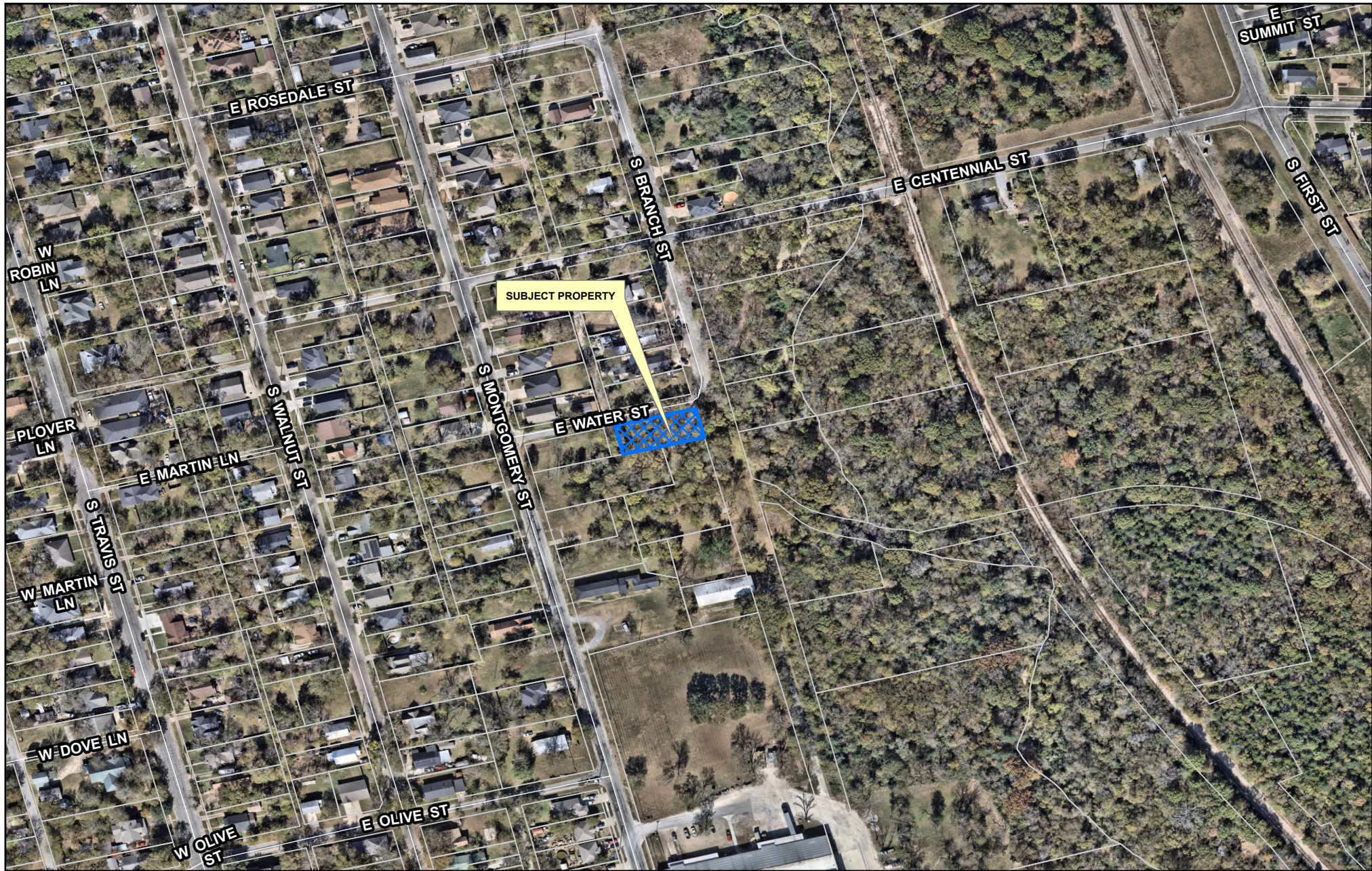
The request of Douglass Distribution (Owner), Jack Sears (Applicant) and Helvey-Wagner Surveying, Inc. (Surveyor).

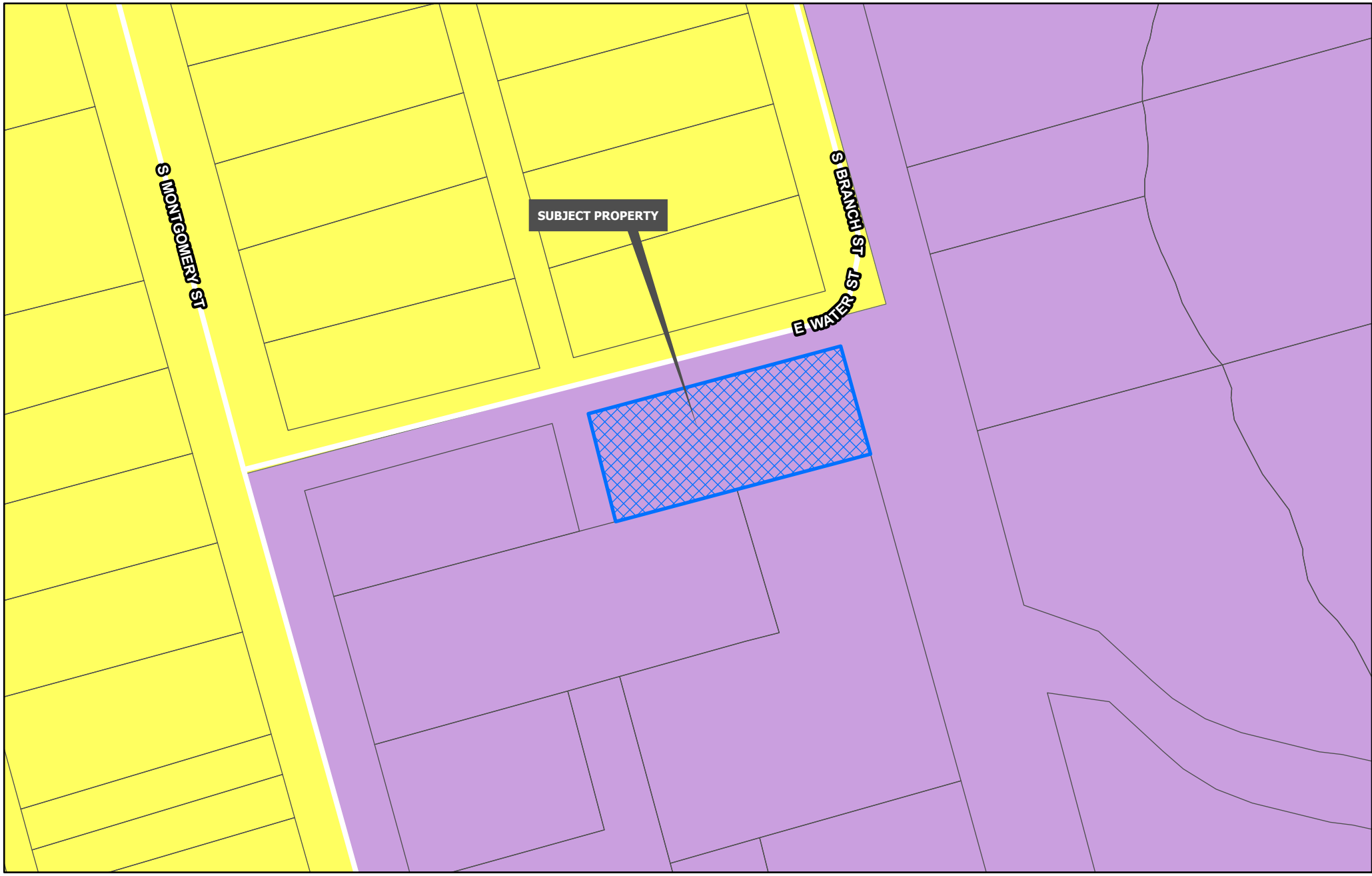
Staff Recommendation:

Staff has no objection to the approval of this item.

Attachments:

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Property Notification Sign
5. Survey
6. Project Narrative





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
ZONING MAP
1400 BLK S BRANCH ST**



CORE NEIGHBORHOOD

Intent & Character

The Core Neighborhood category is intended to protect and enhance the existing residential areas of Sherman. This area is generally located in the center of the city, east and west of US-75. A majority of the Core Neighborhood category encompasses what is known as east Sherman. This category encourages infill development that maintains the existing character, while increasing the aesthetic appeal of the community. In certain areas, an increase in density can be appropriate through the development of single-family attached products, like townhomes or quad-plexes.

Appropriate Land Use Types

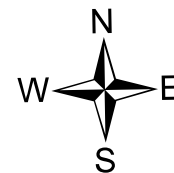
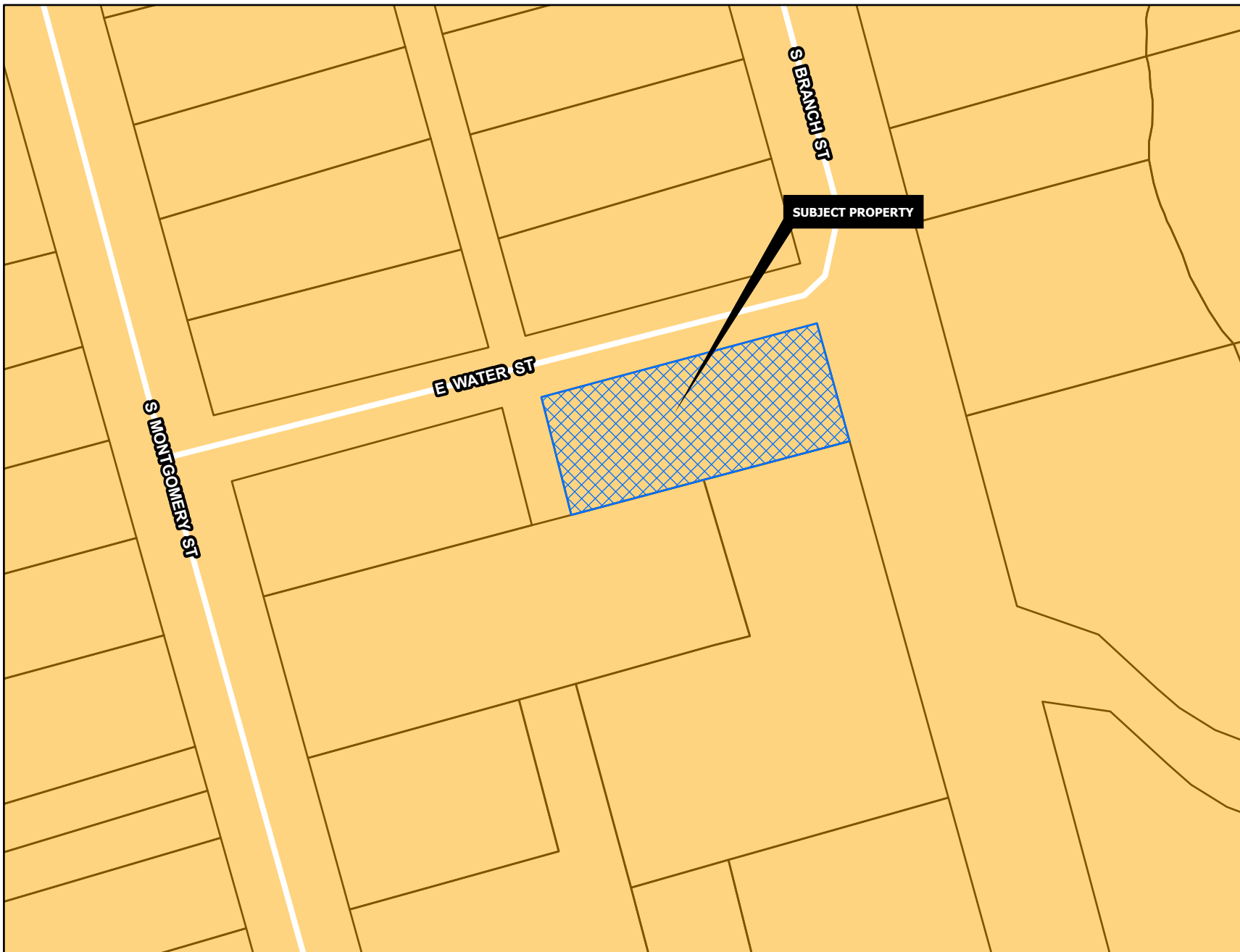
- Single-family detached
- Single-family attached
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

- Single-Family Residential (R-5, R-4, R-2F, and R-TH)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Retail Business
- Neighborhood Commercial

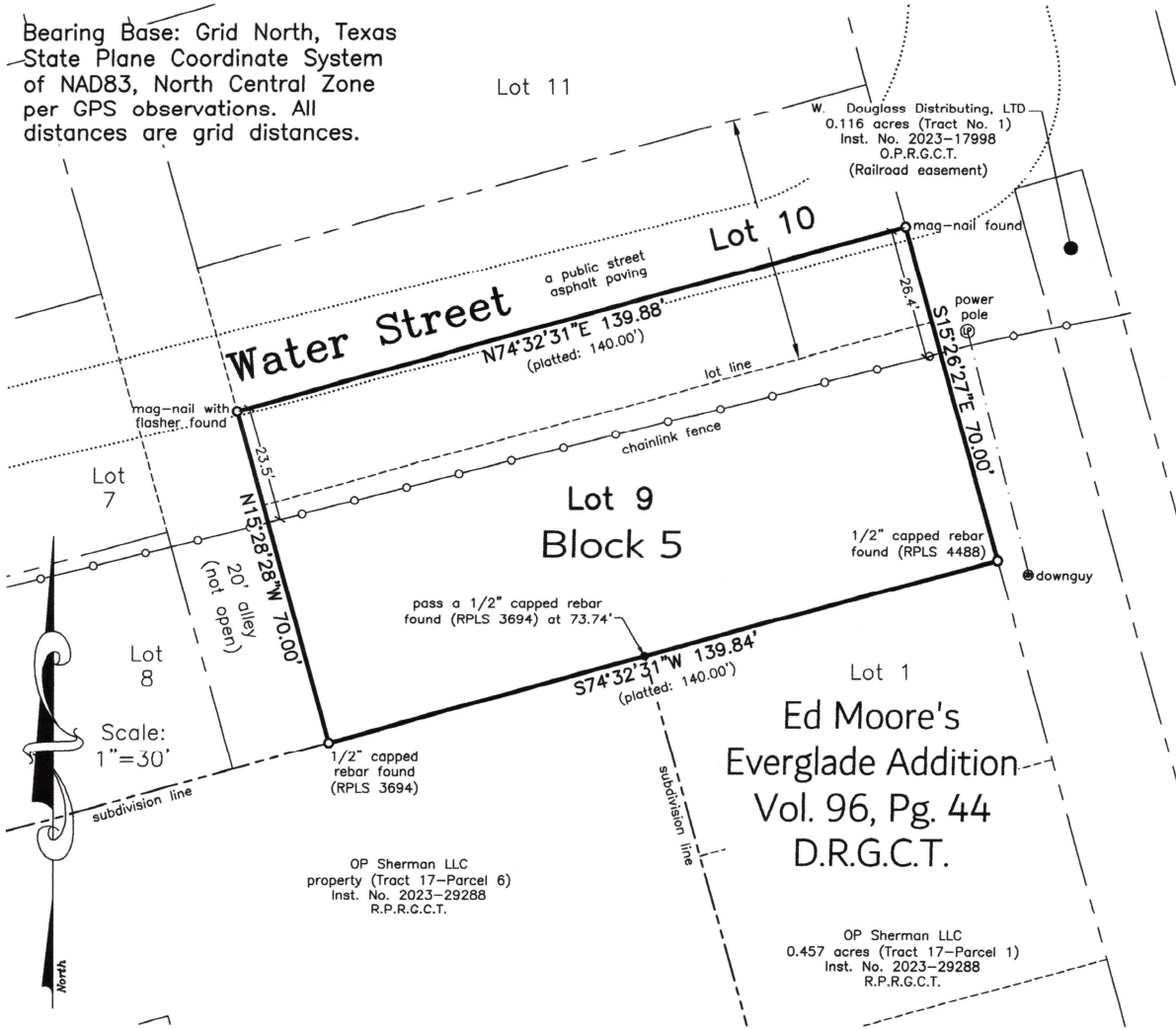
Considerations

- Infill that increases density should match the character of the surrounding structures.
- Small-scale commercial uses are appropriate along larger streets and should be compatible with the surrounding residential development.





Bearing Base: Grid North, Texas
 State Plane Coordinate System
 of NAD83, North Central Zone
 per GPS observations. All
 distances are grid distances.



Owner: W. Douglass Distributing, Ltd
 Address: E. Water Street
 Sherman, Texas

This survey is for the sole benefit of the Owners stated hereon and is null and void for any other transaction. Any unauthorized use of this survey without the sole consent of the undersigned surveyor will infringe upon state and federal copyright statutes. Any violation of said statutes will be aggressively pursued.

I, Kate A. Wagner, Registered Professional Land Surveyor, do hereby certify that a survey was performed on the ground of the property shown hereinabove and that this survey complies with the current Texas Society of Professional Surveyors Manual of Practice for a Category 1A, Condition 3, TSPS Land Title Survey and is a true and correct representation of the property shown hereon to the best of my knowledge and belief.

Legal Description is as follows: Lot 9 and the South 20 ft. of Lot 10, Block 5, Jones and Wainrights Addition to the City of Sherman, Texas as per plat of record in Volume 35, Page 96, Deed Records, Grayson County, Texas.

The subject property shown hereon does not lie within the limits of any designated 100-year Flood Hazard Areas, as shown on the "FEMA" Flood Insurance Rate Map for Grayson County, Texas, Map No. 48181C0405 G, Revised Date: September 1, 2022.



Job No. AGS510426

Helvey-Wagner Surveying, Inc.
 222 W. Main St., Denison, Texas 75020
 Phone (903) 463-6191
 Email: kate@helveywagnersurveying.net
 TBPELS Firm Registration No. 10088100

Kate A. Wagner
 Kate A. Wagner, R. P. L. S. No. 6578
 Copyright Date: April 20, 2026

STATEMENT REGARDING MISSING DEVELOPMENT DOCUMENTS

The property owner is requesting rezoning of the property for the sole purpose of aligning the zoning designation with the intended future residential use prior to listing the property for sale.

No development is planned by the current owner.

Therefore, documents such as building elevations, building material standards, landscape plans, site plans, and related development drawings do not exist at this time. This rezoning request is not tied to a specific project or construction proposal.



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 14.

Meeting Date: 6/16/2026

Prepared By: Tammy Mrozinski, Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

112 WEST LAMAR STREET (Project No. 000395-2026)-The request of Joey Gunn (Owner) and Roger Holloman (Applicant), concerning the property located at 112 West Lamar Street, being Lot 3, Block 7 Original Town Plat, as follows:

Planning and Zoning Commission

Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Commercial amusement centers, indoor only in a C-1 (Retail Business) District/Central Business District Overlay/Downtown Subdistrict.

Background:

The property is located at 112 West Lamar Street. The owner is requesting a Specific Use Permit to allow a Commercial amusement center indoor only.

Origination:

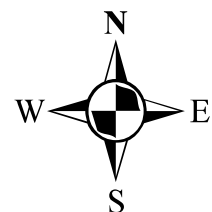
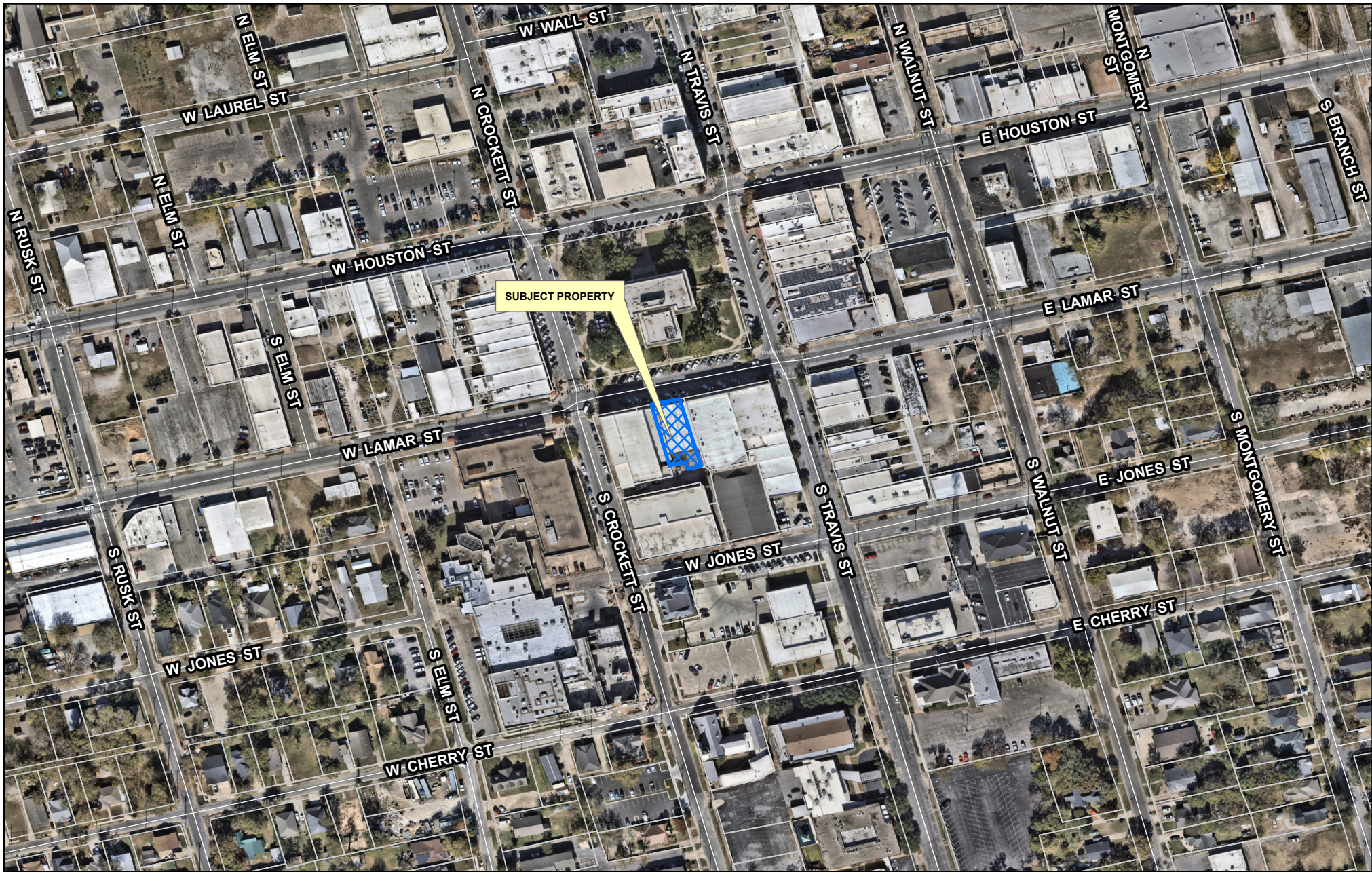
The request of Joey Gunn (Owner) and Roger Holloman (Applicant).

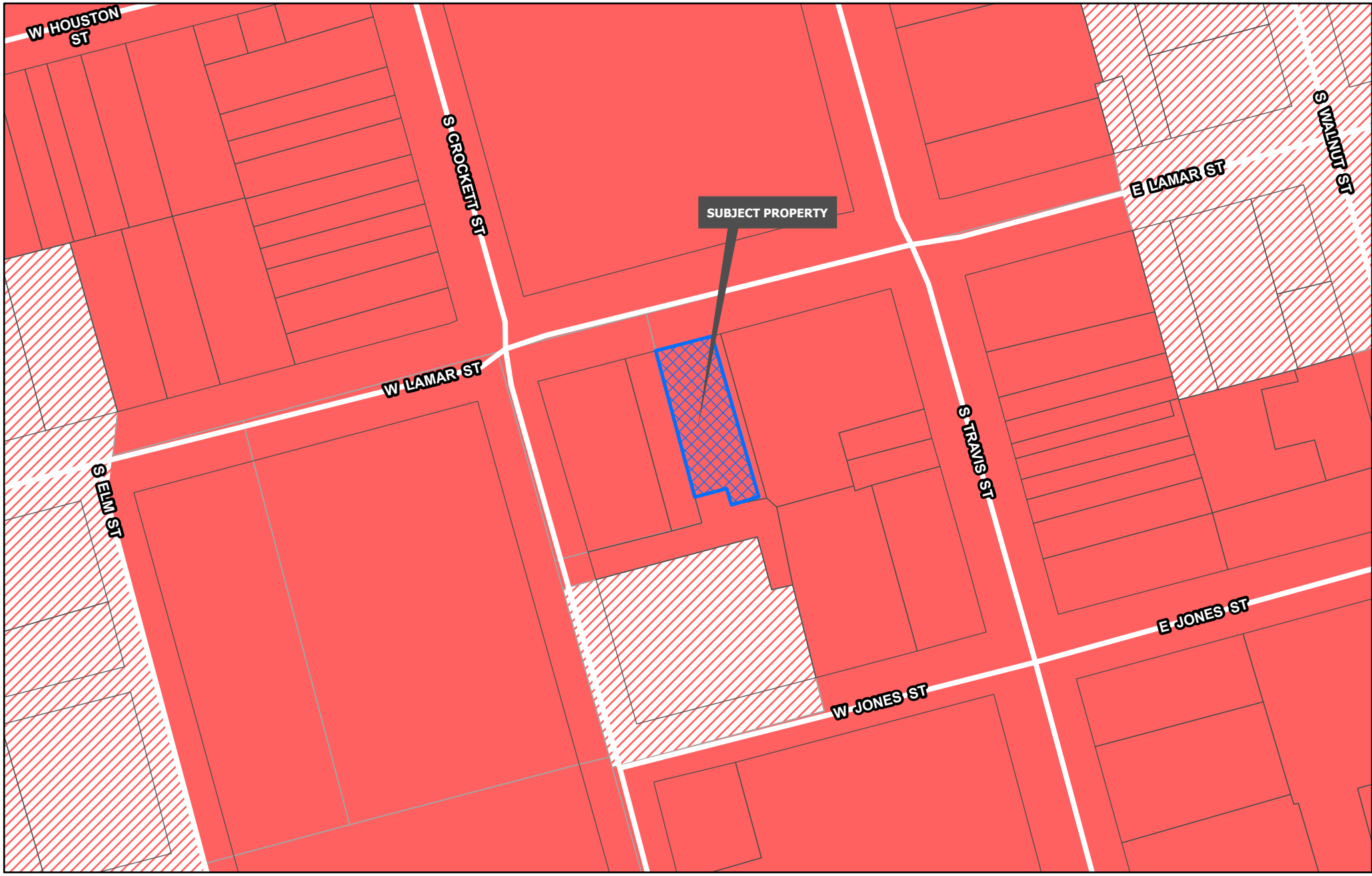
Staff Recommendation:

Staff has no objection to the approval of this item.

Attachments:

1. Location Map
2. Zoning Map
3. Future Landuse Map
4. Property Notification Sign
5. Legal Description
6. Site Plan
7. Elevation
8. Supporting Documents
9. Staff Review Letter





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
ZONING MAP
112 W LAMAR ST**



DOWNTOWN

Intent & Character

The Downtown category is intended to promote the redevelopment of Downtown Sherman. This area has many aspects to consider like mix of uses, historic and cultural elements, aging buildings and infrastructure, and the pedestrian experience. This area should be guided by a Downtown Master Plan that provides uniquely tailored action steps for the area.

Appropriate Land Use Types

- Residential (upper-story, multi-family)
- Retail and Restaurants
- Entertainment
- Office (preferably on the second floor and above)

Compatible Zoning Districts

- Multi-Family Residential (MF-15 and MF-30)
- Office
- Retail Business
- Neighborhood Commercial

Considerations

- Land uses in downtown should be balanced to promote activity during business and evening hours.
- Residential should be encouraged to support non-residential uses.
- Public facility uses should not be expanded and should be relocated if located in a part of downtown that would be better served by a more dynamic use.



Agriculture/Rural	Core Neighborhood	Technology Hub
Airport	Downtown	Planning & Zoning
City Parkland	Regional Commercial	Suburban Neighborhood
Community Commercial		

**CITY OF SHERMAN
FUTURE LANDUSE MAP
112 W LAMAR ST**





People - Quality - Image

NOTICE OF SPECIFIC USE PERMIT REQUEST

PROJECT #: 000395-2026

**FOR MORE INFORMATION CONTACT:
DEVELOPMENT SERVICES
903-892-7210**



112 W LAMAR ST

SITUATED in the City of Sherman, Grayson County, Texas and BEING Lot Three (3) in Block Seven (7) of the Original Town Plat of the City of Sherman as shown on map or plat thereof recorded in Volume B, page 1, Deed Records, Grayson County, Texas, LESS AND EXCEPT the South Ten (10') feet and 10 x 26 feet out of the Southeast corner; and being more particularly described as follows:

BEGINNING at a point 100 feet North 74 degrees East from the Northwest corner of Block Seven (7) of the Original Town Plat of the City of Sherman, Texas, said Northwest corner being in the intersection of the South line of Lamar Street and the East line of Crockett Street;

THENCE South 16 degrees East with the West line of Lot Three (3) a distance of 150 feet to the Southwest corner of Lot 3;

THENCE North 74 degrees East with the South line of Lot (3) a distance of 25.5 feet;

THENCE North 16 degrees West a distance of 10 feet;

THENCE North 74 degrees East a distance of 26 feet to a point in the East line of Lot Three (3);

THENCE North 16 degrees West with the East line of Lot Three (3) a distance of 140 feet to the Northeast corner of Lot 3 and in the South line of Lamar Street;

THENCE South 74 degrees West with the South line of Lamar Street a distance of 51.5 feet to the place of beginning;

and being the same tract described as the First Tract in the deed from Walter C. Jones and wife, Bettie Jones to Maggie Jones dated December 6, 1941, recorded in Volume 430, page 386, Deed Records, Grayson County Texas; and in the deed from Silas H. Ely and W. H. Ely, Trustees to Walter C. Jones and Ernest L. Jones dated January 7, 1914 and March 19, 1914 recorded in Volume 210, page 546, and Volume 230, page 79, Deed Records, Grayson County, Texas and Deed from Maggie Jones to F. W. Peveto dated August 1, 1955, recorded in Volume 814, page 377, Deed Records, Grayson County, Texas,

There is conveyed herewith for the above consideration also, any and all right title and interest in and to that certain private alleyway as provided for in that certain instrument dated the 9th day of May, 1890, recorded in Volume 89, page 221-223, Deed Records, or Grayson County, Texas,

LESS AND EXCEPT:

1) The South 10 feet of the East $\frac{1}{2}$ of Lot 3, Block 7 as reserved in the deed from C. W. Batsell and wife, R. F. Batsell to Mrs. M. Z. Bone dated February 12, 1892, recorded in Volume 107, page 464, Deed Records, Grayson County, Texas,

2) The South 10 feet of Lot 3, Block 7, as conveyed by (1) R. R. Dulin and Robert Dulin dba Dulin & Co. et al to H. L. Hall dated July 6, 1892, recorded in Volume 96, page 559, Deed Records, Grayson County, Texas; (2) Deed from Levis Hall, Sr. et al to Francis Hall dated June 1, 1938, recorded in Volume 402, page 404, Deed Records, Grayson County, Texas, and (3) Deed from Francis Hall Phillips, formerly Frances Hall Enloe to Hugh Levis Hall, Trustee, by deed dated February 17, 1984, recorded in Volume 1682, page 410, Deed Records, Grayson County, Texas.

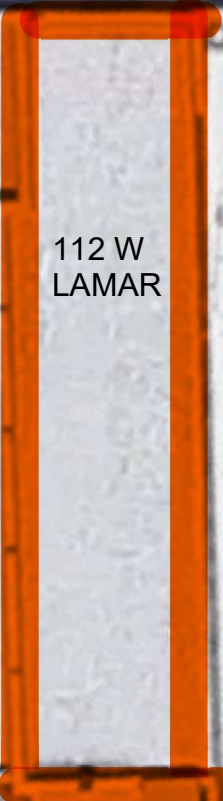
3) A tract 10 x 26 feet out of the Southeast Corner of said Lot 3, Block 7, as excepted in the Warranty Deed from Walter C. Jones and wife, Bettie Jones to Maggie Jones dated the 6th day of December, 1941, and recorded in Volume 430, page 386, Deed Records, Grayson County, Texas.

Filed for record and recorded March 4, 1986 at _____ M.
Pat Norman, County Clerk
By Carol White Deputy



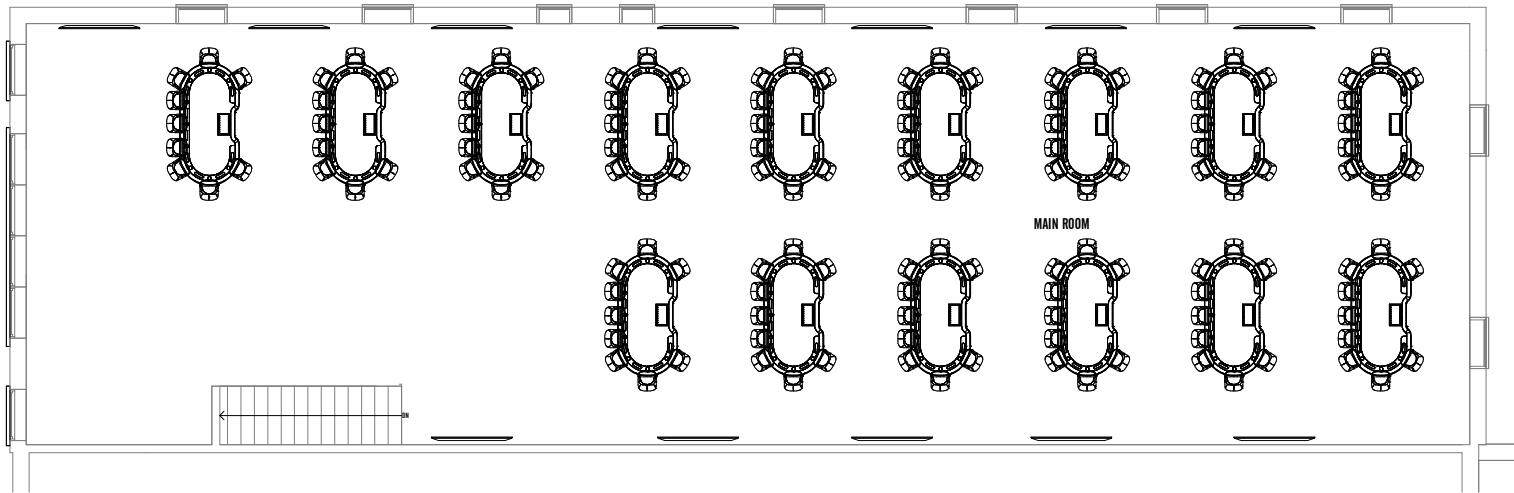
W Lamar St

A Touch of Glass Antique Mall

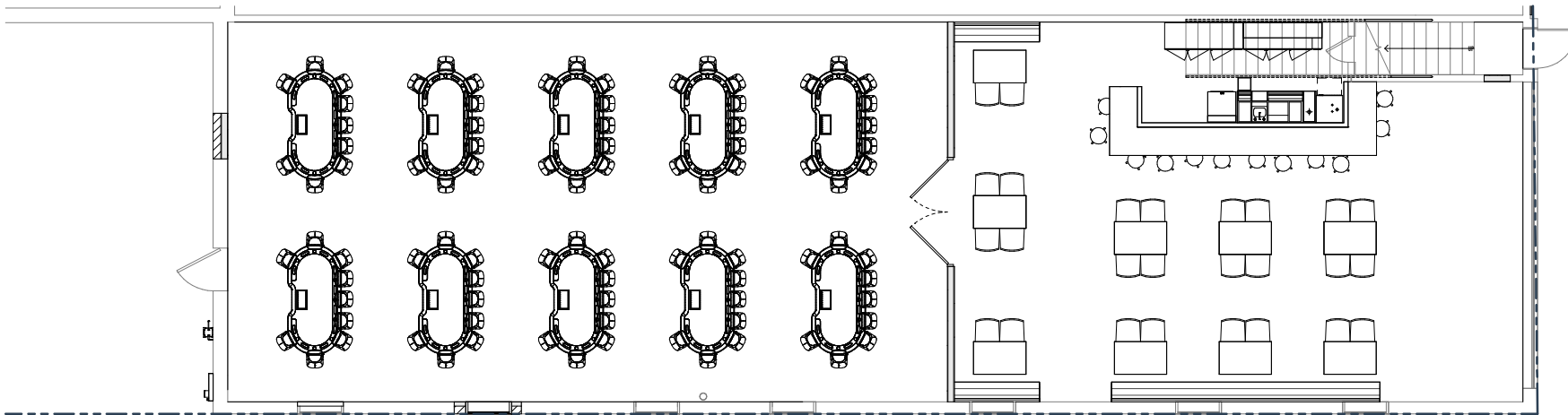


112 W
LAMAR





1 LEVEL 2 FLOOR PLAN
1/4" = 1'-0"



2 LEVEL 1 FLOOR PLAN
1/4" = 1'-0"

A101

SHOWDOWN AT THE SQUARE

FLOOR PLANS | 05.05.2026





A901

SHOWDOWN AT THE SQUARE

RENDERINGS | 05.05.2026





A902 | **SHOWDOWN AT THE SQUARE**
RENDERINGS | 05.05.2026



STAFF REVIEW LETTER

June 9, 2026

Sent via Email

Roger Hollomon
116 Scott Ct.
Van Alstyne, TX 75495

David and Josh Downtain
1200 N East St.
Sherman, TX 75090

Dear Applicants,

The request of a Public Hearing, Site Plan and Specific Use Permit under Section 14.06.009 to allow Commercial amusement centers, indoor only in a C-1 (Retail Business) District/Central Business District Overlay/Downtown Subdistrict located at 112 West Lamar Street has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, June 16, 2026, at 5:00 P.M., in the City Council Chambers at 220 W. Mulberry.

City staff has reviewed your request, and the following items need to be noted/addressed:

Zoning:

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Sign Permits shall be permitted separately from the building permit and must adhere to the City's Zoning Ordinance/Code of Ordinance Chapter 14. (*Article 14.07*)
3. The property must be properly maintained in a state of good repair and neat appearance.
4. The use of the property must comply with all Federal and State Laws and Regulations and with all the Ordinances, Rules and Regulations of the City of Sherman.
5. The granting of the Specific Use Permit has no effect on the uses permitted as of right and does not waive the regulations of the underlying zoning district.
6. A Specific Use Permit is an amendment to the district regulations of the Zoning Ordinance that permits the establishment of a specific use within a zoning district in which such specific use may be established unless such use of land or structure is discontinued or abandoned for a period of thirty (30) consecutive days in which event such Specific Use Permit shall be void and such use may not thereafter be resumed unless a new Specific Use Permit is granted in accordance with this section. (*Chapter 14, Sec. 14.06.009(a)(1)(C)*)
7. Any changes made to the site plan, landscape plan or elevation prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission.

Additional Comments

8. Notwithstanding anything to the contrary herein, the Specific Use Permit granted in this Ordinance shall automatically expire, terminate and be rescinded in the event that a person or entity other than Roger Hollomon is the owner or lessee of the Property.
9. The approval of this Specific Use Permit is to allow a Gaming (Card) room.

It is the policy of the Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, do not hesitate to contact Development Services by emailing planning@cityofsherman.com prior to the meeting.

Respectfully,



Rob Rae
Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager
Clint Philpott, Asst. City Manager
Wayne Lee, P.E., Director of Engineering
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney
Steven Davis, Fire Marshal
Amber Doan, Engineering Coordinator
Tom Pruitt, Utility Engineer



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 15.

Meeting Date: 6/16/2026

Prepared By: Tammy Mrozinski, Planning Technician

Approved By: Rob Rae, Developmental Services Director

Requested Action/Proposed Use:

5301 BLOCK WEST HOUSTON STREET (Project No. 000399-2026)-The request of Poufar Ventures (Owner), FLEXD Development, LLC (Applicant), and Kimley-Horn (Surveyor), concerning the property located in the 5301 Block West Houston Street consisting of 18.3788 acres in the E.N. Deaver Survey, Abstract No. 358, as follows:

Planning and Zoning Commission

- A. Public Hearing and Zone Change from R-A (Residential Agricultural) District to PD (Planned Development) District for FLEXD Sherman with a base zoning of C-2 (General Commercial) District.
- B. Site Plan Approval of FLEXD Sherman.

Background:

The property is located in the 5301 Block West Houston Street. The owner is requesting a Zone Change from R-A (Residential Agricultural) District to PD (Planned Development) District for FLEXD Sherman with a base zoning of C-2 (General Commercial) District and Site Plan Approval of FLEXD Sherman.

Origination:

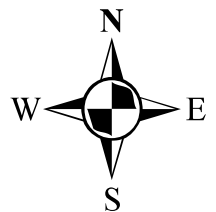
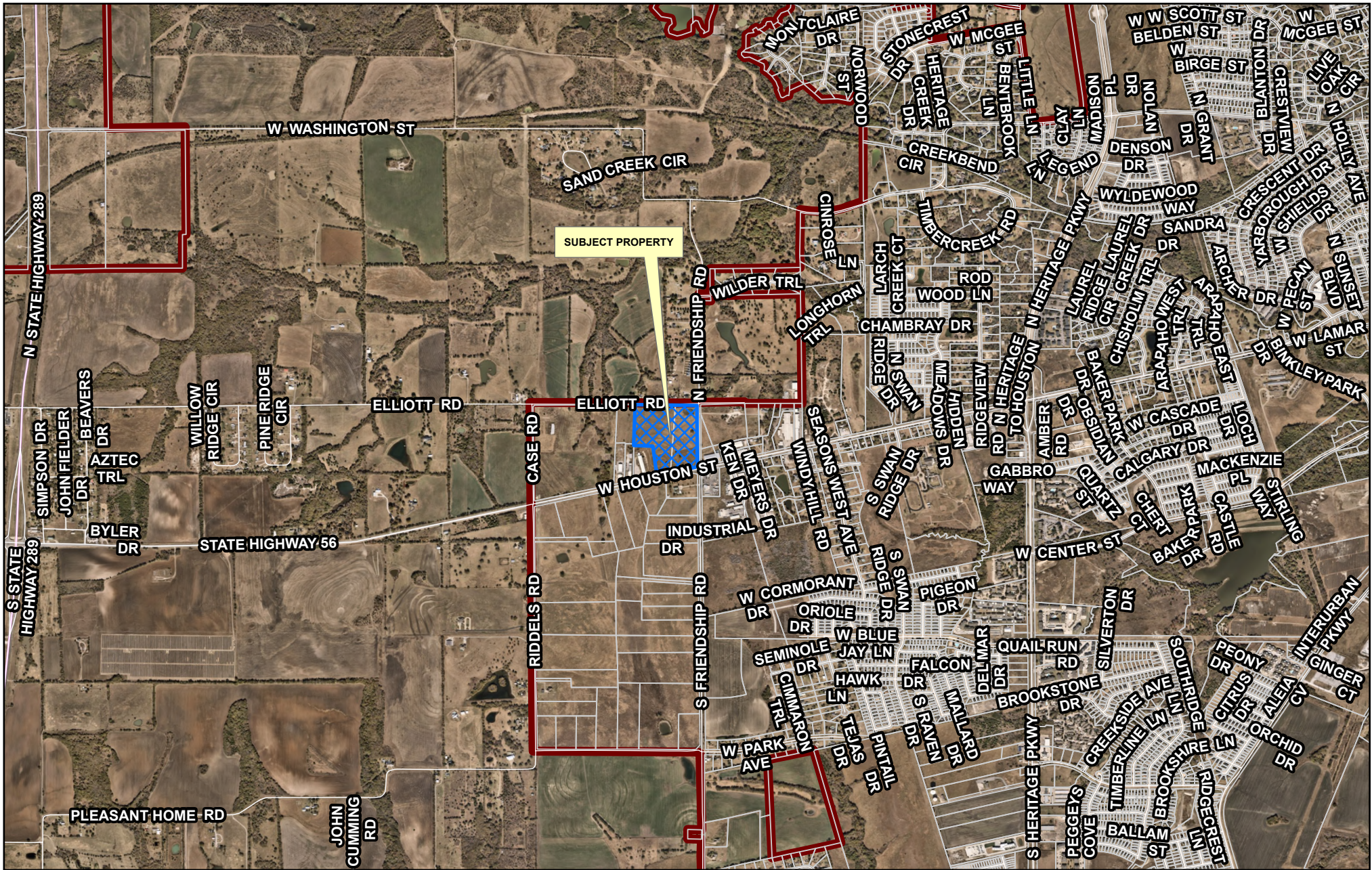
The request of Poufar Ventures (Owner), FLEXD Development, LLC (Applicant), and Kimley-Horn (Surveyor).

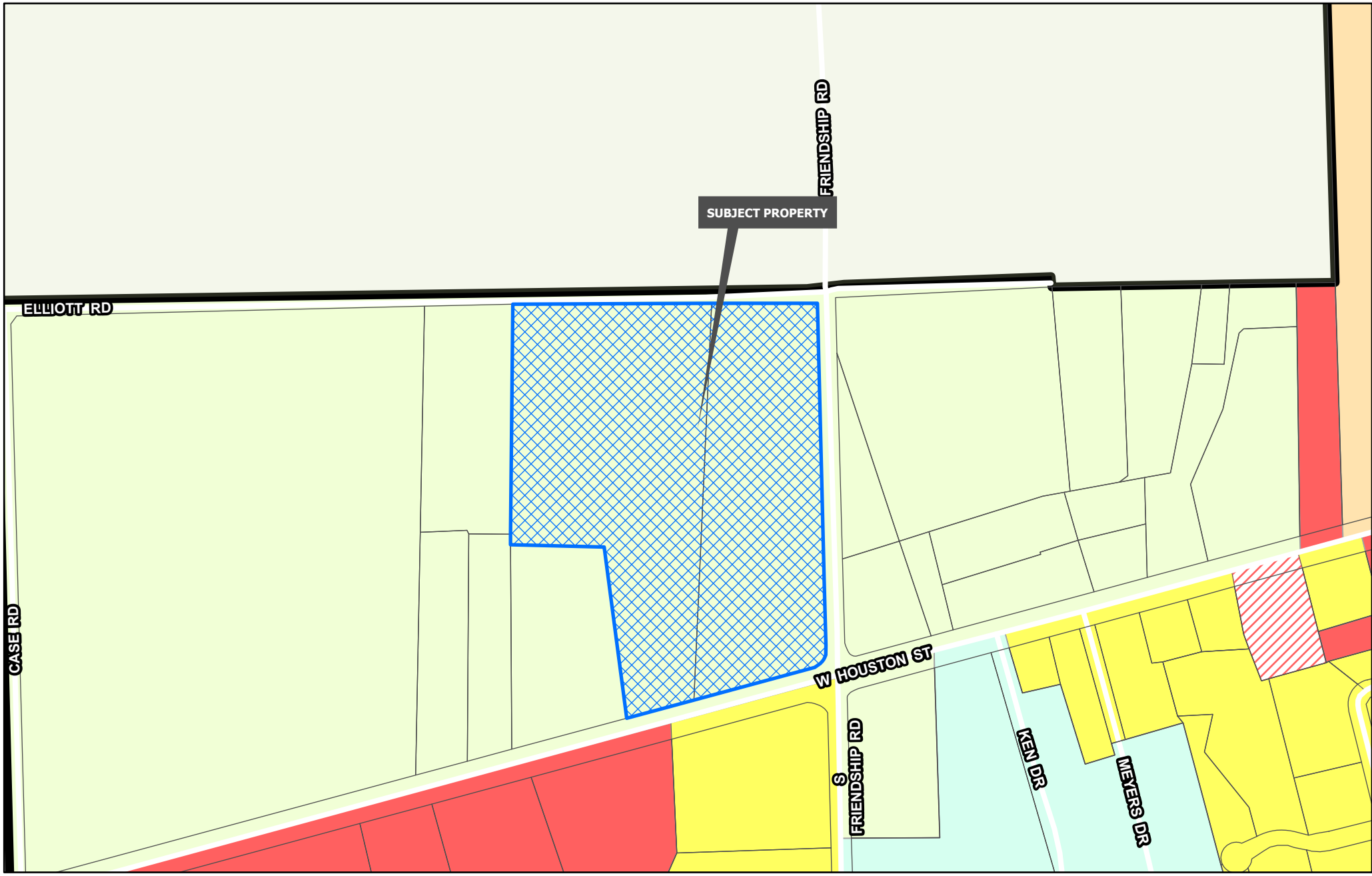
Staff Recommendation:

Staff has no objection to the approval of this item.

Attachments:

- 1. Location Map
- 2. Zoning Map
- 3. Future Landuse Map
- 4. Property Notification Sign
- 5. Survey
- 6. Project Narrative
- 7. Exhibit B - Development Standards
- 8. Exhibit C - Zoning Exhibit
- 9. Site Plan
- 10. Landscape Plan
- 11. Elevation
- 12. Staff Review Letter





Planning & Zoning	R-4 Patio Home Residential	C-O Office
R-A Residential Agricultural	R-2F Duplex Residential	C-1 Retail Business
R-E Estate Residential	R-TH Townhome Residential	C-2 General Commercial
R-12 Single Family Residential	MF-15 Multi-Family Residential	M-1 Light Manufacturing
R-6 Single Family Residential	MF-30 Multi-Family Residential	M-1.5 Medium Manufacturing
R-5 Single Family Residential	MH Manufactured Housing	M-2 Heavy Manufacturing
	C-N Neighborhood Commercial	PD Planned Development

**CITY OF SHERMAN
ZONING MAP
5301 BLK W HOUSTON ST**



SUBURBAN NEIGHBORHOOD

Intent & Character

The Suburban Neighborhood category is intended to allow primarily single-family detached in a "complete neighborhood" setting. New subdivisions should include a mix of housing products and lot sizes. Areas of supporting local commercial should be integrated into the neighborhoods, primarily along major streets near the entrance of neighborhoods. Community amenities such as parks, trails, open spaces, and civic uses should also be included in the creation of new subdivisions. This category gives flexibility for the creation of master-planned neighborhoods that are compatible with the surrounding area.

Appropriate Land Use Types

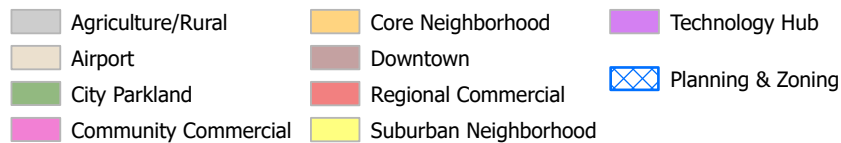
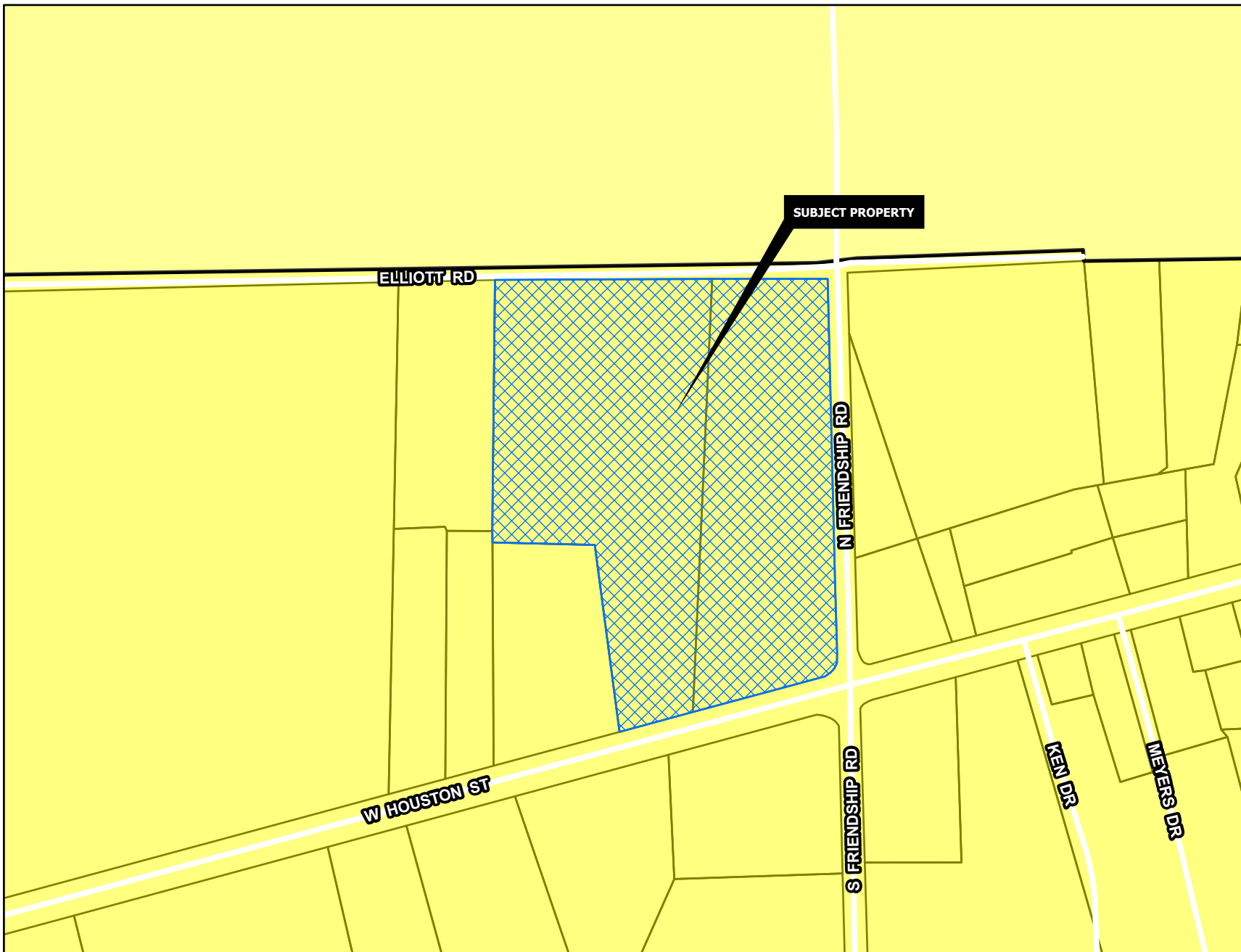
- Single-family detached (primary land use type)
- Single-family attached (duplexes and townhomes)
- Local/neighborhood commercial and office
- Parks and open space
- Schools and civic uses

Compatible Zoning Districts

- Estate Residential
- Single-Family Residential (R-12, R-6, R-5, and R-4)
- Multi-Family Residential (MF-15 and MF-30)
- Manufactured Housing
- Neighborhood Commercial
- Planned Development

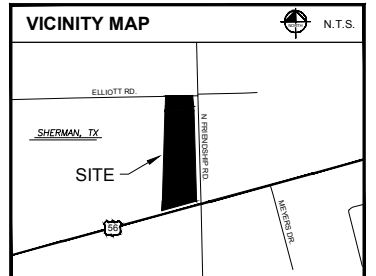
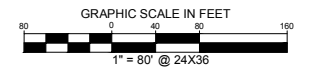
Considerations

- Street connections to existing and future developments.
- Smaller lots and denser development can serve as a transition from the local commercial areas.





CURVE TABLE				
NO.	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	807.00'	3°33'35"	S03°15'50"E	50.13'



LEGEND	
ROOF DRAIN	MAIL BOX
CABLE TV BOX	SANITARY SEWER CLEAN OUT
CABLE TV HANDHOLE	SANITARY SEWER MANHOLE
CABLE TV MANHOLE	SANITARY SEWER MARKER FLAG
CABLE TV MARKER FLAG	SANITARY SEWER MARKER SIGN
CABLE TV MARKER SIGN	SANITARY SEWER SEPTIC TANK
COMMUNICATIONS BOX	STORM SEWER BOX
COMMUNICATIONS HANDHOLE	STORM SEWER DRAIN
COMMUNICATIONS MANHOLE	STORM SEWER MANHOLE
COMMUNICATIONS MARKER FLAG	STORM SEWER VAULT
COMMUNICATIONS MARKER SIGN	TRAFFIC BARRIER
ELEVATION BENCHMARK	TRAFFIC BOX
FIBER OPTIC BOX	CROSS WALK SIGNAL
FIBER OPTIC HANDHOLE	TRAFFIC MANHOLE
FIBER OPTIC MANHOLE	TRAFFIC MARKER SIGN
FIBER OPTIC MARKER FLAG	TRAFFIC MARKER SIGN
FIBER OPTIC MARKER SIGN	TRAFFIC SIGN
FIBER OPTIC VAULT	TRAFFIC VAULT
MONTICORNE WELLS	UNIDENTIFIED BOX
GAS HANDHOLE	UNIDENTIFIED HANDHOLE
GAS METER	UNIDENTIFIED METER
GAS MANHOLE	UNIDENTIFIED MANHOLE
GAS MARKER FLAG	UNIDENTIFIED MARKER FLAG
GAS SIGN	UNIDENTIFIED MARKER SIGN
GAS TANK	UNIDENTIFIED POLE
GAS VAULT	UNIDENTIFIED TANK
GAS VALVE	UNIDENTIFIED VAULT
TELEPHONE BOX	UNIDENTIFIED VALVE
TELEPHONE HANDHOLE	IRRIGATION VALVE
TELEPHONE MANHOLE	WATER BOX
TELEPHONE MARKER FLAG	FIRE DEPT. CONNECTION
TELEPHONE MARKER SIGN	WATER HAND HOLE
TELEPHONE VAULT	FIRE HYDRANT
PIPELINE MARKER SIGN	WATER METER
FLOOD LIGHT	WATER MANHOLE
GUY ANCHOR	WATER MARKER SIGN
GUY ANCHOR POLE	WATER MARKER SIGN
ELECTRIC HANDHOLE	WATER VALVE
LIGHT STANDARD	WATER WELL
ELECTRIC METER	IFC IRON ROD W/ 'X'NY' CAP SET
ELECTRIC MANHOLE	IFC IRON ROD WITH CAP FOUND
ELECTRIC MARKER FLAG	MNS MAG NAIL SET
ELECTRIC MARKER SIGN	MNF MAG NAIL FOUND
UTILITY POLE	IFC IRON ROD FOUND
ELECTRIC TRANSFORMER	IFC IRON PIPE FOUND
ELECTRIC VAULT	ALZ ALUMINUM DISK FOUND
HANDICAPPED PARKING	BCE BRASS DISK FOUND
SIGN	CMF CONCRETE MONUMENT FOUND
HANDSHEE/BILLBOARD	XS 'X' OUT IN CONCRETE SET
BORE LOCATION	X' 'X' OUT IN CONCRETE FOUND
FLAG POLE	P.O.B. POINT OF BEGINNING
GRAVE TRAP	P.O.C. POINT OF COMMENCING

LINE TYPE LEGEND	
BOUNDARY LINE	BOUNDARY LINE
ADJACENT PROPERTY LINE	ADJACENT PROPERTY LINE
EASEMENT LINE	EASEMENT LINE
BUILDING LINE	BUILDING LINE
WATER LINE	WATER LINE
SS	SANITARY SEWER LINE
GS	STORM SEWER LINE
UG	UNDERGROUND GAS LINE
OH	OVERHEAD UTILITY LINE
UG	UNDERGROUND ELECTRIC LINE
UGT	UNDERGROUND TELEPHONE LINE
UGC	UNDERGROUND CABLE LINE
FC	FENCE
CP	CONCRETE PAVEMENT
AP	ASPHALT PAVEMENT
RA	DIRT OR ACCESS LINE

FLOOD STATEMENT
According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48181C0270G, dated September 1, 2022 and 48181C0400G, dated September 1, 2022, for GRAYSON County, Texas, and incorporated areas, this property is not located within a Special Flood Hazard Area (SFHA).

If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

- NOTES**
- The bearing system for this survey is based on the Texas Coordinate System of 1983 (2011), North Central Zone (4202) based on observations made on October 3, 2025 with an applied combined scale factor of 1.00012.
 - Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject tract: easements, building setback lines, restrictive covenants, subdivision restrictions, zoning or other land-use regulations, agreements, lease agreements and ownership title evidence.
 - Any declaration made hereon or herein is made to the original purchaser of the survey. It is not transferable to additional institutions or subsequent owners.
 - This survey does not provide a determination or opinion concerning the location of existing wetlands, fault lines, toxic or hazardous waste areas, subsidence, subsurface and environmental conditions or geological issues. No statement is made concerning the suitability of the subject tract for any intended use, purpose or development.
 - The word "certify" or "certificate" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied.
 - There was no evidence of recent earth moving work, drilling operations, building construction, or building additions observed in the process of conducting the fieldwork.
 - There were no buildings observed on the surveyed property.
 - There were no significant observations observed in the process of conducting the fieldwork.
 - This survey reflects the above ground indications of utilities. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service, or abandoned. Furthermore, the surveyor does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located all the underground utilities, or other buried features, but has made an attempt to locate those visible or indicated as accurately as possible.
 - The surveyed property is contiguous with the adjoining tracts of land, and no apparent gaps, gores, or overlaps were observed by the surveyor.

LEGAL DESCRIPTION
BEING a 10.2668 acre (447,221 square foot) tract of land situated in the E.N. Deaver Survey, Abstract No. 358, City of Sherman, Grayson County, Texas, and being a portion of a called 11.71 acre tract of land described in Special Warranty Deed to Pourfar Ventures, LLC, as recorded in Instrument No. 2023-31228, Official Public Records, Grayson County, Texas, said tract being more particularly described as follows:

COMMENCING at the southwest corner of the said called 11.71 acre tract, from which a 1/2-inch iron rod found bears South 02°02'57" West, a distance of 0.3 feet, and from which a 1/2-inch iron rod with cap found at the southwest corner of a called 0.028 acre tract of land described in deed to City of Sherman, as recorded in Volume 5892, Page 513, Deed Records, Grayson County, Texas bears South 74°54'49" West, a distance of 242.11 feet;

THENCE North 02°02'57" East, along the west line of the said called 11.71 acre tract, a distance of 5.23 feet to a 5/8-inch iron rod with cap stamped "KHA" set for the **POINT OF BEGINNING**, being at the northwest corner of a called 0.053 acre tract of land described in deed to City of Sherman, as recorded in Volume 5882, Page 267, Deed Records, Grayson County, Texas, and being in the north right-of-way line of Highway 56, from which a 5/8-inch iron rod with cap stamped "PRESTON TRAIL SURVEYING" found at the northwest corner of a called 15.0 acre tract of land described in deed to City of Sherman, as recorded in Volume 5866, Page 649, Deed Records, Grayson County, Texas, bears South 74°54'49" West, a distance of 642.91 feet;

THENCE North 02°02'57" East, departing the said north right-of-way line and along the west line of the said called 11.71 acre tract, passing at a distance of 1,279.82 feet a found 1/2-inch iron rod with cap, and continuing in all a total distance of 1,304.21 feet to a 5/8-inch iron rod with cap stamped "KHA" set at the northwest corner of the said called 11.71 acre tract, and being in Elliott Road, from which a 1/2-inch iron rod with cap found at the northwest corner of a called 15.0 acre tract of land described in Gift Deed to Troy D. Sloan as recorded in Volume 5992, Page 580, Deed Records, Grayson County, Texas, bears South 88°45'56" West, a distance of 643.13 feet;

THENCE North 88°47'34" East, along the north line of the said called 11.71 acre tract, a distance of 309.66 feet to a mag nail with washer stamped "STV" found at the northwest corner of a called 1.387 acre tract of land described in deed to City of Sherman, as recorded in Instrument No. 2018-9178, Official Public Records, Grayson County, Texas, and being in the west right-of-way line of Friendship Road;

THENCE South 05°02'38" East, departing the said north line, and along the said west right-of-way line, a distance of 124.00 feet to a 5/8-inch iron rod with cap stamped "STV" found for corner at the beginning of a tangent curve to the right with a radius of 807.00 feet, a central angle of 03°33'35", and a chord bearing and distance of South 03°15'50" East, 50.13 feet;

THENCE in a southerly direction, continuing along the said west right-of-way line, with said tangent curve to the right, an arc distance of 50.14 feet to a 5/8-inch iron rod with cap stamped "STV" found for corner;

THENCE South 01°29'02" East, continuing furthermore along the said west right-of-way line, a distance of 1,029.76 feet to a 5/8-inch iron rod with cap stamped "KHA" set at the southwest corner of the said called 0.053 acre tract, and being in the north line of the aforementioned called 0.053 acre tract, and being in the aforementioned north right-of-way line of Highway 56;

THENCE South 74°54'49" West, along the said north right-of-way line, a distance of 410.80 feet to the **POINT OF BEGINNING** and containing 447,221 square feet or 10.2668 acres of land, more or less.

NOTES ADDRESSING SCHEDULE B EXCEPTIONS
(Pursuant to Commitment for Title Insurance, issued by Old Republic National Title Insurance Company, GF. No. 250484-14, effective date February 22, 2026, issued March 6, 2026.)

- The easement recorded in Volume 5882, Page 275, Deed Records, Grayson County, Texas, is located on the Subject Tract and shown hereon.
- The easement recorded in Instrument No. 2018-9179, Official Records, Grayson County, Texas, is located on the Subject Tract and shown hereon.
- The Subject Tract is part of the tract of land described as the "First Tract" recorded in Volume 439, Page 434, Deed Records, Grayson County, Texas, as shown hereon.
The Subject Tract is not part of the tract of land described as the "Second Tract" recorded in Volume 439, Page 434, Deed Records, Grayson County, Texas.
- The Subject Tract is part of the 31.795 acre tract described in Volume 1647, Page 525, Deed Records, Grayson County, Texas.
The Subject Tract is part of the tract of land described as the "First Tract" recorded in Volume 780, Page 198, Deed Records, Grayson County, Texas, as shown hereon.
The Subject Tract is not part of the tract of land described as the "Second Tract" recorded in Volume 780, Page 198, Deed Records, Grayson County, Texas.
- The Subject Tract is part of the tract of land described in Volume 774, Page 57, Deed Records, Grayson County, Texas, as shown hereon.
- The Subject Tract is part of the tract of land described in Volume 774, Page 458, Deed Records, Grayson County, Texas, as shown hereon.
- The Subject Tract is part of the tract of land described in Volume 780, Page 17, Deed Records, Grayson County, Texas, as shown hereon.
- The Subject Tract is part of the tract of land described in Volume 959, Page 246, Deed Records, Grayson County, Texas, as shown hereon.

SURVEYOR'S CERTIFICATION
To: FLEXD Development, LLC;
MBL Title;
Old Republic National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 8, 9, 13 and 16 of Table A thereof. The field work was completed on October 3, 2025.

Survey Date: April 3, 2026

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

Joshua D. Wargo
Registered Professional Land Surveyor No. 6391
Kimley-Horn and Associates, Inc.
801 Cherry Street, Unit 11, Suite 1300
Fort Worth, Texas 76102
Ph. 817-335-6511
josh.wargo@kimley-horn.com

ALTA/NSPS LAND TITLE SURVEY
10.2668 ACRES
E.N. DEAVER SURVEY,
ABSTRACT No. 358
CITY OF SHERMAN,
GRAYSON COUNTY, TEXAS

Kimley»Horn

801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102 FIRM # 10194040 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 80'	SB	JDW	4/3/2026	060015807	1 OF 1

CALLED 5.00 ACRES LESS & EXCEPT TRACT OF A CALLED 41.795 ACRE TRACT VOL. 1647, PG. 525

CALLED 15.0 ACRES TROY D. SLOAN VOL. 5992, PG. 580 APN: 122902

MINERAL RIGHTS INTERESTS VOL. 774, PG. 57 VOL. 774, PG. 458 VOL. 780, PG. 17 VOL. 959, PG. 246 VOL. 439, PG. 434 VOL. 1044, PG. 405 VOL. 1044, PG. 410

PORTION OF A CALLED 11.71 ACRES POURFAR VENTURES, LLC INST. NO. 2023-31228 APN: 122900

CALLED 1.387 ACRES CITY OF SHERMAN INST. NO. 2018-9178 APN: 393508

10.2668 ACRES 447,221 SQ. FT.

MINERAL RIGHTS INTEREST CALLED 31.795 ACRES VOL. 1647, PG. 525

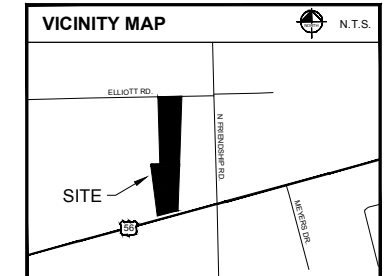
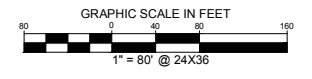
CALLED 5.00 ACRES LESS & EXCEPT TRACT OF A CALLED 41.795 ACRE TRACT VOL. 1647, PG. 525

TROY SLOAN VOL. 5025, PG. 102

CALLED 0.028 ACRES CITY OF SHERMAN VOL. 5892, PG. 513 APN: 385829

CALLED 0.053 ACRES CITY OF SHERMAN VOL. 5882, PG. 267 APN: 385570

CALLED 0.046 ACRES CITY OF SHERMAN VOL. 5866, PG. 649



FLOOD STATEMENT
According to Federal Emergency Management Agency's Flood Insurance Rate Map No. 48181C0270G, dated September 1, 2022 and 48181C0400G, dated September 1, 2022, for GRAYSON County, Texas, and incorporated areas, this property is not located within a Special Flood Hazard Area (SFHA).

If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This flood statement shall not create liability on the part of the surveyor.

NOTES
1. The bearing system for this survey is based on the Texas Coordinate System of 1983 (2011), North Central Zone (4202) based on observations made on March 25, 2026 with an applied combined scale factor of 1.00012.

- 2. Except as specifically stated or shown on this plat, this survey does not purport to reflect any of the following which may be applicable to the subject tract: easements, building setback lines, restrictive covenants, subdivision restrictions, zoning or other land-use regulations, agreements, lease agreements and ownership title evidence.
- 3. Any declaration made hereon or herein is made to the original purchaser of the survey. It is not transferable to additional institutions or subsequent owners.
- 4. This survey does not provide a determination or opinion concerning the location of existing wetlands, fault lines, toxic or hazardous waste areas, subsidence, subsurface and environmental conditions or geological issues. No statement is made concerning the suitability of the subject tract for any intended use, purpose or development.
- 5. The word "certify" or "certificates" as shown and used hereon means an expression of professional opinion regarding the facts of the survey and does not constitute a warranty or guarantee, expressed or implied.
- 6. There was no evidence of recent earth moving work, drilling operations, building construction, or building additions observed in the process of conducting the fieldwork.
- 7. There were no buildings observed on the surveyed property.
- 8. There were no significant observations observed in the process of conducting the fieldwork.
- 9. This survey reflects the above ground indications of utilities. The surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in service, or abandoned. Furthermore, the surveyor does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located all the underground utilities, or other buried features, but has made an attempt to locate those visible or indicated as accurately as possible.
- 10. The surveyed property is contiguous with the adjoining tracts of land, and no apparent gaps, gores, or overlaps were observed by the surveyor.

LEGAL DESCRIPTION
BEING a 8.1120 acre (353,360 square foot) tract of land situated in the E.N. Deaver Survey, Abstract No. 358, Grayson County, Texas, and being a portion of a called 15.0 acre tract of land described in Gift Deed to Troy D. Sloan as recorded in Volume 5992, Page 580, Deed Records, Grayson County, Texas, said tract being more particularly described as follows:

COMMENCING at 1/2-inch iron rod with cap found for the northwest corner of the said called 15.0 acre tract and being in Elliott Road;

THENCE North 88°45'56" East, along the north line of the said called 15.0 acre tract, and along said road, a distance of 368.02 feet to a mag nail with washer stamped "KHA" set for the **POINT OF BEGINNING**;

THENCE North 88°45'56" East, continuing along the said north line, and along said road, a distance of 275.11 feet to a mag nail with washer stamped "KHA" set at the northeast corner of the said called 15.0 acre tract of land;

THENCE South 02°02'57" West, along the east line of the said called 15.0 acre tract, passing at a distance of 24.39 feet a found 1/2-inch iron rod with cap, and continuing in all a total distance of 1,304.21 feet to a 5/8-inch iron rod with cap stamped "KHA" set at the northeast corner of a called 0.028 acre tract described in General Warranty Deed to City of Sherman, Texas as recorded in Volume 5892, Page 513, said Deed Records, and being in the north right-of-way line of Highway 56, from which a 1/2-inch iron rod found bears South 02°02'57" West, a distance of 5.54 feet;

THENCE South 74°54'49" West, along the said north right-of-way line and along the north line of the said called 0.028 acre tract, a distance of 242.98 feet to a 5/8-inch iron rod with cap stamped "KHA" set at the northwest corner of the said called 15.0 acre tract, and being in the west line of the said called 15.0 acre tract, from which a 1/2-inch iron rod with cap found for the southwest corner of the said called 0.028 acre tract bears South 07°25'37" East, a distance of 5.05 feet, and from which a 5/8-inch iron rod with cap stamped "PRESTON TRAIL SURVEYING" found at the northwest corner of a called 0.046 acre tract described in General Warranty Deed to City of Sherman, Texas as recorded in Volume 5866, Page 649, said Deed Records, bears South 74°54'49" West, a distance of 399.93 feet;

THENCE North 07°25'37" West, departing the said north right-of-way line and along the west line of the said called 15.0 acre tract, a distance of 575.50 feet to a 1/2-inch iron rod found for an interior corner of the said called 15.0 acre tract and being at the northeast corner of a called 5.0 acre tract of land described in deed to Troy Sloan as recorded in Volume 5025, Page 102, said Deed Records;

THENCE North 02°02'57" East, a distance of 22.39 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

THENCE North 88°30'58" East, a distance of 99.64 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

THENCE North 01°29'02" West, a distance of 785.32 feet to the **POINT OF BEGINNING** and containing 353,360 square feet or 8.1120 acres of land, more or less.

NOTES ADDRESSING SCHEDULE B EXCEPTIONS
(Pursuant to Commitment for Title Insurance, issued by Old Republic National Title Insurance Company, GF. No. 260073-14, effective date March 1, 2026, issued March 12, 2026.)

10h. The easement recorded in Volume 2096, Page 633, Deed Records, Grayson County, Texas, is not located on the Subject Tract.

10i. The easement recorded in Volume 5866, Page 655, Deed Records, Grayson County, Texas, is not located on the Subject Tract.

10j. The easement recorded in Volume 5892, Page 520, Deed Records, Grayson County, Texas, is located on the Subject Tract and shown hereon.

10k. The tract of land described in Volume 1044, Page 405, Deed Records, Grayson County, Texas, is not located on the Subject Tract. The Subject Tract is part of the 80 acre tract referred to as "First Tract" described in Volume 1044, Page 410, Deed Records, Grayson County, Texas.

10l. The Subject Tract is part of the 31.795 acre tract described in Volume 1647, Page 525, Deed Records, Grayson County, Texas.

SURVEYOR'S CERTIFICATION
To: FLEXD Development, LLC;
MBL Title;
Old Republic National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 3, 4, 8, 9, 13 and 16 of Table A thereof. The field work was completed on March 25, 2026.

Survey Date: April 3, 2026

Joshua D. Wargo
Registered Professional Land Surveyor No. 6391
Kimley-Horn and Associates, Inc.
801 Cherry Street, Unit 11, Suite 1300
Fort Worth, Texas 76102
Ph. 817-335-6511
josh.wargo@kimley-horn.com

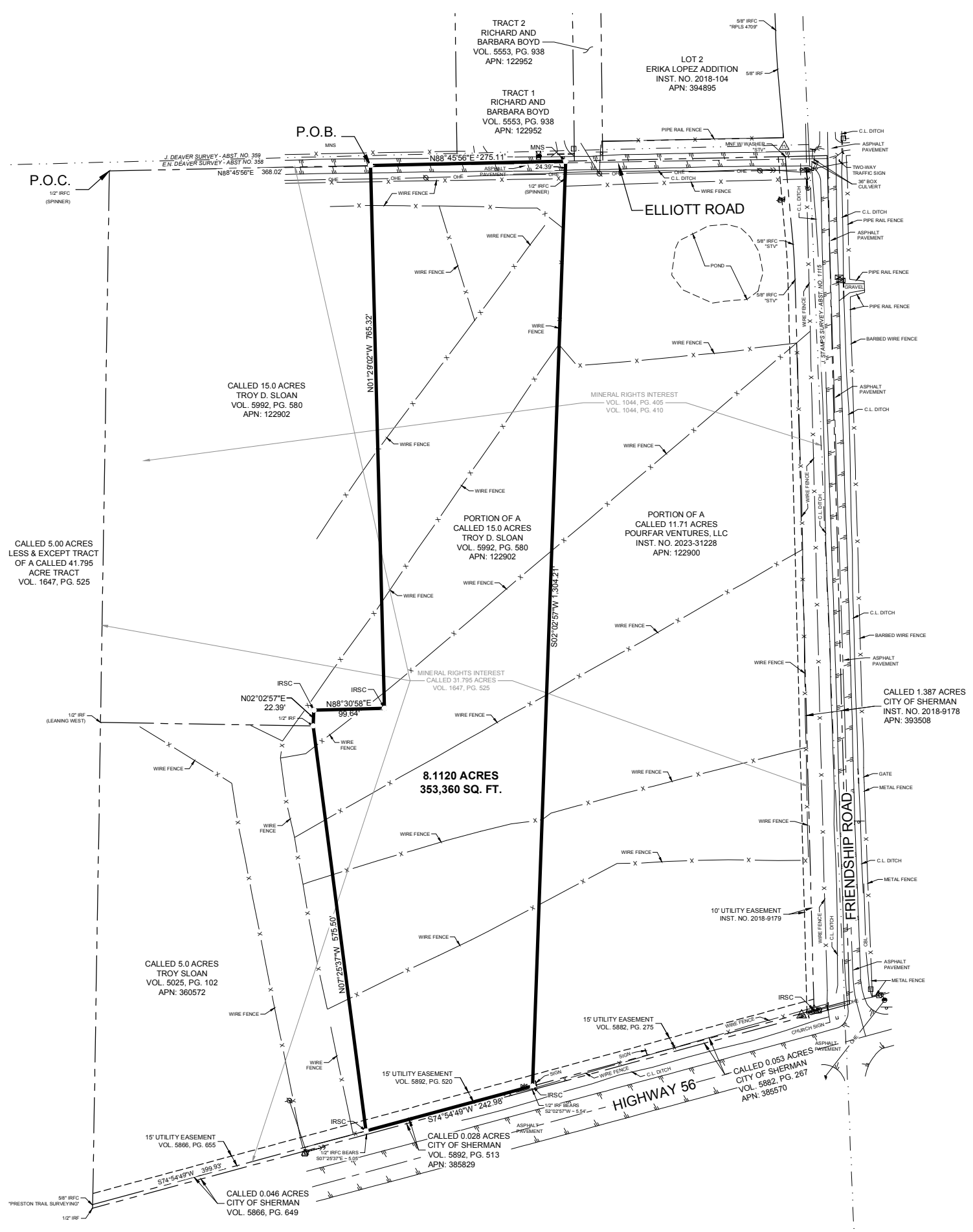
PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

ALTA/NSPS LAND TITLE SURVEY
8.1120 ACRES
E.N. DEAVER SURVEY,
ABSTRACT No. 358
CITY OF SHERMAN,
GRAYSON COUNTY, TEXAS



801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102 FIRM # 10194040 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 80'	SB	JDW	4/3/2026	060015807	1 OF 1



LEGAL DESCRIPTION

BEING a 18.3788 acre (800,580 square foot) tract of land situated in the E.N. Deaver Survey, Abstract No. 358, City of Sherman, Grayson County, Texas, and being a portion of a called 11.71 acre tract of land described in Special Warranty Deed to Pourfar Ventures, LLC, as recorded in Instrument No. 2023-31228, Official Public Records, Grayson County, Texas, and being a portion of a called 15.0 acre tract of land described in Gift Deed to Troy D. Sloan as recorded in Volume 5992, Page 580, Deed Records, Grayson County, Texas, said tract being more particularly described as follows:

COMMENCING at 1/2-inch iron rod with cap found for the northwest corner of the said called 15.0 acre tract and being in Elliott Road;

THENCE North 88°45'56" East, along the north line of the said called 15.0 acre tract, and along said road, a distance of 368.02 feet to a mag nail with washer stamped "KHA" set for the **POINT OF BEGINNING**;

THENCE North 88°45'56" East, continuing along the said north line, and along said road, a distance of 275.11 feet to a mag nail with washer stamped "KHA" set at the northeast corner of the said called 15.0 acre tract of land, and being at the northwest corner of said called 11.71 acre tract;

THENCE North 88°47'34" East, along the north line of the said called 11.71 acre tract, a distance of 309.66 feet to a mag nail with washer stamped "STV" found at the northwest corner of a called 1.387 acre tract of land described in deed to City of Sherman, as recorded in Instrument No. 2018-9178, Official Public Records, Grayson County, Texas, and being in the west right-of-way line of Friendship Road;

THENCE South 05°02'38" East, departing the said north line, and along the said west right-of-way line, a distance of 124.00 feet to a 5/8-inch iron rod with cap stamped "STV" found for corner at the beginning of a tangent curve to the right with a radius of 807.00 feet, a central angle of 03°33'35", and a chord bearing and distance of South 03°15'50" East, 50.13 feet;

THENCE in a southerly direction, continuing along the said west right-of-way line, with said tangent curve to the right, an arc distance of 50.14 feet to a 5/8-inch iron rod with cap stamped "STV" found for corner;

THENCE South 01°29'02" East, continuing furthermore along the said west right-of-way line, a distance of 1,029.76 feet to a 5/8-inch iron rod with cap stamped "KHA" set at the southwest corner of the said called 1.387 acre tract, and being in the north line of the aforementioned called 0.053 acre tract, and being in the aforementioned north right-of-way line of Highway 56;

THENCE South 74°54'49" West, along said north line, and along said north right-of-way line, at a distance of 410.80 feet passing 5/8-inch iron rod with cap stamped "KHA" set at the northeast corner of a called 0.028 acre tract described in General Warranty Deed to City of Sherman, Texas as recorded in Volume 5892, Page 513, said Deed Records, and continuing in all a total distance of 653.78 feet to a 1/2-inch iron rod with cap found for corner at the northwest corner of said called 0.028 acre tract, and being in the west line of said called 15.0 acre tract;

(CONTINUED ON SHEET 2)

ZONING EXHIBIT
E.N. DEAVER SURVEY,
ABSTRACT No. 358
CITY OF SHERMAN
GRAYSON COUNTY, TEXAS

Kimley»Horn

801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102 FIRM # 10194040 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
N/A	DMD	JDW	04/08/2026	060015807	1 OF 3

THENCE North 07°25'37" West, departing the said north right-of-way line and along the west line of the said called 15.0 acre tract, a distance of 575.50 feet to a 1/2-inch iron rod found for an interior corner of the said called 15.0 acre tract and being at the northeast corner of a called 5.0 acre tract of land described in deed to Troy Sloan as recorded in Volume 5025, Page 102, said Deed Records;

THENCE North 02°02'57" East, a distance of 22.39 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;


THENCE North 88°30'58" East, a distance of 99.64 feet to a 5/8-inch iron rod with cap stamped "KHA" set for corner;

THENCE North 01°29'02" West, a distance of 765.32 feet to the **POINT OF BEGINNING** and containing 800,580 square feet or 18.3788 acres of land, more or less.

NOTES

Bearing system based on the Texas Coordinate System of 1983 (2011 adjustment), North Central Zone (4202).
A survey plat of even survey date herewith accompanies this metes and bounds description.

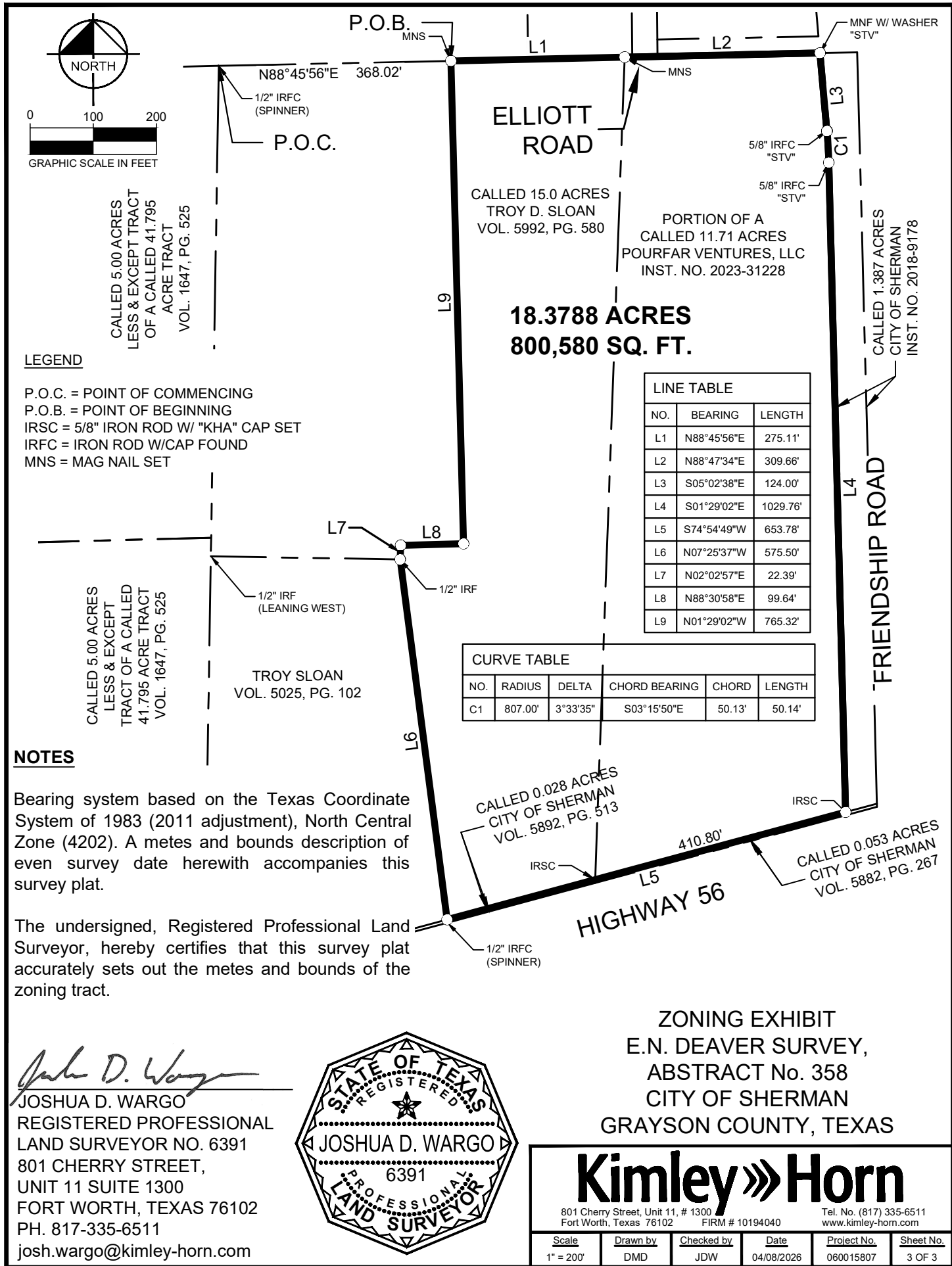
The undersigned, Registered Professional Land Surveyor, hereby certifies that the foregoing description accurately sets out the metes and bounds of the zoning tract.


JOSHUA D. WARGO
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 6391
801 CHERRY STREET,
UNIT 11 SUITE 1300
FORT WORTH, TEXAS 76102
PH. 817-335-6511
josh.wargo@kimley-horn.com



ZONING EXHIBIT
E.N. DEAVER SURVEY,
ABSTRACT No. 358
CITY OF SHERMAN
GRAYSON COUNTY, TEXAS

Kimley»Horn		801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102		FIRM # 10194040		Tel. No. (817) 335-6511 www.kimley-horn.com	
Scale	Drawn by	Checked by	Date	Project No.	Sheet No.		
N/A	DMD	JDW	04/08/2026	060015807	2 OF 3		



Joshua D. Wargo
JOSHUA D. WARGO
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ZONING EXHIBIT
E.N. DEAVER SURVEY,
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GRAYSON COUNTY, TEXAS

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801 Cherry Street, Unit 11, # 1300 Fort Worth, Texas 76102 FIRM # 10194040 Tel. No. (817) 335-6511 www.kimley-horn.com

Scale 1" = 200'	Drawn by DMD	Checked by JDW	Date 04/08/2026	Project No. 060015807	Sheet No. 3 OF 3
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ZONING APPLICATION NARRATIVE

Hwy 56 & Friendship Road

The purpose of this application is to create a Planned Development District (“PD”), which will allow for a flex commercial and industrial development on the Property. The proposed development will consist of five (5) buildings with high-quality architecture and finishings. The buildings are constructed with a modular design to accommodate tenant-specific needs. The proposed development will also include enhanced landscaping along the public right-of-way, and amenity and open space areas.

FLEXD – SHERMAN PD DEVELOPMENT STANDARDS

The design, development and use of the Property shall comply with this Ordinance, Sherman’s Zoning Ordinance, the Zoning Exhibit, attached hereto as Exhibit C, and the following development standards:

A. Base District:

The Property shall be developed and used in accordance with the regulations applicable to the C-2 (General Commercial) district of the Zoning Ordinance, as it exists or may be amended, subject to the standards set forth herein, and further provided that the following land uses on the Property shall be subject to the regulations set forth in the Use Chart below, notwithstanding any statement to the contrary in the Zoning Ordinance, as it exists or may be amended:

B. Use Regulations:

In addition to those uses indicated as being permitted in the C-2 (general commercial) district in Article 14.10 (use chart) of the City of Sherman Zoning Ordinance, the Property shall be subject to the additional permitted use regulations set forth in the Use Chart below.

Use Type	FLEXD - SHERMAN
Agricultural Uses:	
Farm equipment sales, service, repairs, feed store	P
Educational and Institutional Uses:	
School, commercial or trade	P
Recreation and Entertainment Uses:	
Community center	SUP
Commercial, Retail, and Service Uses:	
Automobile laundry, carwash	[1]
Automobile service station	[2]
Contractors or construction offices, equipment sales, service, rental and repair, with outdoor storage	[3]
Furniture and appliance sales; custom upholstery, not automobile related	P
Greenhouse, plant nursery, or garden center	P
Restaurant (inside service only)	P
Taxidermist	P
Wholesale establishment, including storage	P
Manufacturing and Industrial Uses:	

EXHIBIT B

Carpets, manufacture and cleaning	P
Food products, manufacturing, processing, or storage	P
Furniture and upholstery manufacturing	P
Heavy equipment, storage, repair and sales, earth moving	SUP
Industrial and manufacturing plants (apparel, drugs and pharmaceuticals, electronic, plastic, or similar products manufacture)	P
Industrial and manufacturing plants (automobiles, motorcycles, trucks or trailers, boats, vehicles parts or similar products manufacture)	P
Laundry cleaning plant	SUP
Machine shop or welding	P
Outdoor storage	[3]
Portable storage containers	[3]
Trucking, carting, crating, express handling, and storage	P
Warehousing	P

Legend for Use Chart

P – Use is permitted by right in district indicated.

[BLANK] – Use is prohibited in district indicated.

SUP – Use is permitted in district only upon approval of a specific use permit.

[1] – *Automobile laundry, carwash* – Automobile laundry, carwash uses contained within a building and without a tunnel or drive through operation are permitted by right in this district. Automobile laundry, carwash uses with a tunnel or drive through operation shall comply with the C-2 (general commercial) district regulations.

[2] – *Automobile service station* – Electric Vehicle (EV) charging stations are permitted by right in this district. Automobile service station uses with fuel pumps, fuel tanks, and fuel exhaust are permitted with a specific use permit.

[3] – *Outdoor storage & portable storage containers* – Outdoor storage and portable storage containers as a primary or accessory use for the storing of business property is permitted by right in this district and may be located in the side and rear yard of a lot, so long as a minimum six (6) foot fence comprised of vinyl coated chain link material with privacy slats shall be provided to screen outdoor storage areas.

C. District Regulations:

The dimensional regulations shall be per C-2 except where noted:

1. Building Setbacks. The minimum building setbacks are as follows:

1. *Front setbacks*. Minimum front setback shall not be less than:
 - o W. Houston Street (SH 56): 60'

EXHIBIT B

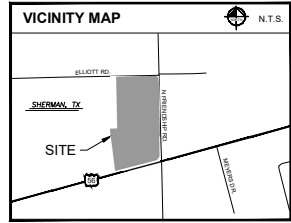
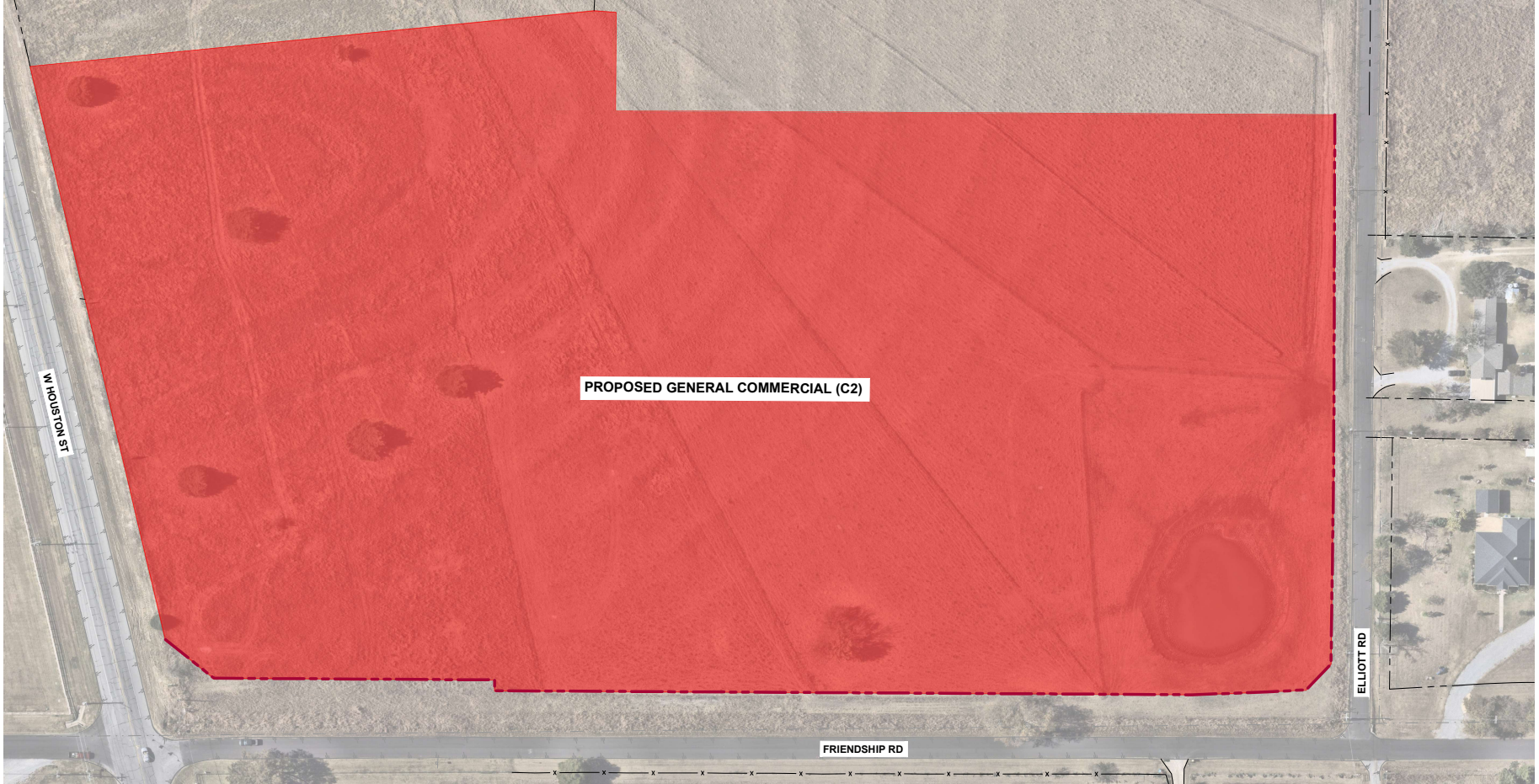
- Friendship Road: 25'
 - Elliott Road: 25'
2. *Side and rear setbacks.* Minimum side and rear setback shall not be less than 15 feet.
- Where the Property abuts a residential district, the side or rear yard setback shall not be less than 15 feet.
 - Fencing, screening, retaining walls, and outdoor storage areas may project into the side yard.
2. Fences and Screening Devices. Except as otherwise provided, fencing and screening shall be in accordance with Section 14.04.004 of the City of Sherman Zoning Ordinance.
1. *Fencing and screening of outdoor storage areas.* A minimum six (6) foot fence comprised of vinyl coated chain link material with privacy slats shall be provided to screen outdoor storage areas.
2. *Loading docks.* Freight docks, service bays, loading docks, truck berths and heavy storage areas shall be screened from all abutting uses, except when the abutting use is determined to be of equal or greater intensity. The aforementioned areas shall be screened, so as to provide limited visibility from all thoroughfares.
3. Landscaping Requirements. Except as otherwise provided, landscaping requirements shall be in accordance with Section 14.04.006 of the City of Sherman Zoning Ordinance.
1. *Landscape buffers.* Street perimeter buffer areas shall provide one (1) shade tree and (1) ornamental tree per 1,000 square feet of buffer area (excluding any undisturbed areas with adequate tree cover).
2. *Landscape areas.* Parking lots located on the rear façade of a building shall be exempt from the requirements of Section 14.04.006(d)(2) of the City of Sherman Zoning Ordinance.
4. Parking Regulations. Except as provided below, required off-street parking shall comply with Section 14.04.003 of the City of Sherman Zoning Ordinance.
1. A required parking space may be a minimum of nine (9) feet wide and eighteen (18) feet long when possible for a vehicle to overhang the front of a parking space that has a sidewalk with a minimum width of five (5) feet.
5. Signs. Except as otherwise provided, signs shall comply with Section 14.07.009 of the City of Sherman Zoning Ordinance.
1. *Monument signs.*
- Three (3) monument signs are permitted in this district. A maximum of two (2) monument sign is permitted per public street frontage.

- Monument signs shall include a landscaped, stone-based feature. All monument sign bases shall be constructed of similar material as the front building facade on the same site.
 - Signs may have a maximum 100 square foot sign area and shall not exceed ten (10) feet in height. Height is measured from the grade of the fronting street.
 - Minimum setback for signs shall be ten (10) feet from the property line. Monument signs shall not obstruct the view of turning traffic. Variances to the sight distance requirements may be approved by the city engineer, subject to specific engineering criteria such as design speed, traffic control, and other site conditions.
 - Approval of a sign encroachment agreement is required before a freestanding sign may be constructed within any easements. Only signs with a slab or approved spread footing foundation will be permitted within a utility easement. Signs requiring piers will not be permitted within a utility easement.
6. Facade Requirements. All facade and building elevations shall comply with the requirements provided below.
1. *Front facade.* Front facades, excluding door and window openings, shall have a minimum of thirty-nine (39%) split-face block, structural brick, or burnished block/form concrete. The remaining front facade may be constructed with a maximum of:
 - Forty-four percent (44%) of painted concrete tilt-wall.
 - Eighteen percent (18%) prefinished or painted metal.
 2. *Side facades.* Side facades, excluding door and window openings, shall have a minimum of eighty percent (80%) burnished or formed concrete base, split-face block, structural brick, or other masonry material. The remaining side facade may be constructed with split-face CMU, painted concrete tilt wall, prefinished or painted metal, and/or painted or integral plaster.
 3. *Rear facades.* Rear facades, excluding door and window openings, may be constructed with burnished or formed concrete base, split-face block, structural brick, other masonry material, split-face CMU, painted concrete tilt wall, prefinished or painted metal, and/or painted or integral plaster.
 4. The following materials are permitted for roofs:
 - Standing seam metal;
 - Corrugated metal;
 - Flat roofs that include a parapet on the roofline facing a public street;
 - Flat roofs that include a cornice treatment on the roofline facing a public street; and
 - Single-ply membrane roofing.
 - Built-up or Modified Bitumen Roofing

EXHIBIT B

5. Galvanized steel, or other bright metal, wood or plastic siding, cementitious siding, unfinished concrete block, exposed aggregate, wood roof shingles and reflective glass are all prohibited as building materials.

EXHIBIT C



LEGEND	
PROPERTY LINE	---
ADJACENT PROPERTY LINE	- - -
GENERAL COMMERCIAL (C2)	█

- NOTES**
1. THESE DOCUMENTS ARE SCHEMATIC IN NATURE ONLY. A COMPLETE DESIGN HAS NOT BEEN PROVIDED IN PREPARATION OF THESE SHEETS. DESIGN INTENT, LOCATIONS, AND QUANTITIES MAY CHANGE DURING THE DESIGN PROCESS.
 2. NEARMAP AERIAL PUBLISHED 11/12/2025



NO.	REVISIONS	DATE	BY

Kimley-Horn
 2000 NORTH CENTRAL EXPRESSWAY, SUITE 400,
 RICHMOND, TX 75409 (504) 349-3900
 WWW.KIMLEY-HORN.COM TX 4208
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RVA PROJECT		TEXAS	
DATE	MAY 2025	CHECKED BY	DSA
SCALE	AS SHOWN	DRAWN BY	

FLEXD SHERMAN
 PREPARED FOR
FLEXD DEVELOPMENT
 SHERMAN

ZONING EXHIBIT

SHEET NUMBER
EX

NOTES:
 1. THESE DOCUMENTS ARE SCHEMATIC IN NATURE ONLY. A COMPLETE DESIGN HAS NOT BEEN PROVIDED IN PREPARATION OF THESE SHEETS. DESIGN INTENT, LOCATIONS, AND QUANTITIES MAY CHANGE DURING THE DESIGN PROCESS.
 2. NEARMAP AERIAL PUBLISHED 11/12/2025

PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND OBSTACLES IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN IN HEALTHY AND GROWING CONDITION AND MUST BE REPLACED WITH PLANT MATERIAL OF SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED BY THE LANDSCAPE ARCHITECT. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- ALL PLANT QUANTITIES LISTED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SPECIFIED IN THE PLANT SCHEDULE AND VERIFY ALL QUANTITIES.
- LANDSCAPE CONTRACTOR TO PROVIDE STEEL EDGING BETWEEN ALL PLANTING BEDS AND LAWN AREAS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND SIZES GIVEN IN THE PLANT LIST AND SHALL BE NURSERY GROWN IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION, AMERICAN ASSOCIATION OF NURSERMEN STANDARDS. ANY PLANT SUBSTITUTION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ANY COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL NEW PLANTING AREAS TO BE AMENDED PER SPECIFICATIONS.
- ANY PLANT MATERIAL THAT DOES NOT SURVIVE SHALL BE REPLACED WITH AN EQUIVALENT SIZE AND SPECIES WITHIN THIRTY (30) DAYS.
- PLANT MATERIAL SHALL BE PROVIDED AS NECESSARY TO CONTROL SIZE, BUT NOT TO DISRUPT THE NATURAL GROWTH PATTERN OR CHARACTERISTIC FORM OF THE PLANT EXCEPT AS NECESSARY TO ACHIEVE HEIGHT CLEARANCE FOR VISIBILITY AND PEDESTRIAN PASSAGE OR TO ACHIEVE A CONTINUOUS OPENING HEIGHT IF REQUIRED.
- LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIME STABILIZED SOIL & INORGANIC SELECT FILL FOR BUILDING SHOULD BE REMOVED FROM PLANTING AREAS TO A DEPTH OF 24" & REPLACED WITH ORGANIC IMPORTED TOPSOIL FILL.
- TREES OVERHANGING PEDESTRIAN WALKWAYS AND PARKING SHALL HAVE A 7' MINIMUM CLEAR TRUNK HEIGHT TO MEET ACCESSIBILITY STANDARDS. TREES OVERHANGING PUBLIC STREETS, DRIVE ANGLES, AND FIRE LANES SHALL HAVE A 14' MINIMUM CLEAR TRUNK HEIGHT.
- CONTRACTOR TO PROVIDE 12 MONTH WARRANTY AFTER ALL CONSTRUCTION IS COMPLETE.

MATERIAL LEGEND:

AGGREGATES

AG-1
 TYPE: DECOMPOSED GRANITE
 SIZE: 1/2" FINE, 4" DEPTH
 INSTALL: REFER DETAILS
 SUPPLIER: ORGANIC RECYCLER, OR APPROVED EQUAL
 CONTACT: JEFF ROBERTT (409-346-8092)
 APPROVAL: SAMPLE M000P

AG-2
 TYPE: CHEROKEE GRAVEL
 SIZE: 1 1/2" SIZE, 4" DEPTH
 INSTALL: REFER DETAILS
 SUPPLIER: STONE DEPOT TEXAS, OR APPROVED EQUAL
 CONTACT: (972) 707-7900
 APPROVAL: SAMPLE M000P

METALS

M-1
 TYPE: STEEL EDGE
 MATERIAL: 3/16" X 4" STEEL PLATE
 COLOR: POWDERCOAT BLACK
 SIZE: LENGTHS PER PLAN, ALL SEAMS TO BE FLUSH AND LEVEL.
 INSTALL: REF. DETALS
 APPROVAL: CUT SHEET

M-2
 TYPE: FENCE
 COLOR: BLACK VINYL COATED
 SIZE: 6" HT AT STORAGE AREA, 4" HT AT LEACHFIELD. LENGTHS PER PLAN.
 INSTALL: REFER DETAILS
 SUPPLIER: TEXAS SELECT FENCING LLC, OR APPROVED EQUAL
 CONTACT: (214) 558-8199
 APPROVAL: CUT SHEET

NOTE: PRIVACY SLAT INSERTS IN THE 6" HT CHAIN LINK FENCE ONLY IS STORAGE AREA

FlexD
 Sherman, TX
 Sherman Code Calculators Chart

Site Data	SF	AC
Site Area	400,583	18,979
Parking Area		
Grading	PD Zoning	
Parking Spaces	71,064	1.63
	388	
	Required	Provided
Site Landscape Area		
10% of parking area and 0.5% of site (SF)	7,106	7,963
One (1) Shade tree min. planted in all required landscape island	YES	YES
Landscape island provided every 12 parking spaces and at end caps with 6" cuts	YES	YES
50% of landscape island to be vegetation (Cut Grass/cover and Trees)	YES	YES
Landscape areas shall be protected with a 2' non-vegetative pervious surface adjacent to the curb of all parking spaces.	YES	YES
	Required	Provided
Street Buffer		
15' minimum buffer where adjacent to public right-of-way (non-exclusive of utility easements) (No plant species shall be more than 25% of planting within buffer)	YES	YES
	Required	Provided
Planting Requirements		
1 Shade Tree & 1 Ornamental Tree per 1,000 SF of buffer area (excluding paved areas)	36 Shade Trees	36 Ornamental Trees
2,376 SF	26,646 SF	26,646 SF
24.6' x 100.0' = 2464 Trees	4.2' x 24.6' = 72 Large Trees and Ornamental Trees	

THREE NOTE: 504 CALIPER INCHES PLANTED ON SITE
 GENERAL SITE NOTE: 6 FT PRIVACY FENCING AROUND STORAGE AREA

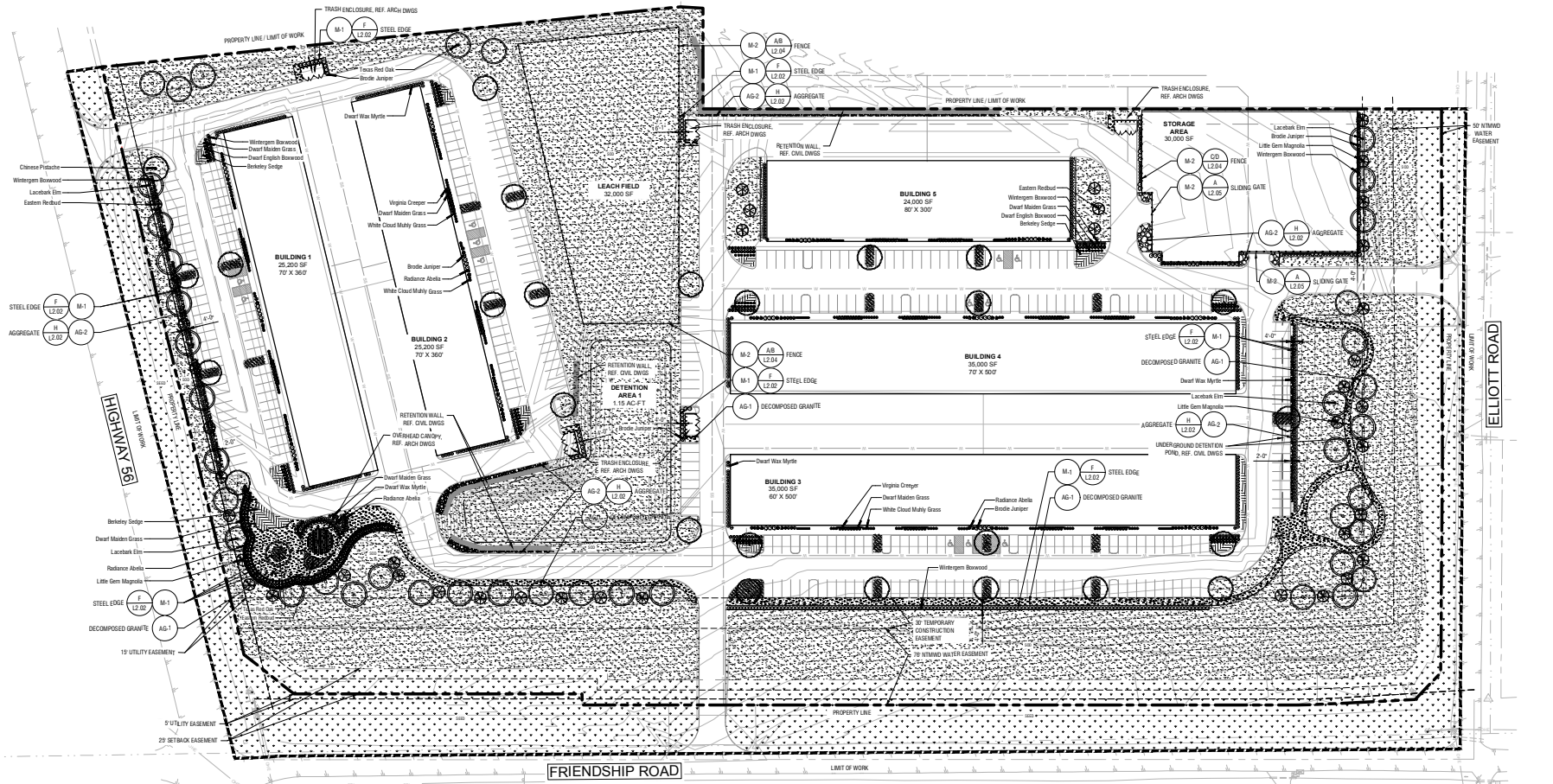
PLANT SCHEDULE

SYMBOL	COMMON / BOTANICAL NAME
TREES	
(Symbol)	Chinese Pistache / <i>Pistacia chinensis</i>
(Symbol)	Lac Bark Elm / <i>Ulmus parvifolia</i>
(Symbol)	Texas Red Oak / <i>Quercus laevis</i>
ORNAMENTAL TREES	
(Symbol)	Eastern Redbud / <i>Cercis canadensis</i>
(Symbol)	Little Gem Magnolia / <i>Magnolia grandiflora</i> Little Gem
SHRUBS	
(Symbol)	Brodiaea Juniper / <i>Juniperus virginiana</i> Brodiaea
(Symbol)	Dwarf English Broomwood / <i>Buxus sempervirens</i> Saffordiana
(Symbol)	Dwarf Maiden Grass / <i>Miscanthus sinensis</i> 'Yakushima'
(Symbol)	Dwarf Wax Myrtle / <i>Myrica pauciflora</i>
(Symbol)	Redance Abelia / <i>Abelia x grandiflora</i> Redance
(Symbol)	White Cloud Maltby Grass / <i>Muhlenbergia capillaris</i> White Cloud
(Symbol)	Watergen Broomwood / <i>Buxus microphylla</i> Watergen
(Symbol)	Watergen Broomwood / <i>Buxus microphylla</i> var. japonica White Gen
GROUND COVERS	
(Symbol)	Asian Jasmine / <i>Trachelium asiaticum</i>
(Symbol)	Betula Sedg. / <i>Carex diandra</i>
SEED	
(Symbol)	Bermuda Hybridized / <i>Cynodon dactylon</i>
SOD	
(Symbol)	Bermuda Grass / <i>Cynodon dactylon</i>

SYMBOL COMMON / BOTANICAL NAME

0 50' 100'
 GRAPHIC SCALE 60'

W
 N
 S
 E



NO.	REVISIONS	DATE

Kimley-Horn
 2010 NORTH CENTRAL EXPRESSWAY, SUITE 400
 FORT WORTH, TX 76108-3600
 PHONE: 817.339.2200
 WWW.KIMLEY-HORN.COM, TX 4628
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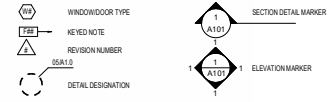
PRELIMINARY
 Kimley-Horn
 4.1

RVA PROJECT
 DATE: JUNE 01, 2020
 SCALE: AS SHOWN
 DESIGNED BY: AMT
 DRAWN BY: AMT
 CHECKED BY: AMT
 TEXAS

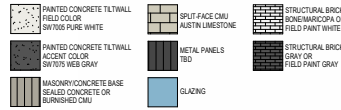
FLEXD SHERMAN
 PREPARED FOR
 FLEXD DEVELOPMENT
 SHERMAN

LANDSCAPE PLAN
 SHEET NUMBER
 L2.01

ELEVATION SYMBOLS LEGEND:



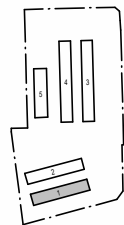
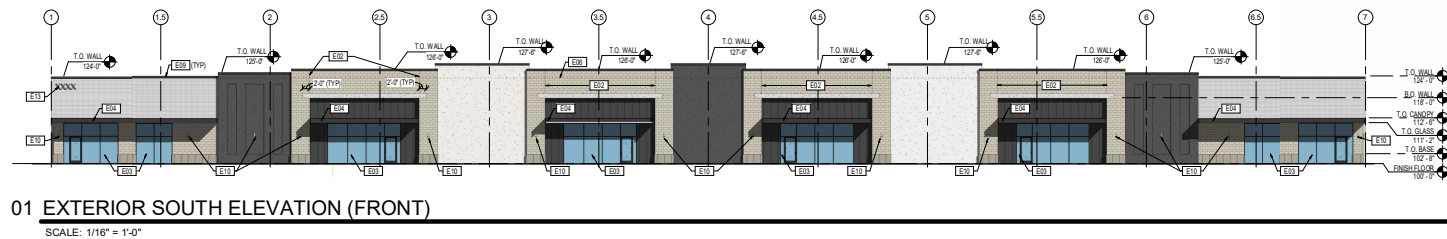
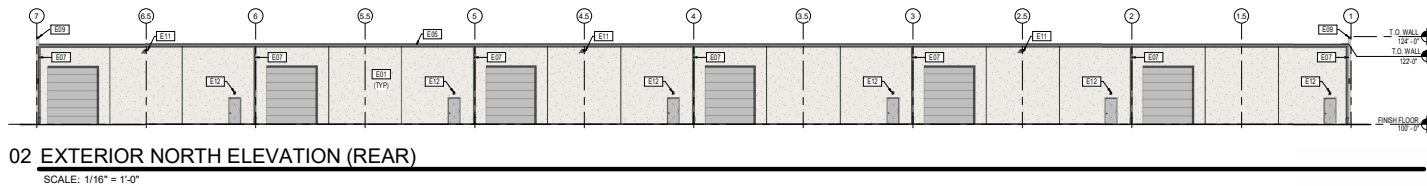
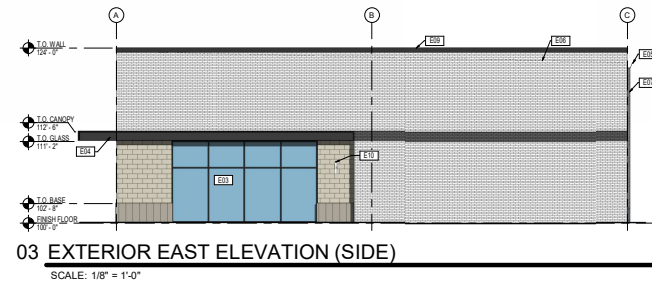
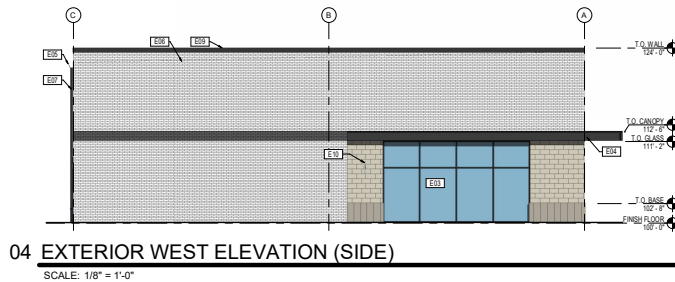
ELEVATION PATTERN LEGEND:



ELEVATION KEYED NOTES:

- EO1 PAINTED CONCRETE TILT WALL
- EO2 MASONRY CONTROL JOINT
- EO3 ALUMINUM & GLASS STOREFRONT
- EO4 PAINTED STEEL CANOPY
- EO5 CONTINUOUS GUTTER
- EO6 LINE OF ROOF BEYOND
- EO7 DOWNSPOUT
- EO8 NOT USED
- EO9 METAL COPING TO MATCH CANOPY FINISH
- EO10 ACCENT LIGHT FIXTURE
- EO11 WALL PACK MOUNTED AT 2' AFF (TYP)(LND)
- EO12 EXTERIOR EGRESS FIXTURE MOUNTED AT 4'-0" AFF (TYP)(LND) (REF ELEC FOR SPEC)
- EO13 1/2" BLACK ADDRESS LETTERS

BUILDING 1 MATERIAL CALCULATIONS													
Facade	Total Area	Glass/Opening Area	GDI%	Concrete Area	Concrete %	Split-Face CMU Area	CMU %	Structural Brick Area	SB %	Metal Area	Metal%	Stone Area	Stone %
North	7,861 SF	1,160 SF	14.7%	6,731 SF	100.0%	-	-	-	-	-	-	-	-
South	9,251 SF	1,489 SF	16.1%	3,054 SF	33.1%	2,355 SF	25.6%	1,176 SF	12.7%	1,264 SF	13.7%	223 SF	2.4%
East	1,880 SF	223 SF	11.9%	-	-	108 SF	5.8%	1,317 SF	70.0%	-	-	34 SF	1.8%
West	1,880 SF	223 SF	11.9%	-	-	108 SF	5.8%	1,317 SF	70.0%	-	-	34 SF	1.8%
Overall Bldg	20,852 SF	3,095 SF	14.8%	9,785 SF	47.0%	2,397 SF	11.5%	3,813 SF	18.3%	1,264 SF	6.1%	291 SF	1.4%



KEY PLAN
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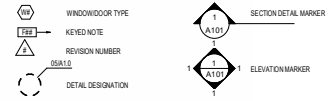
PROGRESS PRINT
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CONSTRUCTION

SHEET CONTENTS:
EXTERIOR ELEVATIONS

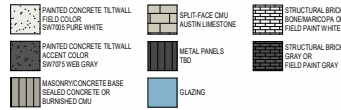
DATE: June 2, 2026
SHEET:

A7.10

ELEVATION SYMBOLS LEGEND:



ELEVATION PATTERN LEGEND:



ELEVATION KEYED NOTES:

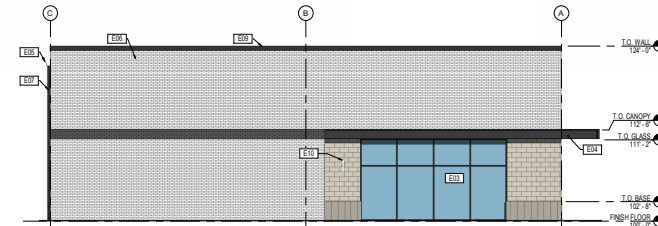
- E01 PAINTED CONCRETE TILT WALL
- E02 MASONRY CONTROL JOINT
- E03 ALUMINUM & GLASS STOREFRONT
- E04 PAINTED STEEL CANOPY
- E05 CONTINUOUS GUTTER
- E06 LINE OF ROOF BEYOND
- E07 DOWNSPOUT
- E08 NOT USED
- E09 METAL COPING TO MATCH CANOPY FINISH
- E10 ACCENT LIGHT FIXTURE
- E11 WALL PACK MOUNTED AT 20' AFF (TYP)(AND)
- E12 EXTERIOR EGRESS FIXTURE MOUNTED AT 4'-0" AFF (TYP)(AND)(REF ELEC FOR SPEC)
- E13 1" BLACK ADDRESS LETTERS

BUILDING 2 MATERIAL CALCULATIONS											
Facade	Total Area	Glass/Opening Area	GDI%	Concrete Area	Concrete%	Split-face CMU Area	CMU %	Structural Brick Area	SB %	Metal Area	Metal%
North	9,231 SF	1,448 SF	15.7%	3,054 SF	33.1%	2,655 SF	28.8%	1,176 SF	12.7%	1,244 SF	13.5%
South	7,891 SF	1,160 SF	14.7%	6,731 SF	85.3%	-	-	-	-	-	-
East	1,880 SF	223 SF	11.9%	-	-	198 SF	10.5%	1,317 SF	69.6%	-	-
West	1,880 SF	223 SF	11.9%	-	-	198 SF	10.5%	1,317 SF	69.6%	-	-
Overall Bldg	20,862 SF	3,051 SF	14.6%	9,785 SF	46.9%	2,853 SF	13.7%	3,810 SF	18.3%	1,244 SF	5.9%



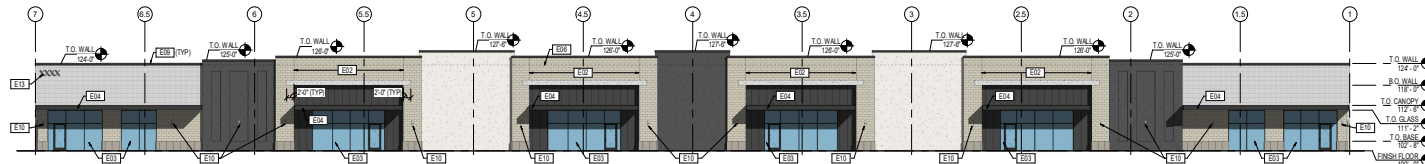
04 EXTERIOR WEST ELEVATION (SIDE)

SCALE: 1/8" = 1'-0"



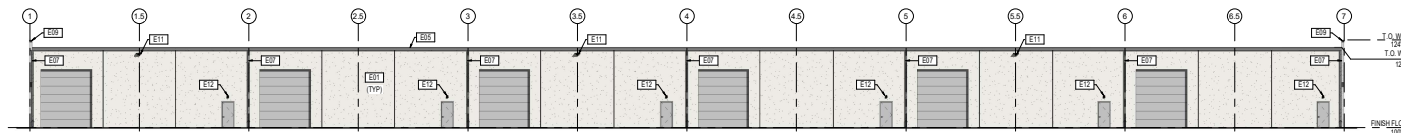
03 EXTERIOR EAST ELEVATION (SIDE)

SCALE: 1/8" = 1'-0"



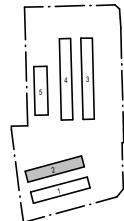
02 EXTERIOR NORTH ELEVATION (FRONT)

SCALE: 1/16" = 1'-0"



01 EXTERIOR SOUTH ELEVATION (REAR)

SCALE: 1/16" = 1'-0"



KEY PLAN

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SHEET CONTENTS:
EXTERIOR ELEVATIONS

DATE: June 2, 2026

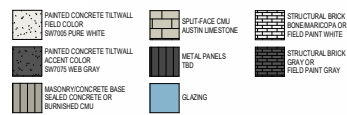
SHEET:

A7.20

ELEVATION SYMBOLS LEGEND:



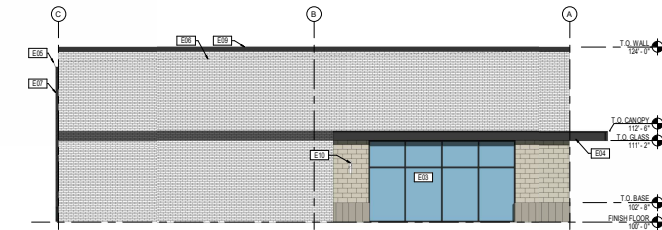
ELEVATION PATTERN LEGEND:



ELEVATION KEYED NOTES:

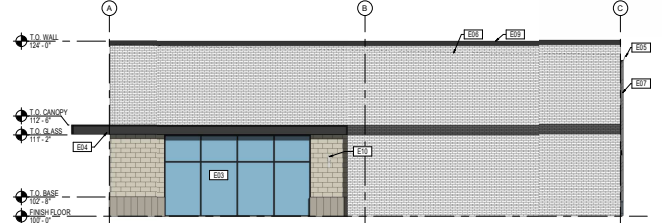
- E01 PAINTED CONCRETE TILT WALL
- E02 MASONRY CONTROL JOINT
- E03 ALUMINUM & GLASS STOREFRONT
- E04 PAINTED STEEL CANOPY
- E05 CONTINUOUS GUTTER
- E06 LINE OF ROOF BEYOND
- E07 DOWNSPOUT
- E08 NOT USED
- E09 METAL COPING TO MATCH CANOPY FINISH
- E10 ACCENT LIGHT FIXTURE
- E11 WALL PACK MOUNTED AT 2' AFF (TYP)(UNG)
- E12 EXTERIOR EGRESS FIXTURE MOUNTED AT 6" AFF (TYP)(UNG)(REF ELEC FOR SPEC)
- E13 18" BLACK ADDRESS LETTERS

BUILDING 3 MATERIAL CALCULATIONS													
Facade	Total Area	Glass/Openings Area	GO%	Concrete Area	Concrete%	Split-face CMU Area	CMU %	Structural Brick Area	S.B.%	Metal Area	Metal%	Base Area	Base %
North	1,885 SF	223 SF	13.3%	-	-	106 SF	7.3%	1,317 SF	90.4%	-	-	34 SF	2.3%
South	1,885 SF	223 SF	13.3%	-	-	106 SF	7.3%	1,317 SF	90.4%	-	-	34 SF	2.3%
East	12,965 SF	1,896 SF	14.6%	4,807 SF	43.4%	2,911 SF	26.3%	1,178 SF	10.6%	1,896 SF	17.2%	279 SF	2.5%
West	15,971 SF	1,546 SF	11.1%	9,425 SF	100.0%	-	-	-	-	-	-	-	-
Overall Bldg	27,286 SF	3,888 SF	15.2%	9,322 SF	91.6%	1,122 SF	11.7%	1,818 SF	16.7%	1,896 SF	8.7%	347 SF	3.1%



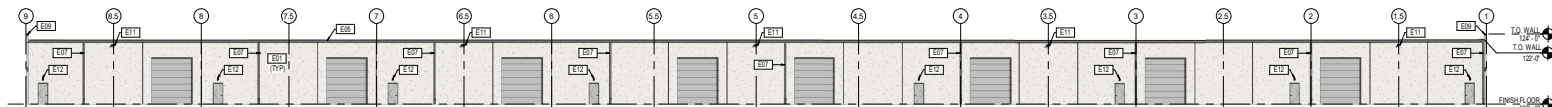
04 EXTERIOR SOUTH ELEVATION (SIDE)

SCALE: 1/8" = 1'-0"



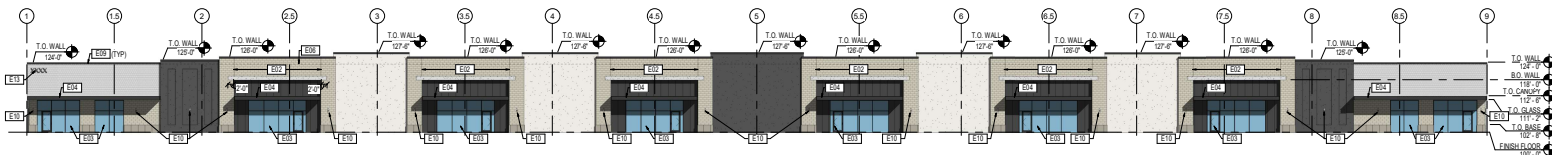
03 EXTERIOR NORTH ELEVATION (SIDE)

SCALE: 1/8" = 1'-0"



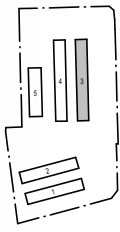
02 EXTERIOR WEST ELEVATION (REAR)

SCALE: 1" = 20'-0"



01 EXTERIOR EAST ELEVATION (FRONT)

SCALE: 1" = 20'-0"



KEY PLAN

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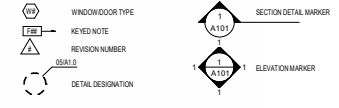
SHEET CONTENTS:
EXTERIOR ELEVATIONS

DATE: June 2, 2026

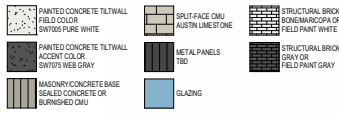
SHEET: **A7.40**

BUILDING 4 MATERIAL CALCULATIONS													
Facade	Total Area	Glass/Openings Area	GO%	Concrete Area	Concrete %	Split-face CMU Area	CMU %	Structural Brick Area	S.B.%	Metal Area	Metal%	Base Area	Base%
North	1,885 SF	223 SF	13.3%	-	-	106 SF	7.3%	1,377 SF	90.4%	-	-	34 SF	2.3%
South	1,885 SF	223 SF	13.3%	-	-	106 SF	7.3%	1,377 SF	90.4%	-	-	34 SF	2.3%
East	10,971 SF	1,546 SF	14.1%	9,425 SF	100.0%	-	-	-	-	-	-	-	-
West	12,965 SF	1,886 SF	14.6%	4,867 SF	43.4%	2,911 SF	26.3%	1,176 SF	10.6%	1,896 SF	17.2%	279 SF	2.5%
Overall Bldg	27,261 SF	3,886 SF	15.2%	9,322 SF	91.6%	1,123 SF	13.7%	3,819 SF	45.7%	3,866 SF	9.7%	347 SF	1.5%

ELEVATION SYMBOLS LEGEND:



ELEVATION PATTERN LEGEND:



ELEVATION KEYED NOTES:

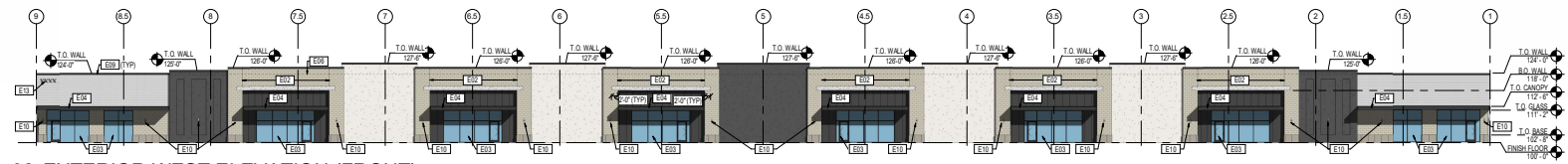
- ES01 PAINTED CONCRETE TILT WALL
- ES02 MASONRY CONTROL JOINT
- ES03 ALUMINUM & GLASS STOREFRONT
- ES04 PAINTED STEEL CANOPY
- ES05 CONTINUOUS GUTTER
- ES06 LINE OF ROOF BEYOND
- ES07 DOWNSPOUT
- ES08 NOT USED
- ES09 METAL COPING TO MATCH CANOPY FINISH
- ES10 ACCENT LIGHT FIXTURE
- ES11 WALL SPACK MOUNTED AT 20" AFF. (TYP)(LONG)
- ES12 EXTERIOR EGRESS FEATURE MOUNTED AT #1/4" AFF. (TYP)(LONG)(REF ELEC FOR SPEC)
- ES13 1/8" BLACK ADDRESS LETTERS



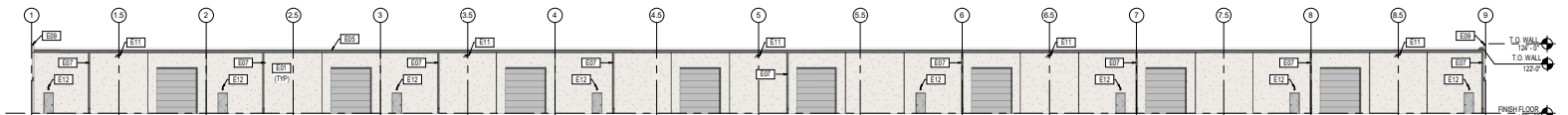
04 EXTERIOR SOUTH ELEVATION (SIDE)
SCALE: 1/8" = 1'-0"



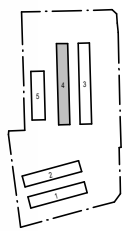
03 EXTERIOR NORTH ELEVATION (SIDE)
SCALE: 1/8" = 1'-0"



02 EXTERIOR WEST ELEVATION (FRONT)
SCALE: 1" = 20'-0"



01 EXTERIOR EAST ELEVATION (REAR)
SCALE: 1" = 20'-0"



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SHEET CONTENTS:
EXTERIOR ELEVATIONS

DATE: June 2, 2026

SHEET: A7.50

BUILDING 5 MATERIAL CALCULATIONS													
Facade	Total Area	Glass/Openings Area	G/O%	Concrete Area	Concrete %	Split-Face CMU Area	CMU %	Structural Brick Area	S.B.%	Metal Area	Metal%	Base Area	Base%
North	1,904 SF	223 SF	11.7%	-	-	107 SF	6.4%	1,540 SF	91.6%	-	-	34 SF	2.0%
South	1,904 SF	223 SF	11.7%	-	-	107 SF	6.4%	1,540 SF	91.6%	-	-	34 SF	2.0%
East	7,839 SF	1,226 SF	16.0%	2,479 SF	38.5%	1,624 SF	25.9%	1,176 SF	18.4%	948 SF	14.8%	195 SF	3.0%
West	6,571 SF	966 SF	14.7%	5,855 SF	100.0%	-	-	-	-	-	-	-	-
Overall Bldg	18,818 SF	2,638 SF	14.0%	8,175 SF	52.5%	1,838 SF	11.9%	4,256 SF	27.7%	948 SF	6.2%	263 SF	1.7%

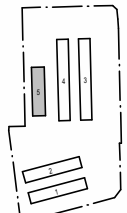
ELEVATION SYMBOLS LEGEND:

- Window/Door Type
- Keyed Note
- Revision Number
- Detail Designation
- Section/Detail Marker
- Elevation Marker

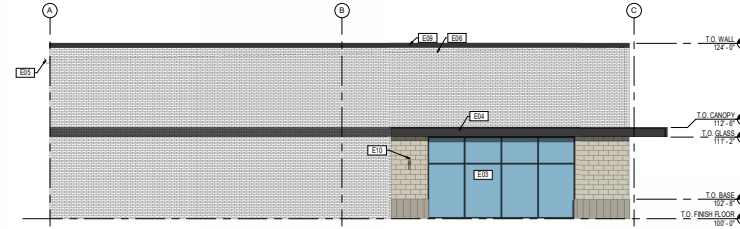
ELEVATION PATTERN LEGEND:

- Painted Concrete Tiltwall
- Field Color
- Split-Face CMU
- Metal Panels
- Masonry Concrete Base
- Sealed Concrete
- Structural Brick
- Structural Brick
- Field Paint Gray
- Metal Panels
- Glazing

- ELEVATION KEYED NOTES:**
- E01 PAINTED CONCRETE TILT WALL
 - E02 MASONRY CONTROL JOINT
 - E03 ALUMINUM & GLASS STOREFRONT
 - E04 PAINTED STEEL CANOPY
 - E05 CONTINUOUS GUTTER
 - E06 LINE OF ROOF BEYOND
 - E07 DOWNSPOUT
 - E08 NOT USED
 - E09 METAL COPING TO MATCH CANOPY FINISH
 - E10 ACCENT LIGHT FIXTURE
 - E11 WALL PACK MOUNTED AT 30" AFF (7/8") (NO) (REF ELEC FOR SPEC)
 - E12 EXTERIOR EGRESS FEATURE MOUNTED AT 4" AFF (7/8") (NO) (REF ELEC FOR SPEC)
 - E13 1" BLACK ADDRESS LETTERS



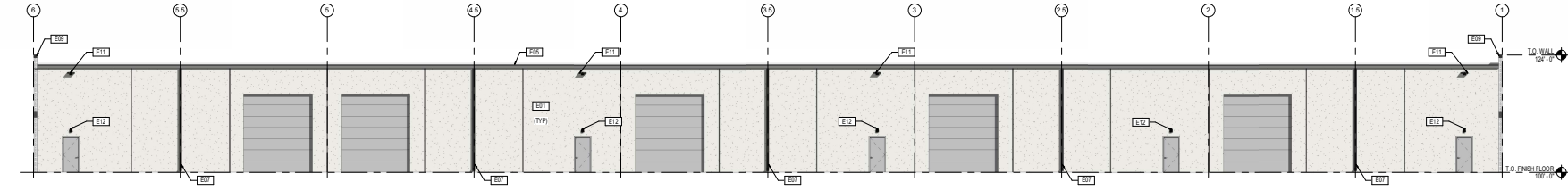
KEY PLAN
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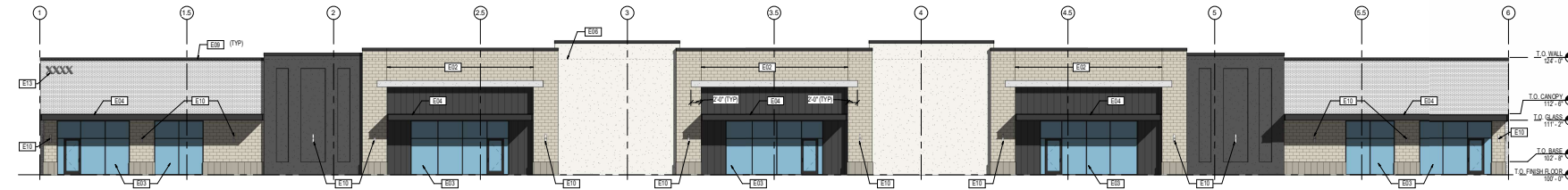
04 EXTERIOR SOUTH ELEVATION (SIDE)
SCALE: 1/8" = 1'-0"



03 EXTERIOR NORTH ELEVATION (SIDE)
SCALE: 1/8" = 1'-0"



02 EXTERIOR WEST ELEVATION (REAR)
SCALE: 3/32" = 1'-0"



01 EXTERIOR EAST ELEVATION (FRONT)
SCALE: 3/32" = 1'-0"

STAFF REVIEW LETTER

June 9, 2026

Sent via email

James Jimenez
3131 Turtle Creek Blvd. Unit: 11
Dallas, TX 75219

Zach Bryan
1449 Airpark
Horseshoe Bay, TX 78657

Cole Williams
501 S 2nd Ave. Suit: A500
Dallas, TX 75226

Victoria Morris
2323 Ross Ave. Suite 600
Dallas, TX 75201

Chris Lewis
2600 N Central Expressway Suite 400
Richardson, TX 75080

David Dix
1449 Airpark
Horseshoe Bay, TX 78657

Dear Applicants,

The request of a Public Hearing and Zone Change from R-A (Residential Agricultural) District to PD (Planned Development) District for FLEXD Sherman with a base zoning of C-2 (General Commercial) District located in the 5301 Block West Houston Street has been scheduled to be heard by the Planning and Zoning Commission on Tuesday, June 16, 2026 at 5:00 P.M. in the City Council Chambers at 220 West Mulberry Street.

City staff has reviewed your request, and the following items need to be noted/addressed:

Zoning:

1. Compliance with applicable City ordinances, regulations, standards and rules and other laws, as they exist or may be amended, including but not limited to the City's Zoning Ordinance/Code of Ordinance Chapter 14.
2. Impact fees will be required at the time of building permit application. (*Chapter 13, Article. 13.11*)
3. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval; at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.
4. Any changes made to the site plan prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission.
5. The approval of a Site Plan shall be effective for a period of two (2) years from the date of approval, at the end of which time the Site Plan shall expire unless the applicant demonstrates to the Director of Development Services that progress has been made toward completion of the project for which the Site Plan was approved.
6. Any changes made to the site plan, landscape plan or elevations prior to the final fulfillment of the conditions of the staff review letter must be considered minor by the staff, as to not require resubmission to the Planning & Zoning Commission.
7. Signs and Fences shall be permitted separately and must adhere to the FLEXD – Sherman PD Development Standards.
 - a. Freestanding sign permits are applicable to the entire sign structure.

Engineering

1. Platting of the property is required prior to a building permit for additions being issued. *Code of Ordinances Chapter 10.01.005; Texas Local Government Code Title 1, Sec. 212.004*

2. Additional Rights of Way and Easements will be required upon platting of the property. *Code of Ordinances Chapter 10.03.007(a); Engineering Design Standards Manual Table 2.1*
3. Dedication of Mutual Access Easement to access property to the West will be required upon platting. Neighboring property to the West is operating as a non-conforming commercial related property use in an R-A zoning. Rezoning to appropriate use will be required for any future permitting. In addition, the future land use for this property is designated Suburban Neighborhood, which allows Neighborhood Commercial uses. *Code of Ordinances Chapter 10.03.003(h)(9); 10.03.007(a); Engineering Design Standards Manual 2.5(C)(6)*
4. 8” Water main shall be extended along entire street frontage of Elliott Road in accordance with City criteria to serve proposed development. *Code of Ordinances Chapter 13, Sec. 13.07.282; Chapter 10.03.005*
5. City wastewater does not serve subject property. On-site sewage facility or extension of wastewater main by developer is required. *Code of Ordinances Chapter 13, Sec. 13.07.282; 10.03.003(h); 10.03.005; Grayson County Subdivision Regulations 4.4.1; 4.4.2*
6. Drive approaches and sidewalks shall conform to City of Sherman and TxDOT standards and a permit with drawing showing dimensions is required from City of Sherman Engineering Department for review and approval prior to any work being done within public right of way. *Code of Ordinances Chapter 3, Division 5, Sec. 3.10.154; 10.03.003(h); Engineering Design Standards Manual 2.5*
7. Privately owned and maintained detention in accordance with City criteria may be required. Engineering documentation shall be provided to the City of Sherman Engineering Department for review and approval. If detention is required, Ownership and Maintenance information to be shown on plat. *Code of Ordinances Chapter 10.03.006; Engineering Design Standards Manual Sec. 4.18*
8. Civil Engineering plans shall be provided to the Engineering Department for review and approval. Plat to reflect changes upon Engineering review. Civil Plan submittal requirements can be found in the Development Guide on the City of Sherman website. *Code of Ordinances Chapter 10.04; Engineering Design Standards Manual Sec. 1.9*

Fire Services

8. [] D103.5 Amended - Electric gates shall be equipped with a Knox key switch that operates with the Authority Having Jurisdiction’s Knox key. Emergency opening devices shall be approved by the fire code official. *(Located In City Ordinances Amendments)*
9. [] 506.1 Amended - Any new and existing buildings that have a fire sprinkler riser, standpipe system and/or a fire alarm control panel shall have a Knox key box that contains keys or a keycard to gain access to every door leading from the exterior of the building to the fire sprinkler riser, standpipe system and/or the fire alarm control panel. *(Located In City Ordinances Amendments)*

It is the policy of Planning and Zoning Commission and Board of Adjustment not to consider a request unless the applicant or its representative attends the meeting at which the request is considered. You are hereby notified to present your case on the date and time stated above.

If additional information or clarification is needed, contact Development Services by emailing planning@cityofsherman.com prior to the meeting.

Respectfully,



Rob Rae
Acting Secretary, Planning and Zoning Board and Board of Adjustment

CC: Zachary Flores, City Manager
Clint Philpott, Asst. City Manager
Wayne Lee, P.E., Director of Engineering
The Law Firm of Abernathy, Roeder, Boyd, & Hullett, P.C., City Attorney
Steven Davis, Fire Marshal
Amber Doan, Engineering Coordinator
Tom Pruitt, Utility Engineer



**SHERMAN PLANNING &
ZONING COMMISSION**
Agenda Communication Form

Planning & Zoning Commission Development Services

Agenda Item No. 16.

Meeting Date: 6/16/2026

Prepared By:

Approved By:

Requested Action/Proposed Use:

ADJOURNMENT

Background:

Origination:

Staff Recommendation:

Attachments:

None

